

AGENDA

La Vergne Planning Commission

April 28, 2026 at 6:00 PM

- Call meeting to order.
- Determine quorum.

ORDER OF BUSINESS

1. Approve Minutes: March 17, 2026 Workshop and March 31, 2026 Regular Meeting.
2. Public Comment Period.

OLD BUSINESS

3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.

NEW BUSINESS

4. Concept Plan - Emrose, Nine Lots on Two Acres. Property located at 111 Irvin Road (Tax Map 18P, Group A, Parcel 6). R-3 (High Density Residential) Zoning District. Property owned by Kepley Properties, LLC. Requested by SEC, Inc.
5. Site Plan - 425 Industrial Boulevard - New Building Consisting of 10,800 Square Feet on 4.14 Acres. Property located at 425 Industrial Blvd. (Tax Map 29, Parcel 7.01). GD (Gateway District) Zoning District. Property owned by Sitepro Rentals, Inc. Requested by Dewey Engineering.
6. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.
7. Bonds/Letters of Credit Update.

ADJOURN

MINUTES OF THE REGULAR MEETING OF THE CITY OF LA VERGNE PLANNING COMMISSION HELD ON MARCH 31, 2026, AT LA VERGNE CITY HALL, LA VERGNE, TENNESSEE.

The City of La Vergne Planning Commission met in a regular meeting on March 31, 2026, in La Vergne City Hall, starting at 5:30 p.m. with Chairman Earl Garvin, Jr. present and presiding.

Members Present

The members present were: Chairman Earl Garvin, Jr, Vice-Chairman/Mayor Jason Cole, Secretary/Alderman Graeme Coates, Jim Hesemann, Tabatha Howard, Mark Molnar, and Justin Greer.

ORDER OF BUSINESS

1. Approve Minutes: February 10, 2026 Workshop and February 24, 2026 Regular Meeting.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the minutes of February 10, 2026 Workshop and February 24, 2026 Regular Meeting, were adopted with all voting AYE.

2. Public Comment Period.

No one spoke.

OLD BUSINESS

3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.

This item was deferred. No action was taken

NEW BUSINESS

4. Final Plat - Resubdivision of 141 Bain Drive, Revision 1 - One Lot of 5.95 Acres. Requested by Kimley Horn. Property located at 141 Bain Drive (Tax Map 17, Parcel 7.01). LI (Innovation) Zoning District. Property owned by Quality Nashville, LLC.

Mr. Logan gave his report.

A motion, made by Mark Molnar, seconded by Jim Hesemann, to approve the final plat as submitted, was adopted with all voting AYE.

5. **Site Plan - 130 Jones Boulevard - New Building Consisting of 69,120 Square Feet on 5.95 Acres. Requested by Kimley Horn. Property located at 130 Jones Blvd. (Tax Map 17, Parcel 7.18). LI (Innovation) Zoning District. Property owned by Hamilton Creek Partners, LLC.**

Mr. Logan gave his report.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, answered questions regarding the need for a chain link fence for retention, and corrections that had been made to the site plan since the workshop.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the site plan as submitted, was adopted with all voting AYE.

6. **Final Plat - Villages at Woodland Hills, Section 8, Phase 1 - 48 Lots on 22.28 Acres. Requested by SEC, Inc. Property located at 927 Waldron Road (Tax Map 29, P/O Parcel 23). R-2 (Medium Density Residential) Zoning District. Property owned by Bob Parks.**

Mr. Logan gave his report.

Mr. John Miner, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding trees being removed on lot 412-415, 428, and 427.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the final plat as submitted, was adopted with all voting AYE.

7. **Site Plan - 164 Chaney Boulevard - Seven Townhomes on 0.96 Acres. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. Requested by Morley Corp.**

Mr. Logan gave his report.

Mr. Alejandro Mojica, 2603 Elm Hill Pike Ste. I, Nashville, Morley, addressed questions regarding correcting typos on the site plan, the addition of shrubs, the centralizing of ADA spots, and the addition of truncated cones.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the site plan as submitted, was adopted with all voting AYE.

8. **Recommendation to the Board of Mayor and Aldermen for Right-of-Way and Roadway Acceptance – Lillian Buchanan Drive and Veterans Memorial Parkway. Property located as portions of Lillian Buchanan Drive and Veterans Memorial Parkway. Requested by Hoss Mousavi.**

Mr. Lide gave his report.

A motion, made by Mayor Cole, seconded by Alderman Coates, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

9. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 2 of the La Vergne Zoning Ordinance Regarding Definitions.**

Mr. Logan gave his report.

A motion, made by Mark Molnar, seconded by Mayor Cole, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

10. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 4 of the La Vergne Zoning Ordinance Regarding Planning Areas.**

Mr. Logan gave his report.

A motion, made by Mayor Cole, seconded by Jim Hesemann, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

11. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 8 of the La Vergne Zoning Ordinance Regarding Parking and Driveways.**

Mr. Lide gave his report.

A motion, made by Mark Molnar, seconded by Alderman Coates, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

12. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.**

Mr. Logan gave his report.

A motion, made by Mayor Cole, seconded by Jim Hesemann, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

13. Bonds/Letters of Credit Update.

Ms. Juliet Williams updated the board on the status of bonds and letters of credit.

ADJOURNMENT

There being no further business to come before this meeting, Chairman Garvin declared the workshop adjourned at 6:25 p.m.

Chairman

City Recorder

Approved

MINUTES OF THE REGULAR WORKSHOP OF THE CITY OF LA VERGNE PLANNING COMMISSION HELD ON MARCH 17, 2026, AT LA VERGNE CITY HALL, LA VERGNE, TENNESSEE.

The City of La Vergne Planning Commission met in a regular workshop on March 17, 2026, in La Vergne City Hall, starting at 5:30 p.m. with Chairman Earl Garvin, Jr. present and presiding.

Members Present

The members present were: Chairman Earl Garvin, Jr, Vice-Chairman/Mayor Jason Cole, Secretary/Alderman Graeme Coates, Jim Hesemann, Tabatha Howard, and Justin Greer. Mark Molnar was absent.

ORDER OF BUSINESS

1. **Approve Minutes: February 10, 2026 Workshop and February 24, 2026 Regular Meeting.**

This item will be approved at the regular meeting on March 31, 2026.

2. **Public Comment Period.**

No one spoke.

OLD BUSINESS

3. **Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.**

This item was deferred. No action was taken

NEW BUSINESS

4. **Final Plat - Resubdivision of 141 Bain Drive, Revision 1 - One Lot of 5.95 Acres. Requested by Kimley Horn. Property located at 141 Bain Drive (Tax Map 17, Parcel 7.01). LI (Innovation) Zoning District. Property owned by Quality Nashville, LLC.**

Mr. Logan gave his report.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, Inc., addressed questions regarding updating the zoning designation on the plans.

No action was taken.

5. **Site Plan - 130 Jones Boulevard - New Building Consisting of 69,120 Square Feet on 5.95 Acres. Requested by Kimley Horn. Property located at 130 Jones Blvd. (Tax Map 17, Parcel 7.18). LI (Innovation) Zoning District. Property owned by Hamilton Creek Partners, LLC.**

Mr. Logan gave his report.

Mr. Lide addressed changes that needed to be made regarding retaining wall size.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, addressed questions regarding the need for a retaining wall and a chain link fence.

No action was taken.

6. **Final Plat - Villages at Woodland Hills, Section 8, Phase 1 - 48 Lots on 22.28 Acres. Requested by SEC, Inc. Property located at 927 Waldron Road (Tax Map 29, P/O Parcel 23). R-2 (Medium Density Residential) Zoning District. Property owned by Bob Parks.**

Mr. Logan gave his report.

Mr. Lide gave his report.

Mr. John Miner, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding correcting street names on the plans, and trees being removed on lot 412-415, 428, and 427.

No action was taken.

7. **Site Plan - 164 Chaney Boulevard - Seven Townhomes on 0.96 Acres. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. Requested by Morley Corp.**

Mr. Logan gave his report.

Mr. Lide gave his engineering report.

Mr. Alejandro Mojica, 2603 Elm Hill Pike Ste. I, Nashville, Morley, addressed questions regarding correcting typos on the site plan, the need for shrubs around a detention pond, the reasoning for the ADA parking spaces being at the rear of the property, the need to centralize those ADA spots, and the addition of truncated cones.

No action was taken.

8. Recommendation to the Board of Mayor and Aldermen for Right-of-Way and Roadway Acceptance – Lillian Buchanan Drive and Veterans Memorial Parkway. Property located as portions of Lillian Buchanan Drive and Veterans Memorial Parkway. Requested by Hoss Mousavi.

Mr. Logan gave his report.

Mr. Lide gave his engineering report.

Mr. John Minor, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding correcting street names on the plans, a stub street on lot 381, and sewer clarification.

No action was taken.

9. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 2 of the La Vergne Zoning Ordinance Regarding Definitions.

Mr. Logan gave his report.

No action was taken.

10. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 4 of the La Vergne Zoning Ordinance Regarding Planning Areas.

Mr. Logan gave his report.

No action was taken.

11. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 5 of the La Vergne Zoning Ordinance Regarding Development Standards.

Mr. Logan gave his report. A discussion ensued regarding the number of chickens to be

allowed in residential areas, if a coop enclosed in a fenced in yard needed to be a requirement, and if there should be a lot size requirement.

No action was taken.

12. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 8 of the La Vergne Zoning Ordinance Regarding Parking and Driveways.

Mr. Lide gave his report. A discussion ensued regarding the need to increase driveway width size.

No action was taken.

13. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 11 of the La Vergne Zoning Ordinance Regarding Signs.

Mr. Logan gave his report. A discussion ensued regarding political signs on municipal properties, the City's history in regulating political signs, and if any change was needed to the current zoning ordinance regarding political signs.

No action was taken.

14. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.

Mr. Logan gave his report.

No action was taken.

15. Bonds/Letters of Credit Update.

This item will be updated at the regular meeting.

No action was taken.

ADJOURNMENT

There being no further business to come before this meeting, Chairman Garvin declared the workshop adjourned at 6:54 p.m.

Chairman

City Recorder

Approved



Item #: 3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

This site plan is for the property located at 1370 Heil Quaker Boulevard. Proposed is heavy truck parking on 2.51 acres. The address of the property is 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). The property is zoned ID (Interchange District). Property is owned by Harsimranjeet Kaur.

This site plan must comply with all of the following: Section 5.2.76 Vehicle Storage Areas - All Vehicle storage areas and parking lots shall provide the following improvements:

- A. An opaque privacy fence of at least 6 feet in height. The fence shall completely surround the property on all sides.
- B. Full-service restroom facilities located inside a building that is stick-built and constructed using traditionally accepted and Code-compliant construction techniques.
- C. Bathrooms must be hooked up to public water and public sewer service. No portalets, Porta-johns, or similar temporary bathroom facilities will be considered as meeting the intent of this ordinance.
- D. Adequate fire protection which may include new fire hydrants, new water lines, upgraded water lines, etc.
- E. Vehicle storage areas will not be allowed in any overlay district.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergnen.gov; and Jake Blair - jblair@lavergnen.gov)

Section 5.2.76 Vehicle Storage Areas - All Vehicle storage areas and parking lots shall provide the following improvement:

- A. ADD NOTE TO PLAN THAT STATES: "Full-service restroom facilities located inside a building that is stick-built and constructed using traditionally accepted and Code-compliant construction techniques."

Engineering (Gary Lide - glide@lavergnen.gov)

- A. All required comments addressed.
- B. (For Information) On future submittals, do not revise a standard city detail. Redraw if necessary.

Utilities (Scott Tatalovich - statalovich@lavergnen.gov)

1. The proposed sewer connection point is Nashville Metro Water Services (MWS) sewer system. The development property is located in the City of La Vergne. La Vergne has 5 approved points of connection to Nashville Metro Water Services per our agreement with MWS. The proposed point of connection to MWS is not one of our agreed points of connection. The City spoke with MWS today and they are not interested in taking on this new sewer point of connection for La Vergne. The closest point of connection to La Vergne gravity sewer system (at 1341 Heil Quaker Blvd), but may not be accessible without a public utility easement, which the developer would have to purchase. The nearest point of sewer connection that may be accessible via public right-of-way is likely the manhole on the south side of Heil Quaker Blvd opposite of 1299 Heil Quaker Blvd, but you have to cross a 50' Colonial High Pressure Gas Line Easement to get to this manhole. Project Engineer should do their research and determine what they would like to present to the City as their preferred option. Any public sewer extension will require State of TN engineering approval which is potentially a 30-day review process by Project Engineer. City Utility Engineer, Scott Tatalovich, statalovich@lavergnen.gov, may be consulted regarding the City's existing gravity sewer system location.

Codes (Joe White - jwhite@lavergnen.gov)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergnen.gov)

No comments.

Police

No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

1370 Heil Quaker Blvd

BRIDGESTONE PKWY

HEIL QUAKER BLVD

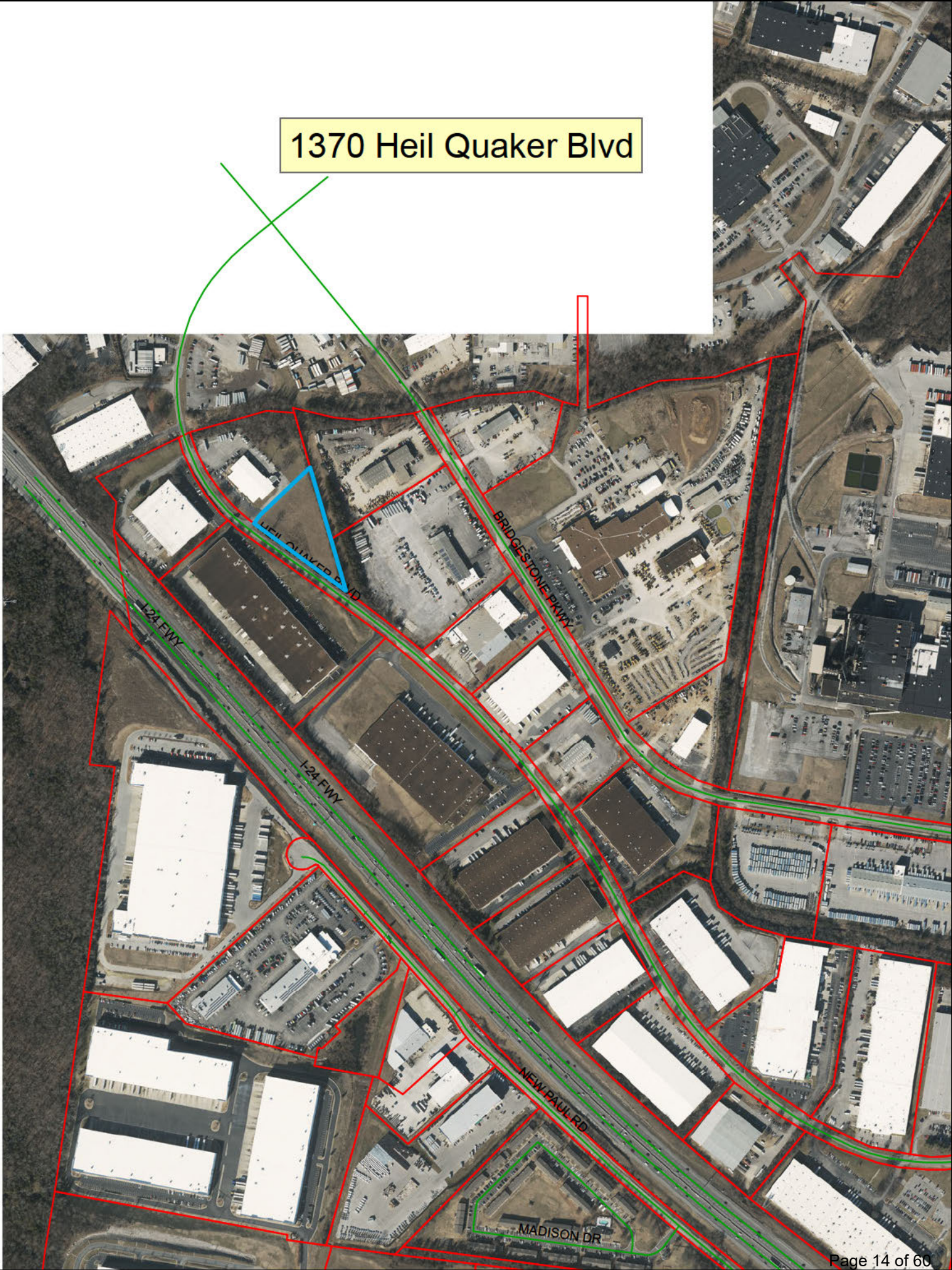
I-24 FWY

I-24 FWY

NEW PAUL RD



1370 Heil Quaker Blvd







NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per The Underground Utility Damage Prevention Act that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (RPS) survey equipment: TOPCON Hiper V-Model #100371-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION-TN3A
STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
EASTING: 1,860,877.584
ELEVATION: 650.209 FT.
- Geoid model used- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

LEGEND

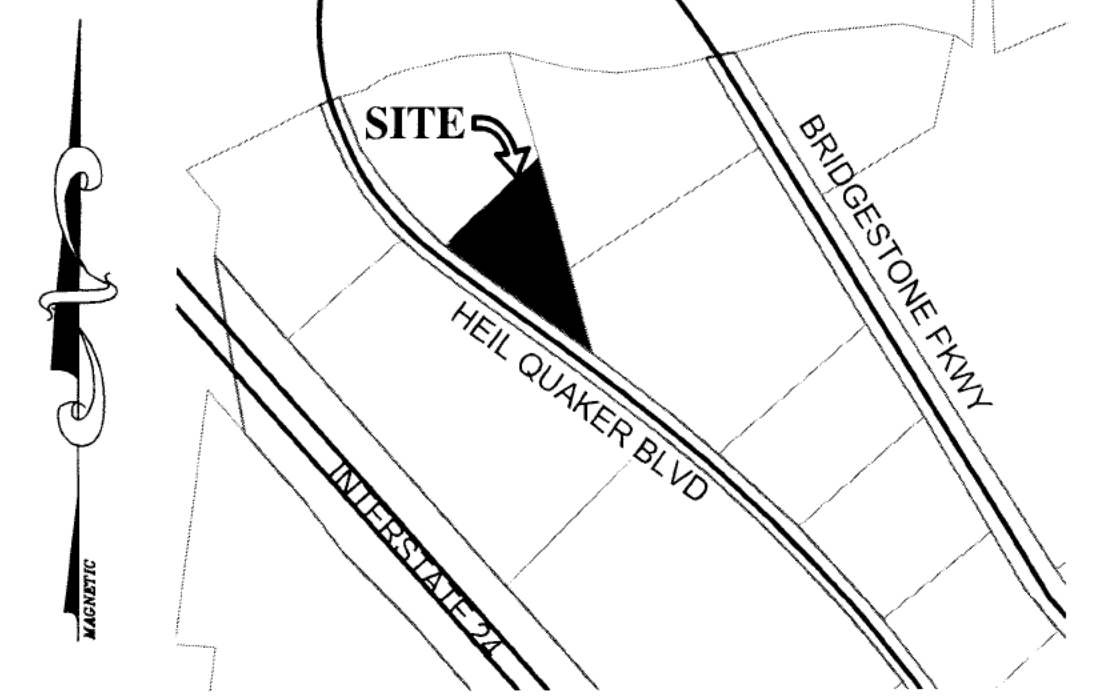
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X—X—X EXISTING FENCE LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

WESNOFSKY FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN

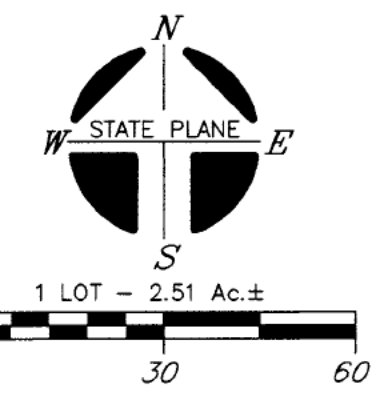


LOCATION MAP
N.T.S.

LEGEND

- ⊕ Power Pole
- ⊙ Sign
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).

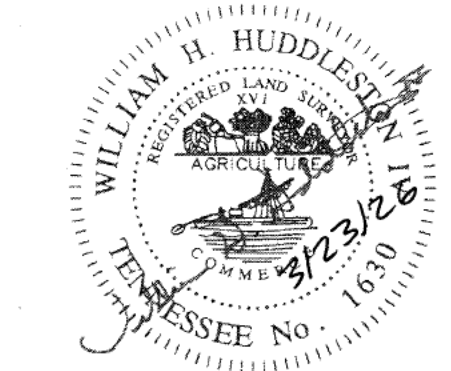


OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]

PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086

TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J ZONE: X
DATED: MAY 9, 2025
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



HS HUDDLESTON-STEEL ENGINEERING, INC.

EXISTING CONDITIONS
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
DATE: March, 2026 SCALE: 1"=30' SH. 1 OF 6

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown herein are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

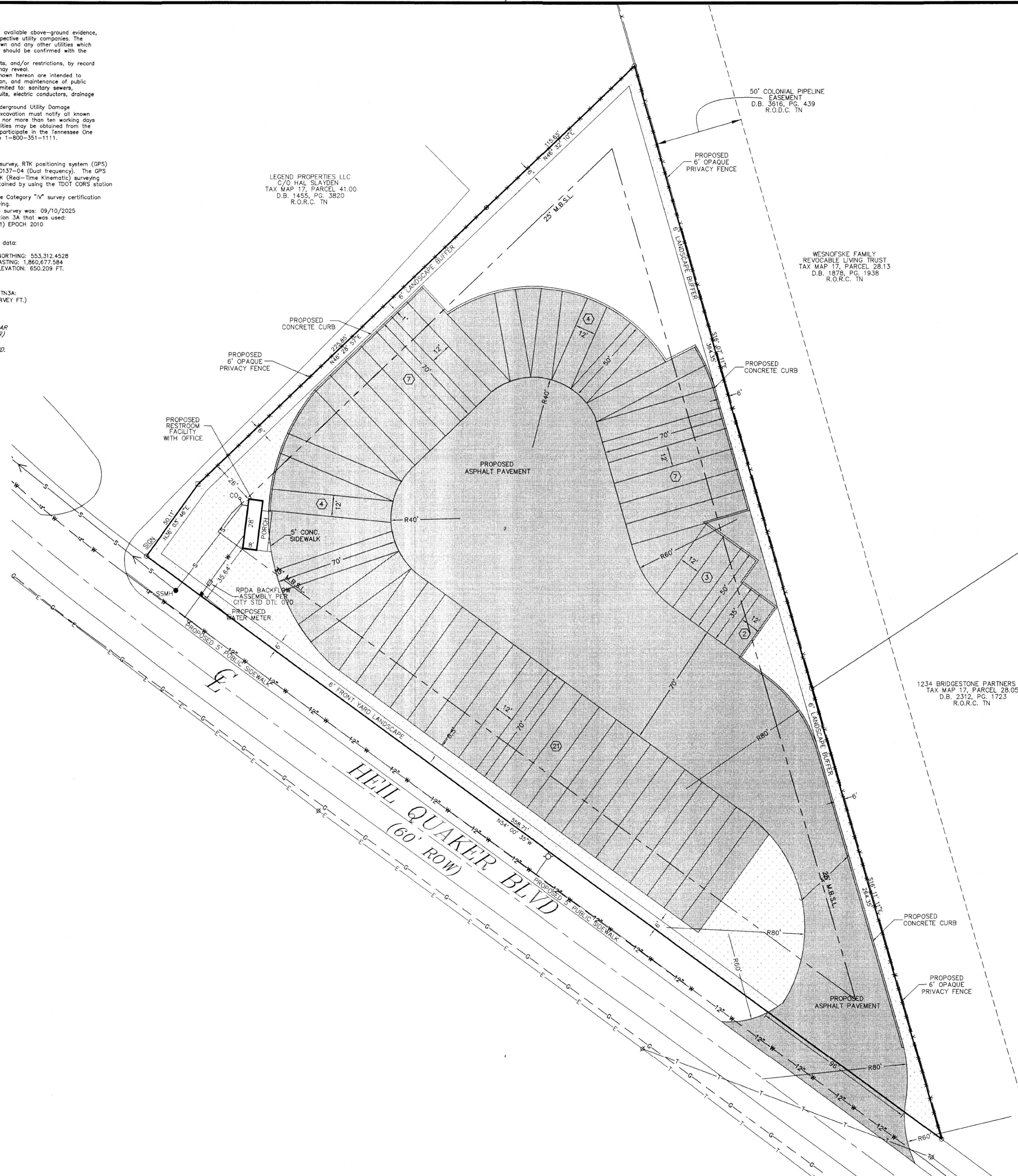
GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #10037-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
 HORIZ.: NAD83(2011) EPOCH 2010
 VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
 TDOT CORS STATION-TN3A
 STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
 EASTING: 1,860,877.584
 ELEVATION: 650.209 FT.
- Geoid model used- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
 0.99992865 (STATE PLANE-TN 4100-US SURVEY FT.)

- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IPF ○ IRON PIN FND
 - CMF □ CONCRETE MONUMENT FND
 - X—X— EXISTING FENCE LINE

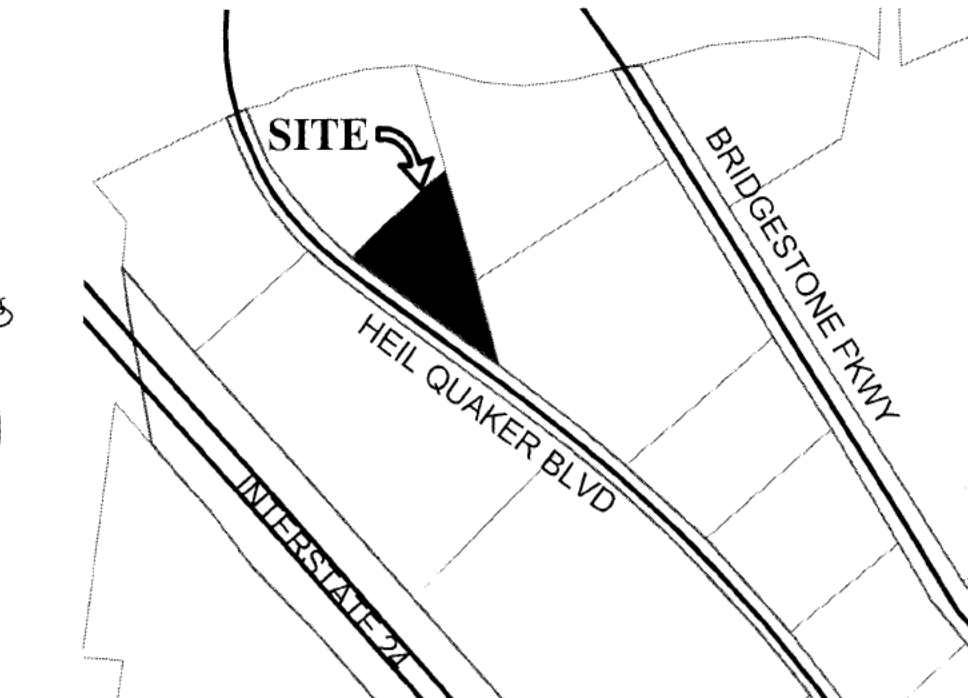
LEGEND PROPERTIES LLC
 C/O HAL SLAYDEN
 TAX MAP 17, PARCEL 41.00
 D.B. 1455, PG. 3820
 R.O.R.C. TN

WESNOFSKE FAMILY
 REVOCABLE LIVING TRUST
 TAX MAP 17, PARCEL 28.13
 D.B. 1878, PG. 1938
 R.O.R.C. TN



GENERAL NOTES

- A PRE-CONSTRUCTION CONFERENCE AND LAND DISTURBANCE PERMIT IS REQUIRED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR AT LEAST 48 HOURS PRIOR TO ANY REQUIRED OR REQUESTED INSPECTIONS.
- CITY INSPECTORS ARE NOT QUALITY CONTROL. THE CONTRACTOR'S QUALITY CONTROL REPRESENTATIVE MUST BE ON SITE DURING ALL REQUIRED INSPECTIONS. CONTRACTOR'S QUALITY CONTROL MUST SIGN-OFF OR APPROVE EACH INSPECTION. CITY INSPECTORS WILL CONFIRM THAT THIS IS DONE BUT WILL NOT PROVIDE APPROVALS.
- DEPTH AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION OR TRENCHING. CONTACT THE TENNESSEE UTILITY LOCATION SERVICE AT 811 OR 800-251-1111, 2-10 DAYS BEFORE YOU DIG, NO EXCEPTIONS.
- ALL CONSTRUCTION AND OPERATIONS BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH OSHA.
- THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS AT THE PROJECT SITE WHICH SHALL BE AVAILABLE FOR REVIEW BY CITY INSPECTORS. THESE REDLINE PLANS MUST BE UPDATED WEEKLY.
- AS-BUILT PLANS (RECORD DRAWINGS) SHALL BE PROVIDED TO THE CITY WITHIN 30-DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE PROVIDED IN THREE FORMATS:
 - PAPER (ONE SET)
 - PDF (PHONE DRIVE OR E-MAIL)
 - GIS-COMPATIBLE (ONE FILE)
- TRAFFIC CONTROL, SIGNAGE, AND CONSTRUCTION RELATED BARRIERS ARE THE RESPONSIBILITY OF THE CONTRACTOR, AND NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT WITHOUT PROPER SAFETY MEASURES SUCH AS BARRICADES, PLATING, OR OTHER AS AGREED BY THE CITY.
- IN RESIDENTIAL AREAS, NO CONSTRUCTION WORK CAN BE CONDUCTED OUTSIDE OF THE FOLLOWING HOURS WITHOUT A SPECIAL PERMIT:
 - MONDAY-FRIDAY, 7:00 AM TO 6:00 PM
 - SATURDAY-MONDAY, 8:00 AM TO 6:00 PM
- SURFACE IMPROVEMENTS DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE RECONSTRUCTED BY THE CONTRACTOR TO CITY OF LA VERGNE REQUIREMENTS.
- ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY MONUMENTS IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, THE CONTRACTOR WILL BE REQUIRED TO CONTRACT WITH A REGISTERED LAND SURVEYOR FOR THE RE-ESTABLISHMENT AND MAPPING OF THE DESTROYED MONUMENT.
- ALL CONSTRUCTION WATER TAKEN FROM A CITY FH SHALL BE FROM A CITY APPROVED FIRE HYDRANT WATER ASSEMBLY, AND CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PUBLIC DOMESTIC WATER SYSTEM AT ALL TIMES BY MAINTAINING PROPER CROSS CONNECTION CONTROL FOR THE GOVERNING AUTHORITY.
- THE CONTRACTOR SHALL CONFINE ALL OF HIS ACTIVITIES TO THE AREAS AS SHOWN ON THESE PLANS UNLESS WRITTEN CONSENT IS PROVIDED IN ADVANCE BY THE AFFECTED PROPERTY OWNER.
- SURPLUS AND ALL MATERIAL REMOVED WHICH IS NOT SUITABLE FOR USE IN THIS PROJECT SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER OR AT A LOCATION ACCEPTABLE TO THE CITY OF LA VERGNE AND THE STATE OF TENNESSEE. NO WASTE MATERIAL SHALL BE PLACED IN A SINKHOLE WITHIN THE CITY LIMITS OF LA VERGNE.
- NO MORE THAN 500 FEET OF UTILITY AND DRAINAGE PIPE TRENCH WILL BE ALLOWED TO BE OPEN AT ONE TIME.
- IF PUBLIC SIDEWALKS ARE TO BE CLOSED BY CONSTRUCTION FOR MORE THAN TWENTY-FOUR HOURS, THEN A PEDESTRIAN TRAFFIC RE-ROUTING PLAN WHICH PROVIDES AN ACCESSIBLE ROUTE OF TRAVEL FOR PEDESTRIANS MUST BE APPROVED AND IMPLEMENTED PRIOR TO CONSTRUCTION.



LOCATION MAP
 N.T.S.

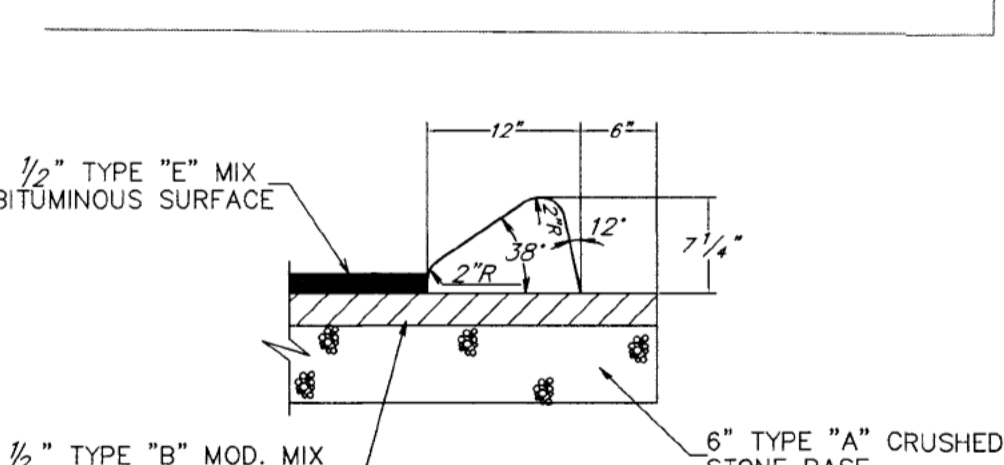
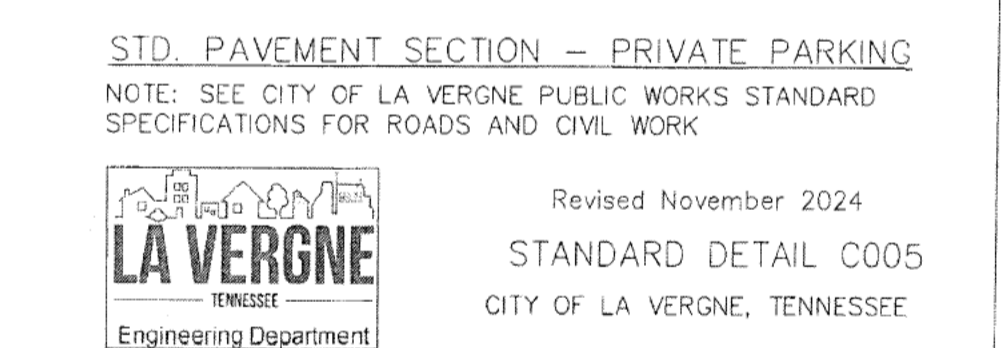
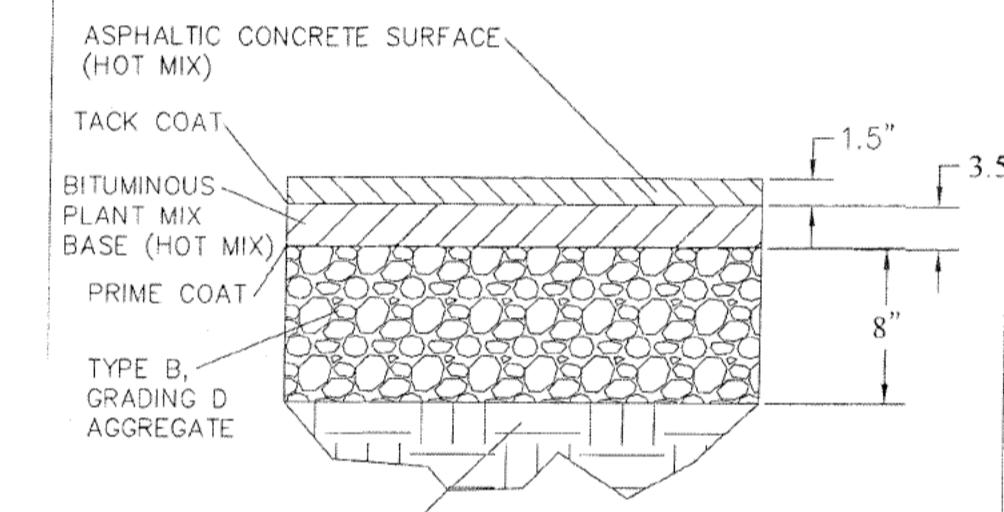
LEGEND

- Power Pole
- Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

TRUCK PARKING STALLS

# OF STALLS	SIZE
39	70'X12'
7	50'X12'
2	35'X12'
TOTAL: 48	

THIS IS THE MINIMUM SECTION TO BE USED IN COMMERCIAL AND MULTI-FAMILY RESIDENTIAL PROJECTS. IT MUST ALSO BE USED IN INDUSTRIAL ZONES FOR CUSTOMER AND EMPLOYEE PARKING LOTS. HEAVY-DUTY PAVING SECTIONS ARE TO BE DESIGNED BY THE DEVELOPER'S ENGINEER SPECIFIC TO THE LOADS AND TRAFFIC OF THE PROJECT.



HATCH LEGEND

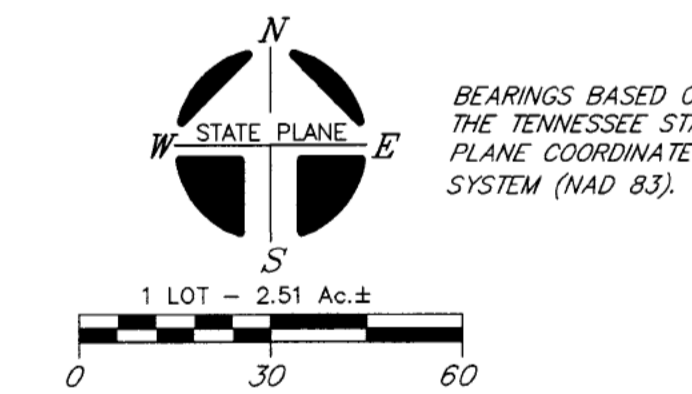
- ASPHALT PAVEMENT
- LANDSCAPE AREA

Site Data Chart

Zoning District: Interchange-District
 Existing Use: Vacant
 Proposed Use: Parking Lot
 Existing Building: N/A
 Acreage/square footage of lot: 2.51 Ac./109,301± SF.

Parking:
 See Chart

Landscaping & Buffering:
 Impervious surface area: 81,306 SF.
 Pervious surface area: 27,993 SF.
 Landscaping area: 17,440 SF.



OWNER: HARSIMRANJEET KAUR
 BALDEV SINGH
 OWNER ADDRESS: [REDACTED]

PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
 LA VERGNE, TN 37086

TAX MAP: 17, PARCEL: 28.01
 PLAT BOOK: 47, PAGE: 176, LOT: 2
 RECORD BOOK: 2200, PAGE: 1708
 MAP NUMBER: 47149C0015J
 DATED: MAY, 9, 2023 ZONE: X

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

WILLIAM H. HUDDLESTON
 REGISTERED LAND SURVEYOR
 TENNESSEE No. 10301

WILLIAM H. HUDDLESTON
 REGISTERED LAND SURVEYOR
 TENNESSEE No. 323726

HS HUDDLESTON-STEEL ENGINEERING, INC.

SITE LAYOUT PLAN
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
 Date: March, 2026 SCALE: 1"=30' SH: 2.0 OF 6

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #00137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ: NAD83(2011) EPOCH 2010
VERT: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION—TN3A
STATE PLANE (TN 4100—US SURVEY FT.)—NORTHING: 553,312.4528
EASTING: 1,850,677.584
ELEVATION: 450.209 FT.
- Geoid model used— GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921665 (STATE PLANE—TN 4100—US SURVEY FT.)

LEGEND

- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X—X— EXISTING FENCE LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

GENERAL NOTES

- A PRE-CONSTRUCTION CONFERENCE AND LAND DISTURBANCE PERMIT IS REQUIRED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR AT LEAST 48 HOURS PRIOR TO ANY REQUIRED OR REQUESTED INSPECTIONS.
- CITY INSPECTORS ARE NOT QUALITY CONTROL. THE CONTRACTOR'S QUALITY CONTROL REPRESENTATIVE MUST BE ON-SITE DURING ALL REQUIRED INSPECTIONS. CONTRACTOR'S QUALITY CONTROL MUST SIGN-OFF OR APPROVE EACH INSPECTION. CITY INSPECTORS WILL CONFIRM THAT THIS IS DONE BUT WILL NOT PROVIDE APPROVALS.
- DEPTH AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION OR TRENCHING. CONTACT THE TENNESSEE UTILITY LOCATION SERVICE AT 811 OR 800-351-1111, 2-10 DAYS BEFORE YOU DIG. NO EXCEPTIONS.
- ALL CONSTRUCTION AND OPERATIONS BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH OSHA.
- THE CONTRACTORS SHALL MAINTAIN A SET OF REDLINE DRAWINGS AT THE PROJECT SITE WHICH SHALL BE AVAILABLE FOR REVIEW BY CITY INSPECTORS. THESE REDLINE PLANS MUST BE UPDATED WEEKLY.
- AS-BUILT PLANS (RECORD DRAWINGS) SHALL BE PROVIDED TO THE CITY WITHIN 30-DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE PROVIDED IN THREE FORMATS:
a. PAPER (ONE SET)
b. PDF (PHONE DRIVE OR E-MAIL)
c. GIS-COMPATIBLE (ONE FILE)
- TRAFFIC CONTROL, SIGNAGE, AND CONSTRUCTION RELATED BARRIERS ARE THE RESPONSIBILITY OF THE CONTRACTOR, AND NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT WITHOUT PROPER SAFETY MEASURES SUCH AS BARRICADES, PLATING, OR OTHER AS AGREED BY THE CITY.
- IN RESIDENTIAL AREAS, NO CONSTRUCTION WORK CAN BE CONDUCTED OUTSIDE OF THE FOLLOWING HOURS WITHOUT A SPECIAL PERMIT:
a. MONDAY-FRIDAY, 7:00 AM TO 6:00 PM
b. SATURDAY-SUNDAY, 8:00 AM TO 6:00 PM
- SURFACE IMPROVEMENTS DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE RECONSTRUCTED BY THE CONTRACTOR TO CITY OF LA VERGNE REQUIREMENTS.
- ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY MONUMENTS IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, THE CONTRACTOR WILL BE REQUIRED TO CONTRACT WITH A REGISTERED LAND SURVEYOR FOR THE RE-ESTABLISHMENT AND MAPPING OF THE DESTROYED MONUMENT.
- ALL CONSTRUCTION WATER TAKEN FROM A CITY FH SHALL BE FROM A CITY APPROVED FIRE HYDRANT METER ASSEMBLY, AND CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PUBLIC DOMESTIC WATER SYSTEM AT ALL TIMES BY MAINTAINING PROPER CROSS CONNECTION CONTROL PER THE GOVERNING AUTHORITY.
- THE CONTRACTOR SHALL CONFINE ALL OF HIS ACTIVITIES TO THE AREAS AS SHOWN ON THESE PLANS UNLESS WRITTEN CONSENT IS PROVIDED IN ADVANCE BY THE AFFECTED PROPERTY OWNER.
- SURPLUS AND ALL MATERIAL REMOVED WHICH IS NOT SUITABLE FOR USE IN THIS PROJECT SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER OR AT A LOCATION ACCEPTABLE TO THE CITY OF LA VERGNE AND THE STATE OF TENNESSEE. NO WASTE MATERIAL SHALL BE PLACED IN A SINKHOLE WITHIN THE CITY LIMITS OF LA VERGNE.
- NO MORE THAN 500 FEET OF UTILITY AND DRAINAGE PIPE TRENCH WILL BE ALLOWED TO BE OPEN AT ONE TIME.
- IF PUBLIC SIDEWALKS ARE TO BE CLOSED BY CONSTRUCTION FOR MORE THAN TWENTY-FOUR HOURS, THEN A PEDESTRIAN TRAFFIC RE-ROUTING PLAN WHICH PROVIDES AN ACCESSIBLE ROUTE OF TRAVEL FOR PEDESTRIANS MUST BE APPROVED AND IMPLEMENTED PRIOR TO CONSTRUCTION.

LOCATION MAP

N.T.S.

LEGEND

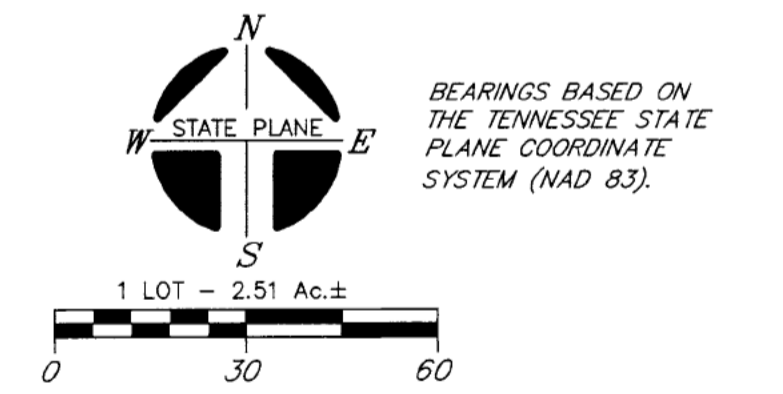
- Power Pole
- ▽ Sign
- Existing Fire Hydrant
- ◆ Proposed Fire Hydrant
- △ Reducer
- ▲ Proposed Gate Valve & Box
- Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- SD— Sewer Line Check Dam
- CO— Existing Contours
- CO— Proposed Contours
- 0.00 Existing Spot Elevations
- 0.00 Proposed Spot Elevations
- S— Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- R— Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

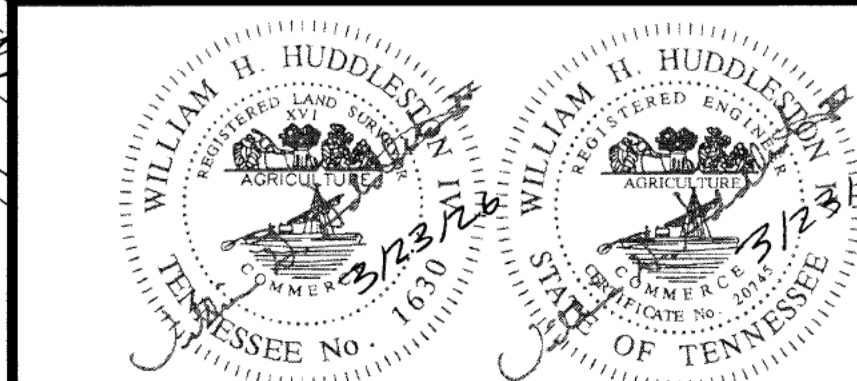
Site Data Chart

Zoning District: Interchange-District
Existing Use: Vacant
Proposed Use: Parking Lot
Existing Building: N/A
Acreage/square footage of lot: 2.51 Ac./109,301± SF.
Parking:
See Chart
Landscaping & Buffering:
Impervious surface area: 81,306 SF.
Pervious surface area: 27,993 SF.
Landscaping area: 17,440 SF.



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY, 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



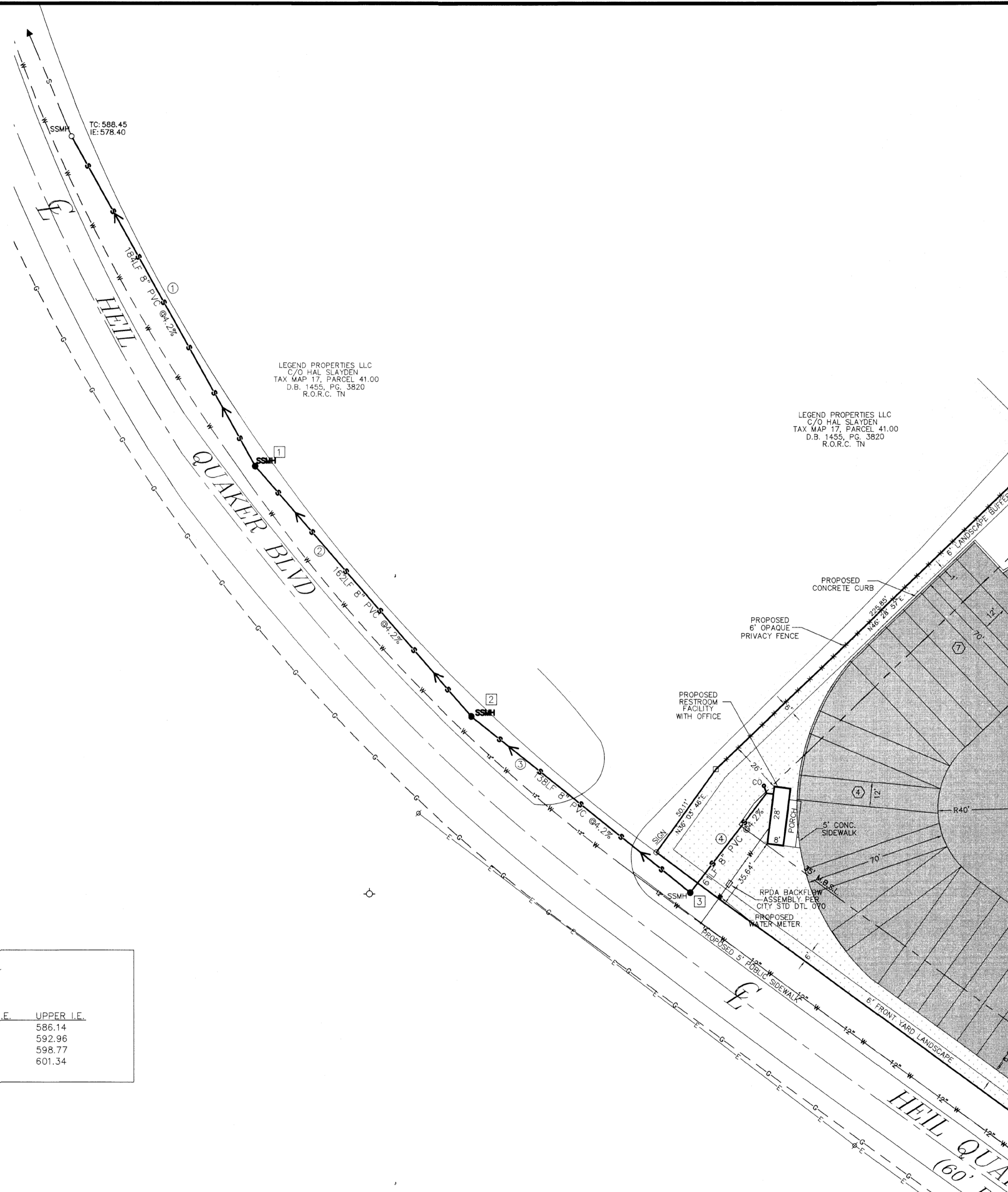
HS HUDDLESTON-STEEL ENGINEERING, INC.

UTILITIES PLAN
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: March, 2026 SCALE: 1"=30' SH. 2.1 OF 6

STRUCTURE#	TYPE	TOP CASTING	INVERT ELEV.
1	MANHOLE	—	586.14
2	MANHOLE	—	592.96
3	MANHOLE	—	598.77

PIPE#	LENGTH	SIZE	TYPE	SLOPE	LOWER I.E.	UPPER I.E.
1	184LF	8"	PVC	4.2%	578.41	586.14
2	162	8"	PVC	4.2%	586.15	592.96
3	138	8"	PVC	4.2%	592.97	598.77
4	64	8"	PVC	4.2%	598.78	601.34



S:\CAD\2026\Cad ID Projects\1570 HEIL QUAKER BLVD\1570 HEIL QUAKER BLVD.dwg, 3/2/2026 11:28 AM, xpl 7770, No. 1, Sheet 6

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper-Vi-mode #00137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1985
- Fixed Control Station designation with positional data:
TDOT CORS STATION: TN3A
STATE PLANE (TN 4100-US SURVEY FT.)--
NORTHING: 553,312.4528
EASTING: 1,860,877.584
ELEVATION: 650.209 FT.
- Ceoid model used-- GEOD03
- Combined grid factors for TDOT CORS Station TN3A:
0.99921865 (STATE PLANE--TN 4100-US SURVEY FT.)

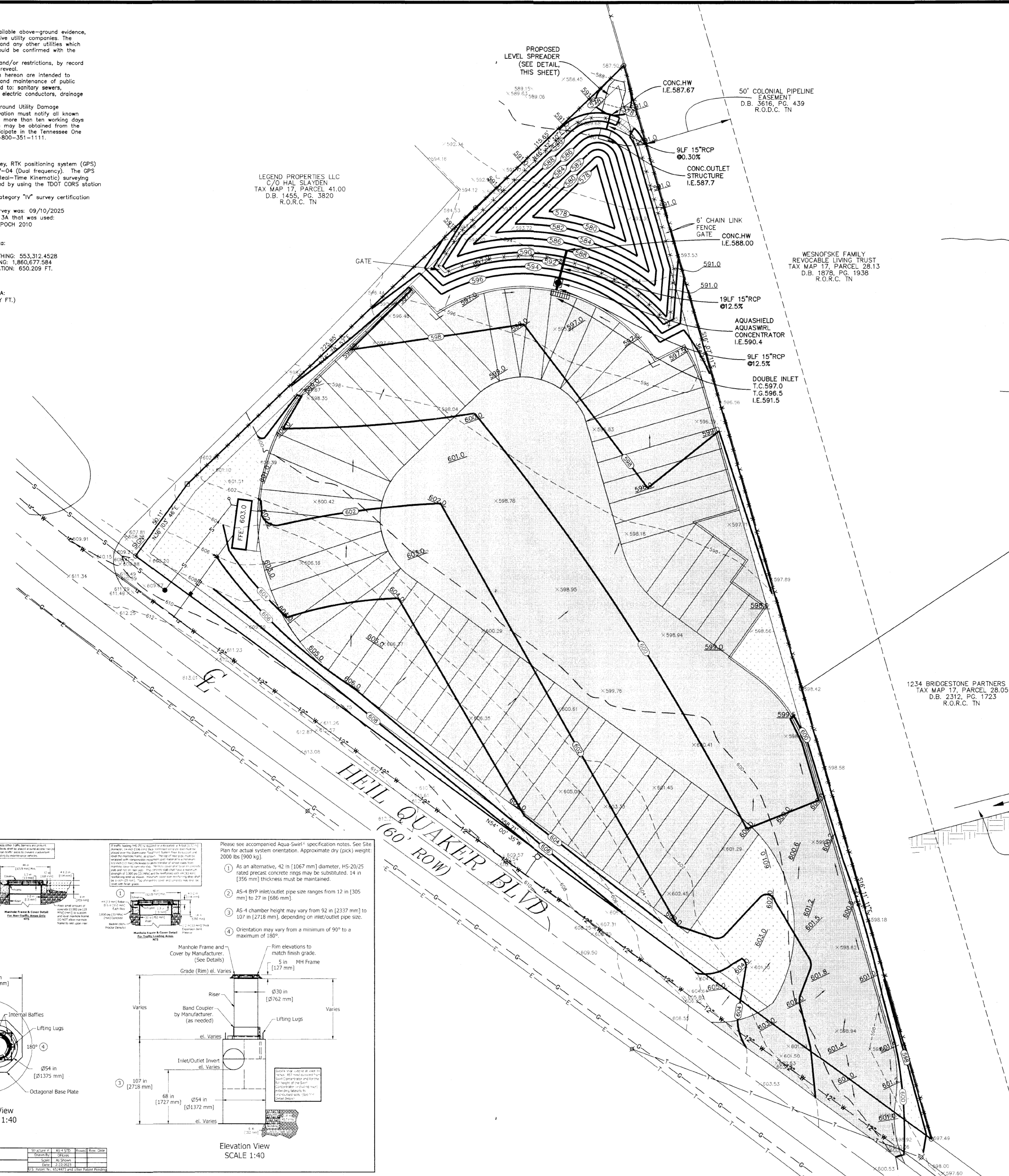
LEGEND

- IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF O IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X-X EXISTING FENCE LINE

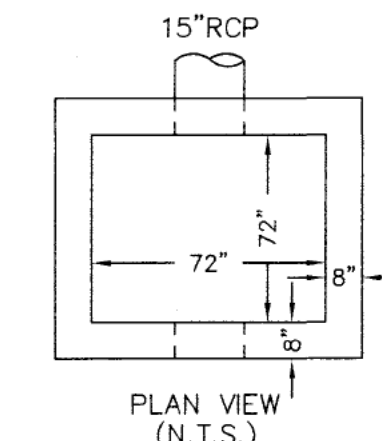
LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

WESNOFSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

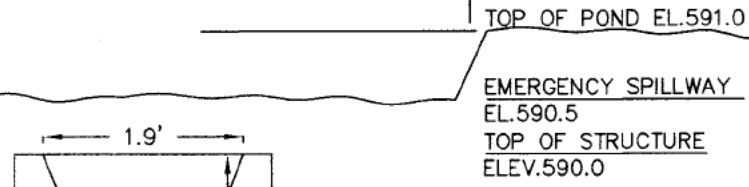
1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



OUTLET STRUCTURE DETAIL



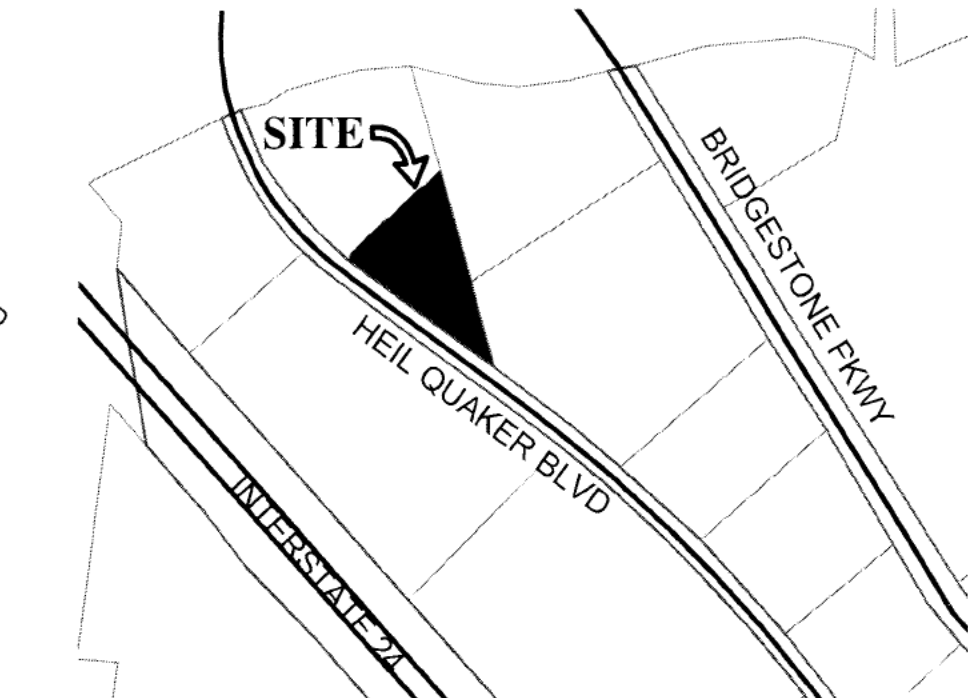
10' WIDE EMERGENCY SPILLWAY



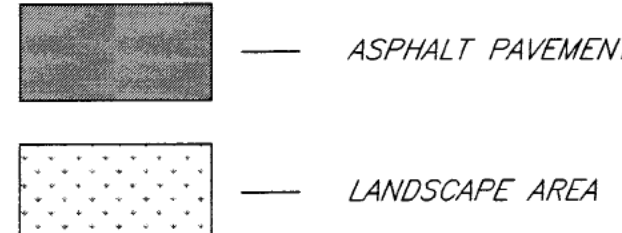
PERMANENT STORAGE

FRONT VIEW (N.T.S.)

LOCATION MAP
N.T.S.

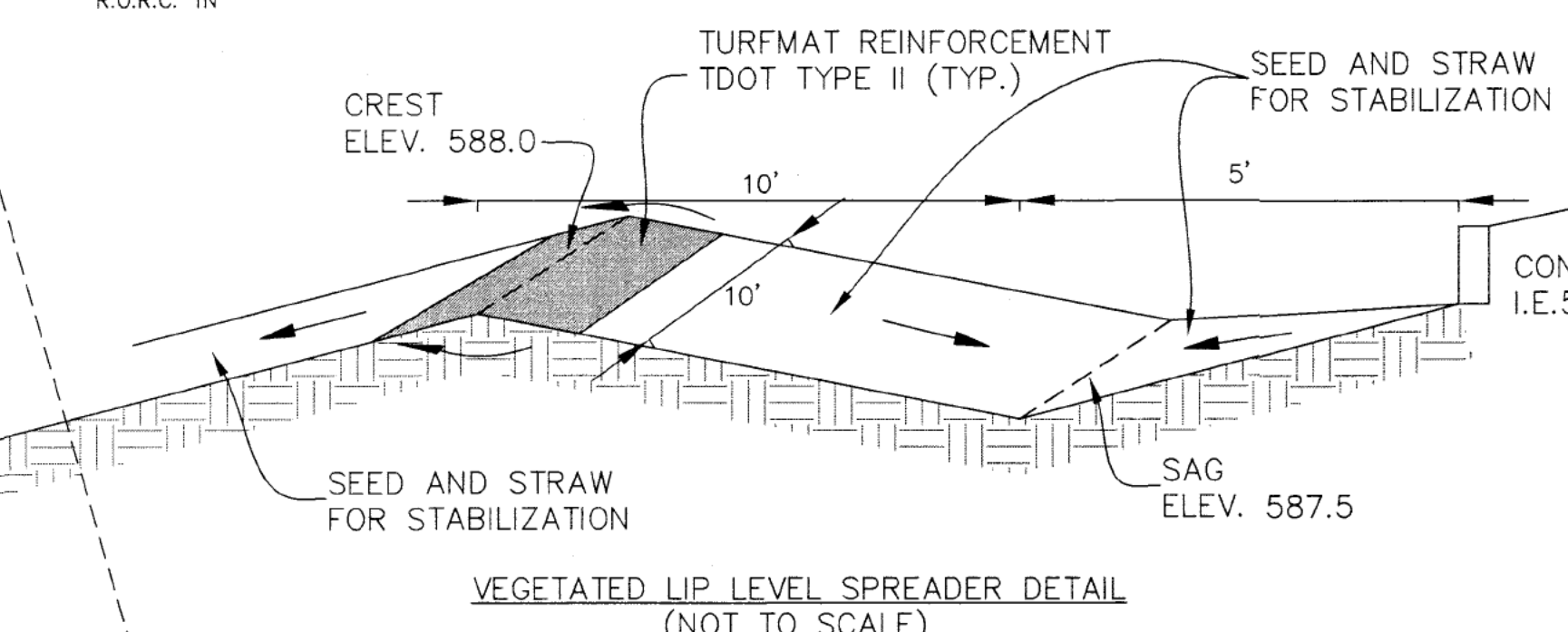


HATCH LEGEND

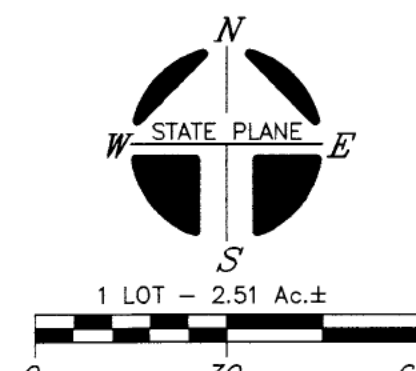


LEGEND

- ⊕ Power Pole
- ⊙ Sign
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- o Existing Spot Elevations
- o Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- Rip-Rap (6" min. dia., 1" thick per TDOT Specifications) Item No. 709-05



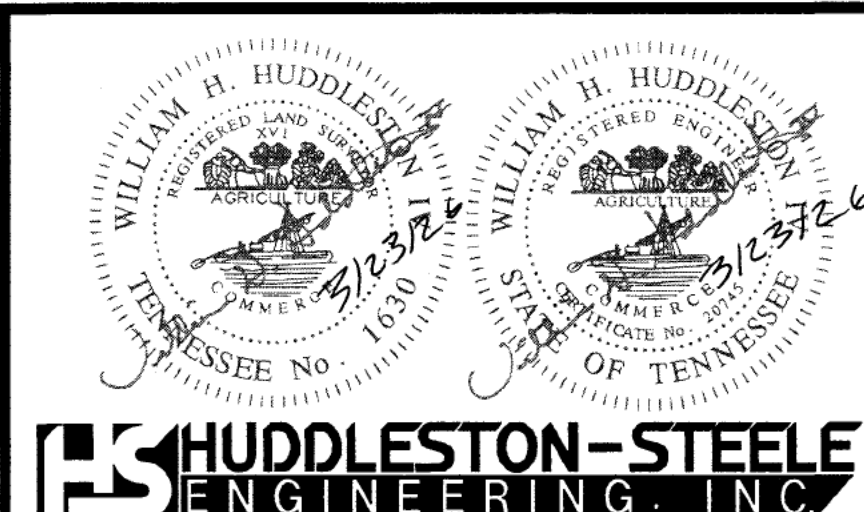
BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]

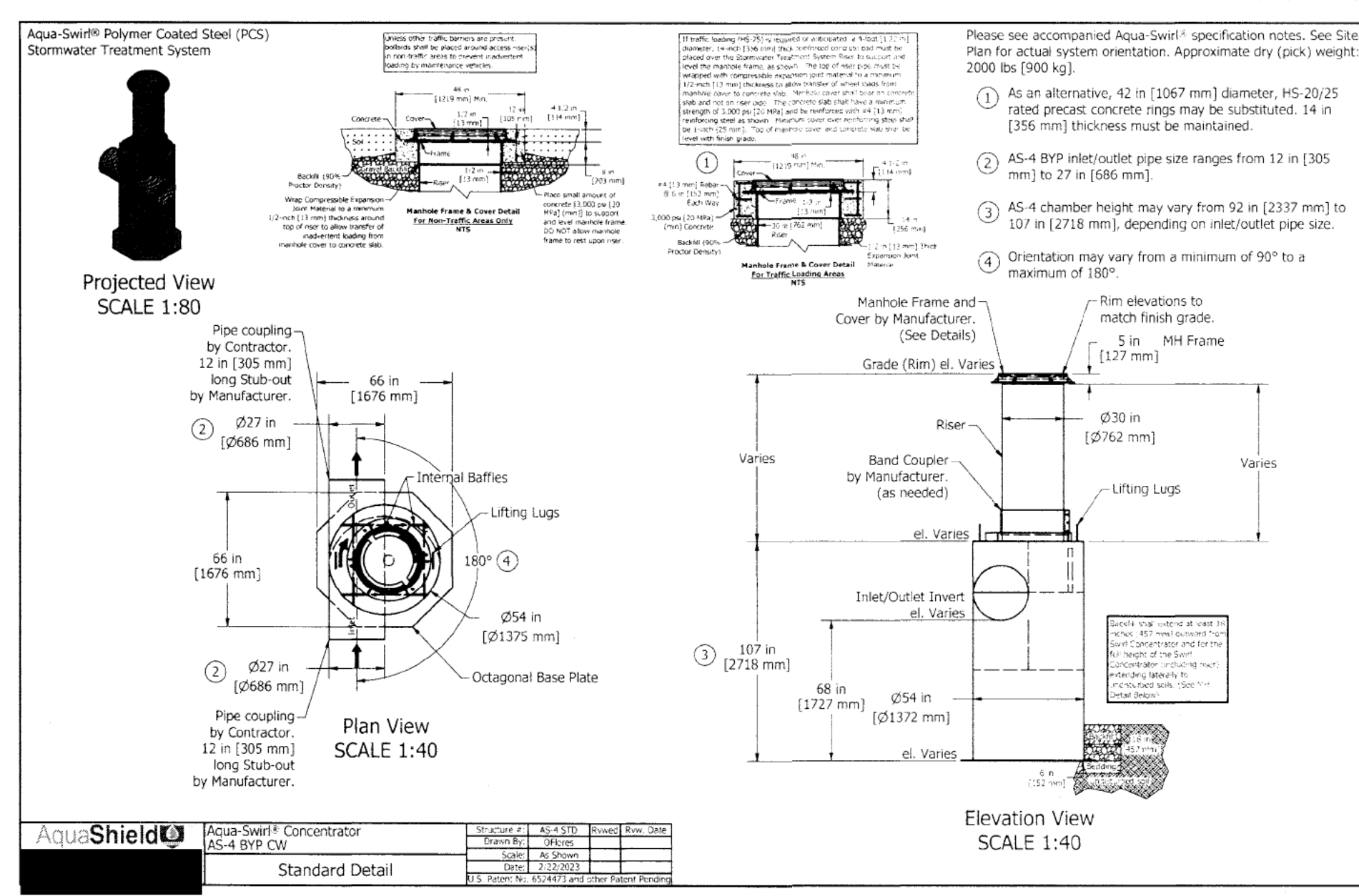
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY, 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



GRADING AND DRAINAGE
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: March, 2026 SCALE: 1"=30' SH. 3 OF 6



Please see accompanied Aqua-Swift specification notes. See Site plan for actual system orientation. Approximate dry (pick) weight: 2000 lbs (900 kg).

- As an alternative, 42 in [1067 mm] diameter, HS-20/25 rated precast concrete rings may be substituted. 14 in [356 mm] thickness must be maintained.
- AS-4 BVP inlet/outlet pipe size ranges from 12 in [305 mm] to 27 in [686 mm].
- AS-4 chamber height may vary from 52 in [2317 mm] to 107 in [2718 mm], depending on inlet/outlet pipe size.
- Orientation may vary from a minimum of 90° to a maximum of 180°.

S:\CAD\36\Draw ID Project\1370 Heil Quaker Blvd\1370 Heil Quaker Blvd.dwg, 3/25/2026 11:17:12 AM, eip 7770 No. 1 Series K

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON HiPer V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION—TN3A
STATE PLANE (TN 4100—US SURVEY FT.)— NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used— GEG003
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE—TN 4100—US SURVEY FT.)

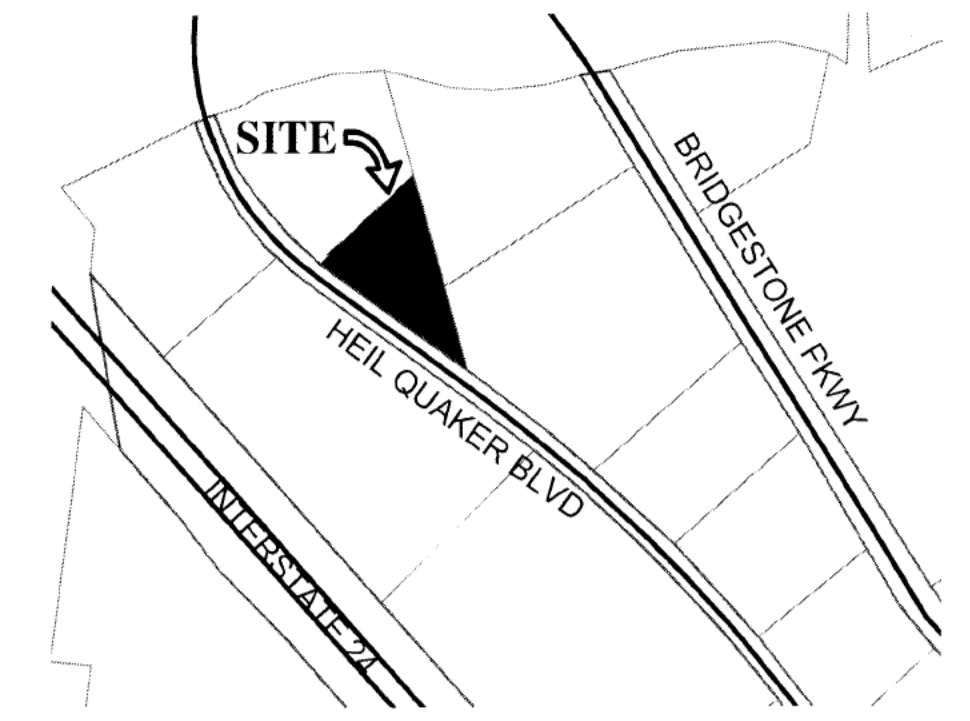
LEGEND

- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED "I-S ENGR)
- IPF ○ IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X—X—X EXISTING FENCE LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

WESNOFSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



LOCATION MAP
N.T.S.

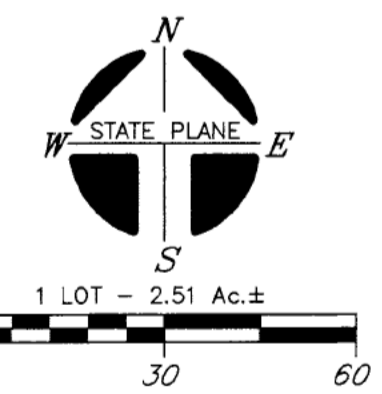
HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

- Power Pole
- Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

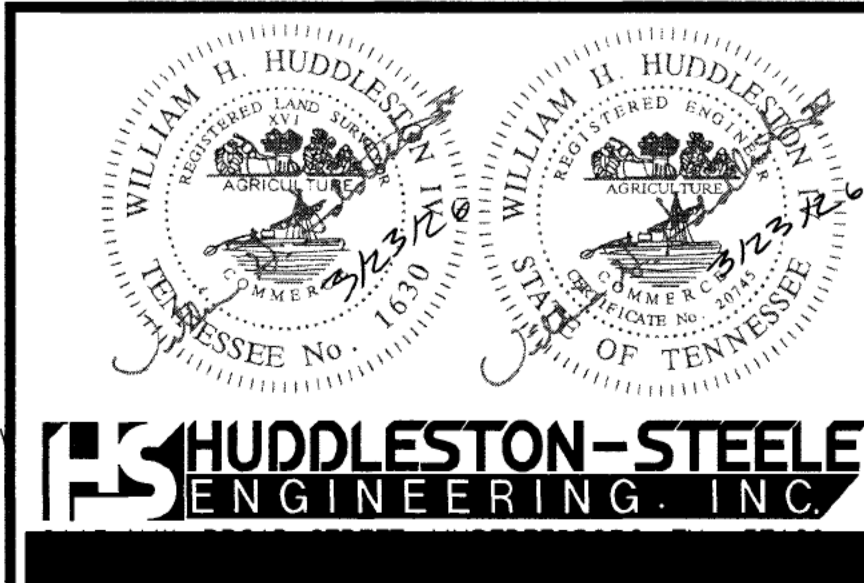
BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

- EROSION CONTROL INITIAL MEASURES:**
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
 - TEMPORARY CONSTRUCTION EXIT TO BE INSTALLED.
 - SILTATION FENCE TO BE INSTALLED AT TOE OF SLOPE AS SHOWN.
- EROSION CONTROL INTERMEDIATE MEASURES:**
- SILT FENCE IS TO BE INSTALLED AT TOE OF SLOPES.
 - EROSION CONTROL MATTING TO BE INSTALLED IN DITCHES ONCE CONSTRUCTED.
 - DISTURBED AREAS SHALL BE SEEDED TEMPORARILY.
- EROSION CONTROL "FINAL" MEASURES:**
- VEGETATION (SEEDING & STRAWING) OF DISTURBED AREAS TO BE INSTALLED AS FINAL MEASURES.
 - REMOVE SILTATION FENCES

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

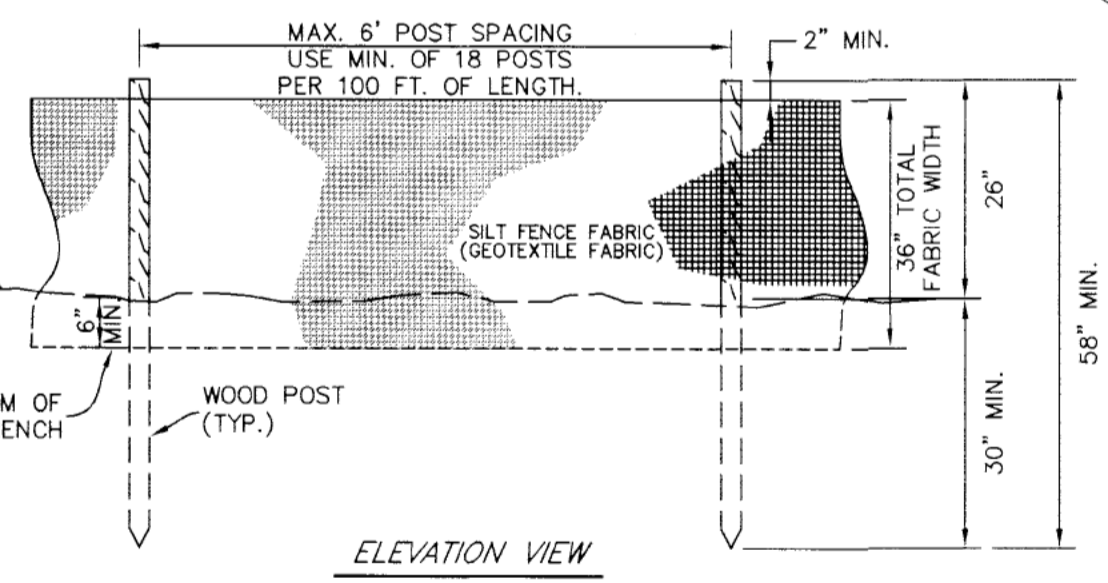


INITIAL MEASURES
EROSION PREVENTION/SEDIMENT CONTROL
1370 HEIL QUAKER BLVD
15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: March, 2026 SCALE: 1"=30' SH. 4.0 OF 6

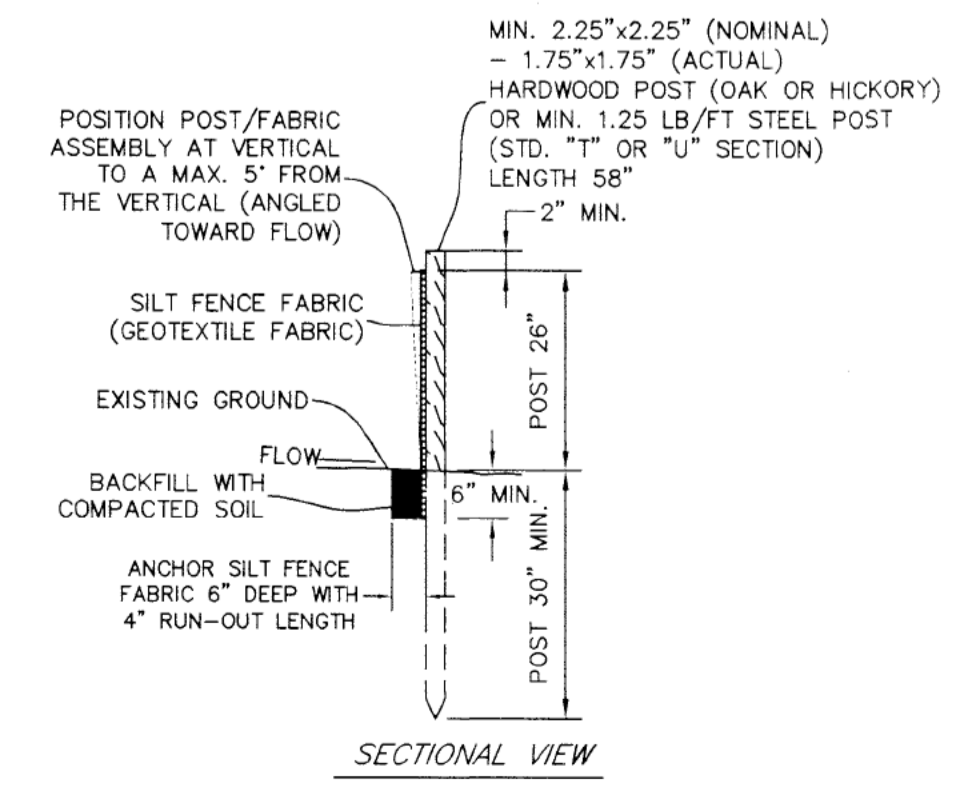
SILT FENCE (TYP.)

SILT FENCE (TYP.)

TEMPORARY CONSTRUCTION EXIT

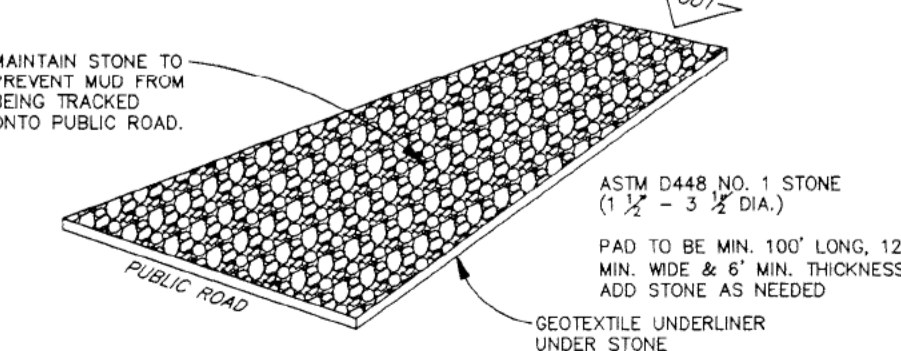


ELEVATION VIEW



SECTIONAL VIEW

TEMPORARY SILT FENCE DETAIL
N.T.S.



TEMPORARY CONSTRUCTION EXIT DETAIL
N.T.S.

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per The Underground Utility Damage Prevention Act that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON HiPer V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION-TN3A
STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

LEGEND

- IPS O IRON PIN SET (1/2" REBAR WITH STAMPED W-S ENGR)
- IPF O IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X- X- EXISTING FENCE LINE

LEGEND PROPERTIES LLC
C/O HAL SLAVEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

WESNOFSKY FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

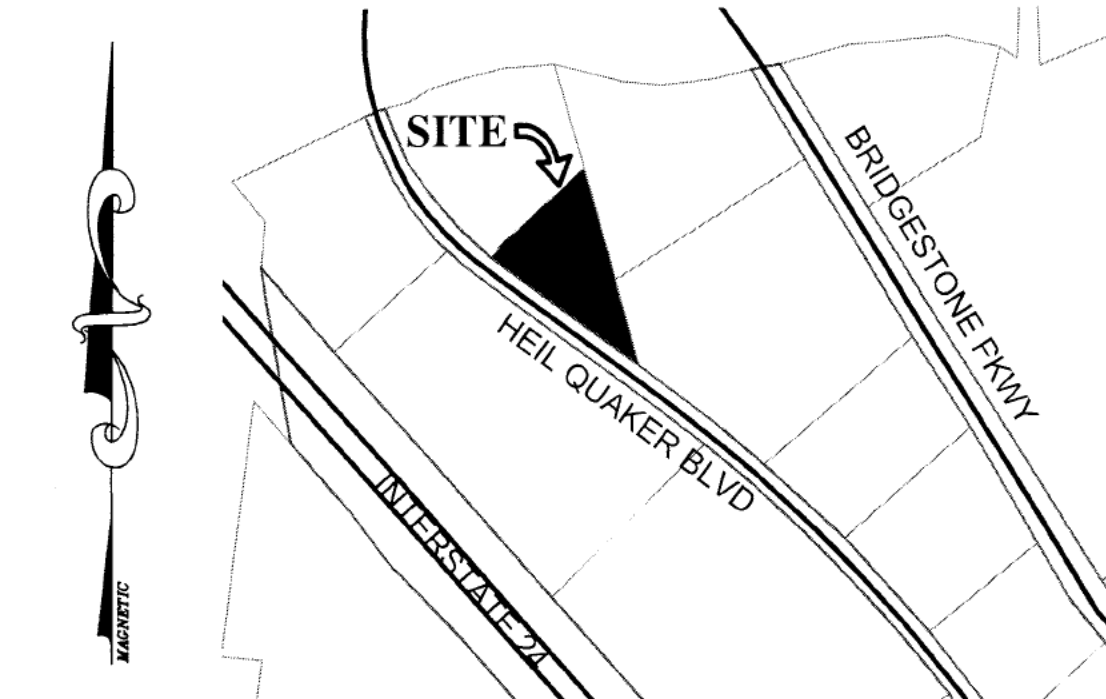
1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN

FINAL VEGETATION AND SEEDING AND STRAWING OF ALL DISTURBED AREAS (TYP.)

REMOVE SILT FENCE (TYP.)

FINAL VEGETATION AND SEEDING AND STRAWING OF ALL DISTURBED AREAS (TYP.)

REMOVE SILT FENCE (TYP.)



LOCATION MAP
N.T.S.

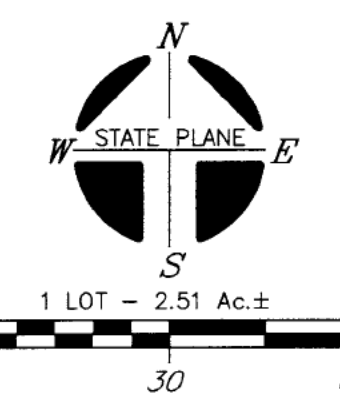
HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

- ⊕ Power Pole
- ⊙ Sign
- ⊙ Existing Fire Hydrant
- ⊙ Proposed Fire Hydrant
- ⊙ Reducer
- ⊙ Proposed Gate Valve & Box
- ⊙ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- o.o Existing Spot Elevations
- o.o Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]

PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

W. H. HUDDLESTON-STEELE ENGINEERING, INC.
TELEPHONE: (615) 955-4600 FAX: (615) 955-6000

FINAL MEASURES
EROSION PREVENTION/SEDIMENT CONTROL
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
Date: March, 2026 SCALE: 1"=30' SH. 4.2 OF 6

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #P00137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION—TN3A
STATE PLANE (TN 4100—US SURVEY FT.)— NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used— GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921665 (STATE PLANE—TN 4100—US SURVEY FT.)

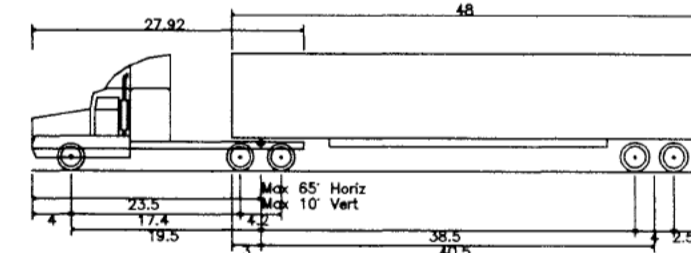
- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IPF ○ IRON PIN FND.
 - CMF □ CONCRETE MONUMENT FND.
 - X—X— EXISTING FENCE LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

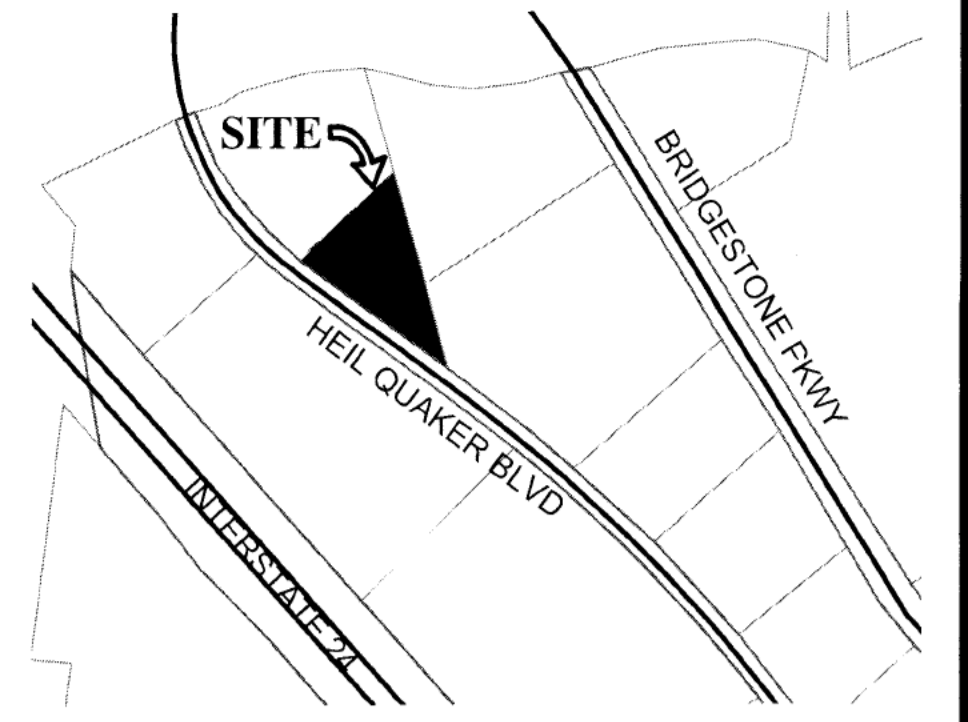
50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

WESNOFSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



WB-62 - Interstate Semi-Trailer
Overall Length 68.500ft
Overall Width 8.500ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.344ft
Max Truck Width 8.500ft
Lock-to-lock time 6.000ft
Curbs to Curbs Turning Radius 45.000ft



LOCATION MAP
N.T.S.

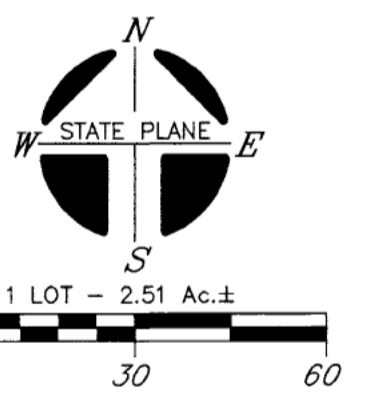
HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

- Power Pole
- Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON
THE TENNESSEE STATE
PLANE COORDINATE
SYSTEM (NAD 83)



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 170B
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

W. HUDDLESTON-STEEL ENGINEERING, INC.

TRUCK TEMPLATE
1370 HEIL QUAKER BLVD
15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
Date: March, 2026 SCALE: 1"=30' SH. 5 OF 6

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #100137-04 (Dual Frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION--TN3A
STATE PLANE (TN 4100--US SURVEY FT.)-- NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used-- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE--TN 4100--US SURVEY FT.)

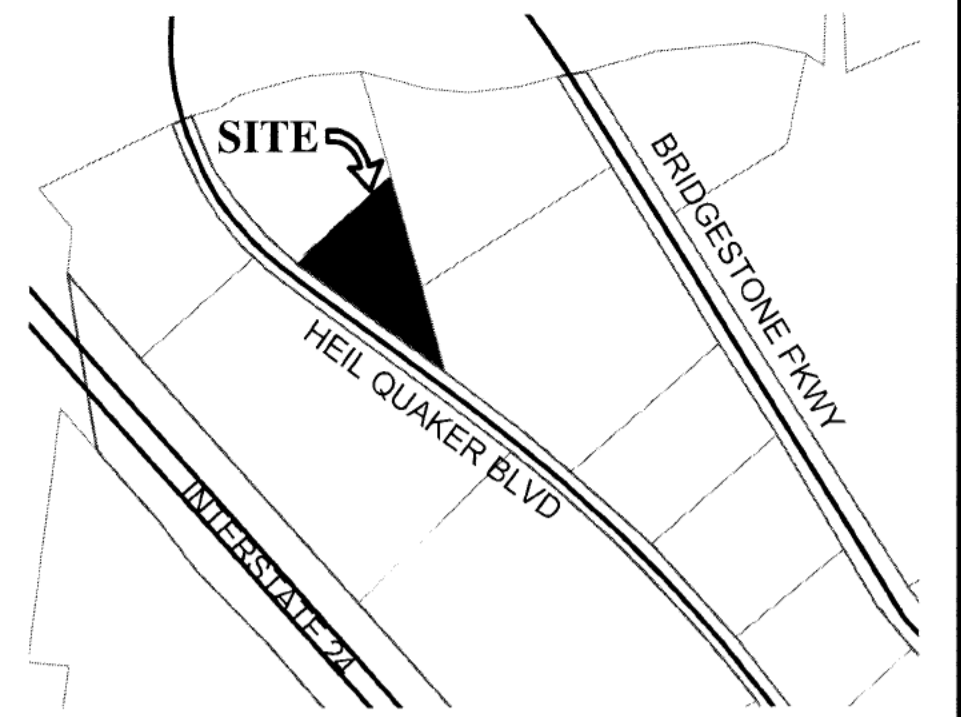
- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IPF ○ IRON PIN FND
 - CMF □ CONCRETE MONUMENT FND
 - X—X— EXISTING FENCE LINE

LEGEND PROPERTIES LLC
673 HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

WESNOSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



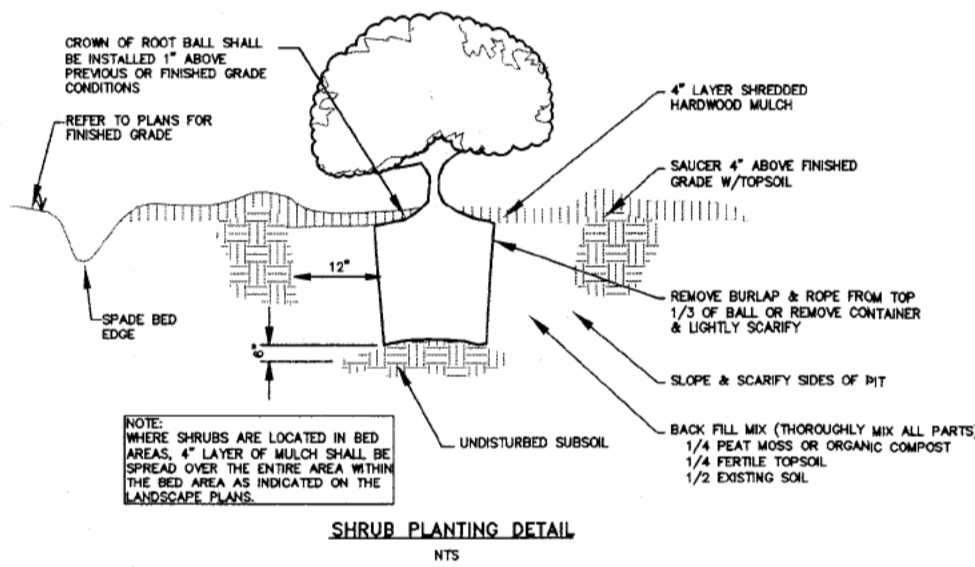
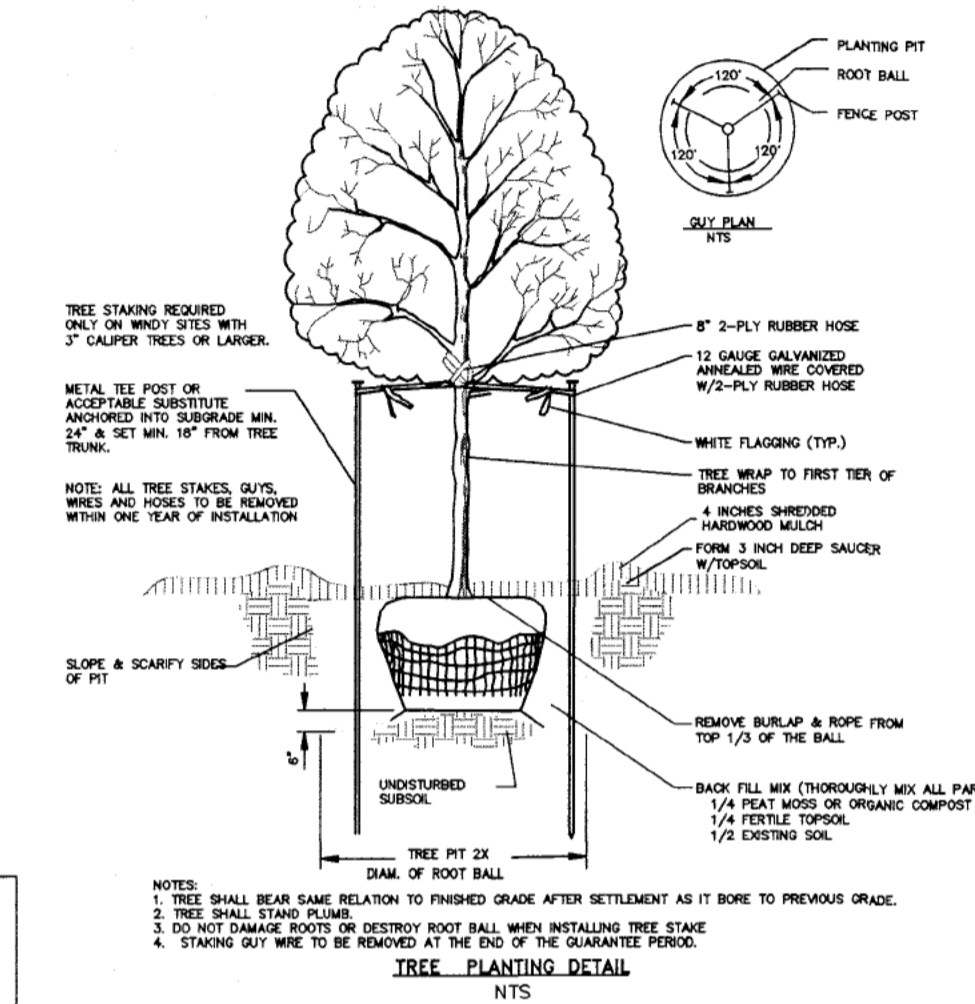
LOCATION MAP
N.T.S.

HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

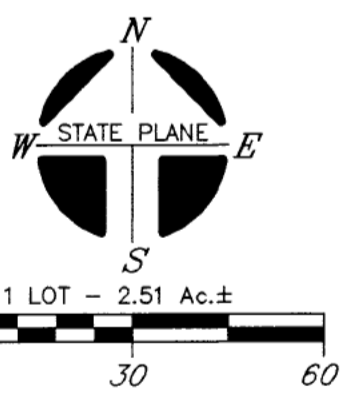
- Power Pole
- Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- Existing Spot Elevations
- Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05



PLANT MATERIALS SCHEDULE

KEY	QUANTITY	SCIENTIFIC NAME / COMMON NAME	TRUNK	HEIGHT	SPREAD	REMARKS
○	307	Buxus sempervirens / Common Boxwood		30" MIN.		Double Staggered 3' on-center
○	21	Acer rubrum / Red Maple	2.5" MIN.			

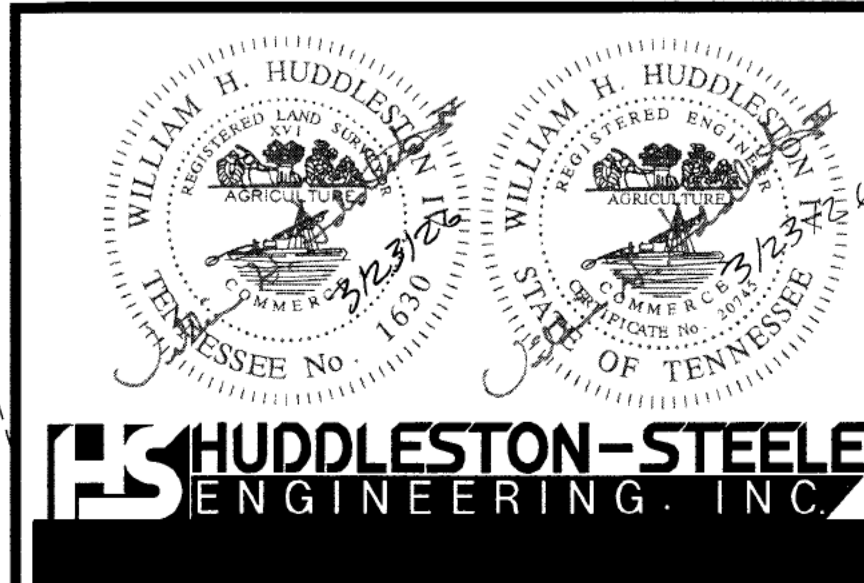
BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]

PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



HUDDLESTON-STEEL ENGINEERING, INC.

LANDSCAPE PLAN
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: March, 2026 SCALE: 1"=30' SH. 6 OF 6



Item #: 4. Concept Plan - Emrose, Nine Lots on Two Acres. Property located at 111 Irvin Road (Tax Map 18P, Group A, Parcel 6). R-3 (High Density Residential) Zoning District. Property owned by Kopley Properties, LLC. Requested by SEC, Inc.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

On behalf of their client, SEC, Inc. is requesting approval of the final plat for Emrose located on 2 ± acres. The purpose of the plan is to create new single-family residential development. The property is currently zoned R-3.

The property is located off Irvin Road. The proposed layout shows 9 new lots with common areas. Also shown on the plan is the layout of a new street.

All streets should show sidewalks a minimum of 5 feet wide.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@laveragnetn.gov; and Jake Blair - jblair@laveragnetn.gov)

Engineering (Gary Lide - glide@laveragnetn.gov)

All Planning comments addressed.

Engineering (Gary Lide - glide@laveragnetn.gov)

All Engineering comments addressed.

Utilities (Scott Tatalovich - statalovich@laveragnetn.gov)

1. City is confident existing low-pressure sewer forcemain in Merritt Dr terminates before the driveway for 135 Merritt Dr (midway through lot 2, but other side of street from development).
2. City desires development to discharge to the existing 3" LPS in Irvin Rd. So, recommend install a 2" LPS public extension in Merritt Dr to just before the connection for lot 3, then reduce to 1.5" for service to lots 1-3. Align the LPS sewer 1 foot behind future walk for development on the West side of Merritt Dr, and terminate with a blowoff assembly. Connect to 3" LPS in Irvin Rd within current proposed limits of pavement overlay, this way Merritt Dr. will not have to be cut or repaved for sewer services, and all services are short side.
3. FYI, existing waterlines in Merritt Dr and Irvin Rd are both 6 inch.
4. FYI, construction drawings will have to go to TDEC for engineering approval of the required public sewer extension.
5. FYI: Fire flow has been provided and is 2,974gpm at 20psi. Water and sewer is available. Availability letters have not been written by City, yet; but, Utility Engineer addressed this issue with calculations in his email to SEC's John Miner and Matt Taylor on 4/23/2026. Contact Scott Tatalovich, with any questions, statalovich@laveragnetn.gov.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

No comments.

Police

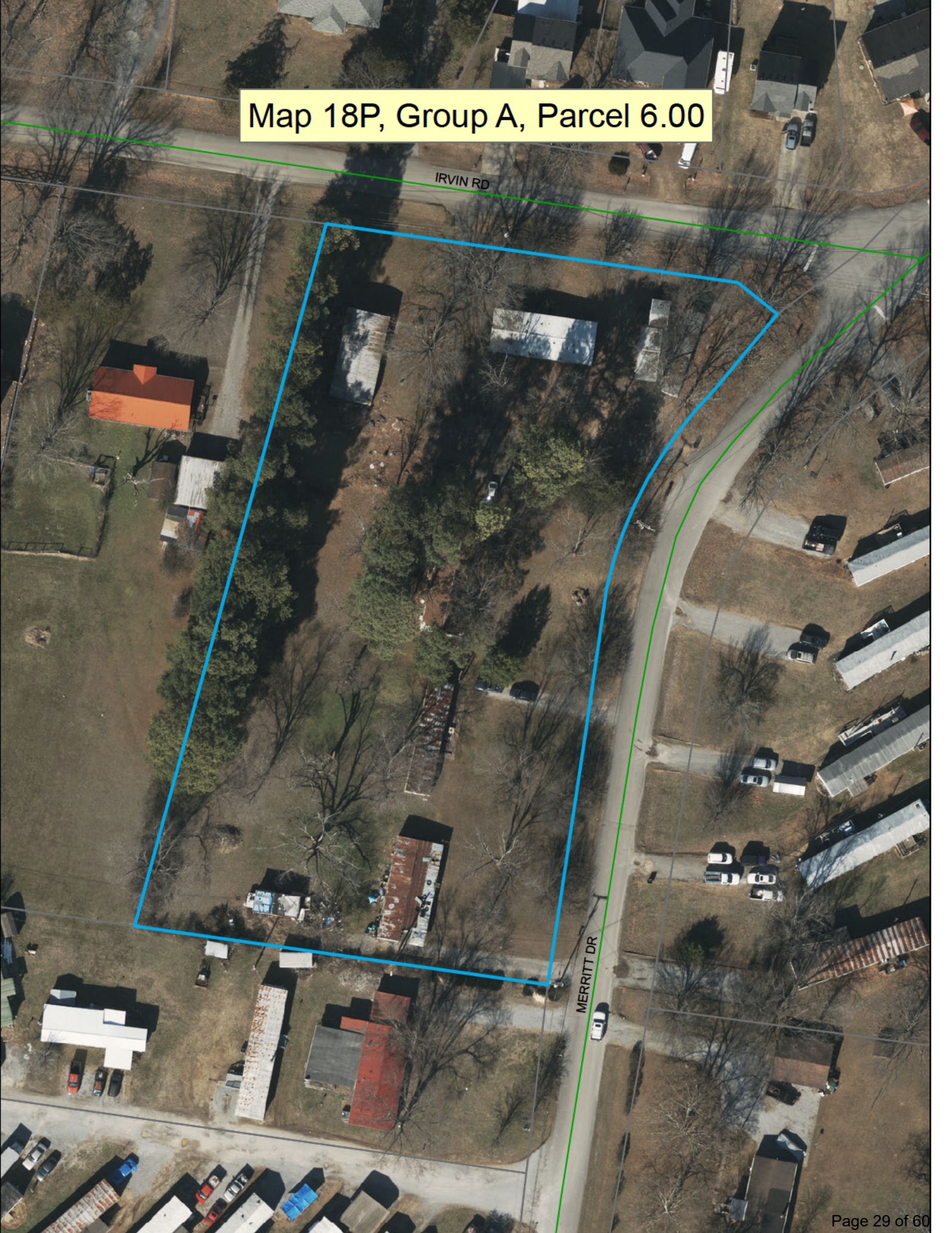
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

Map 18P, Group A, Parcel 6.00



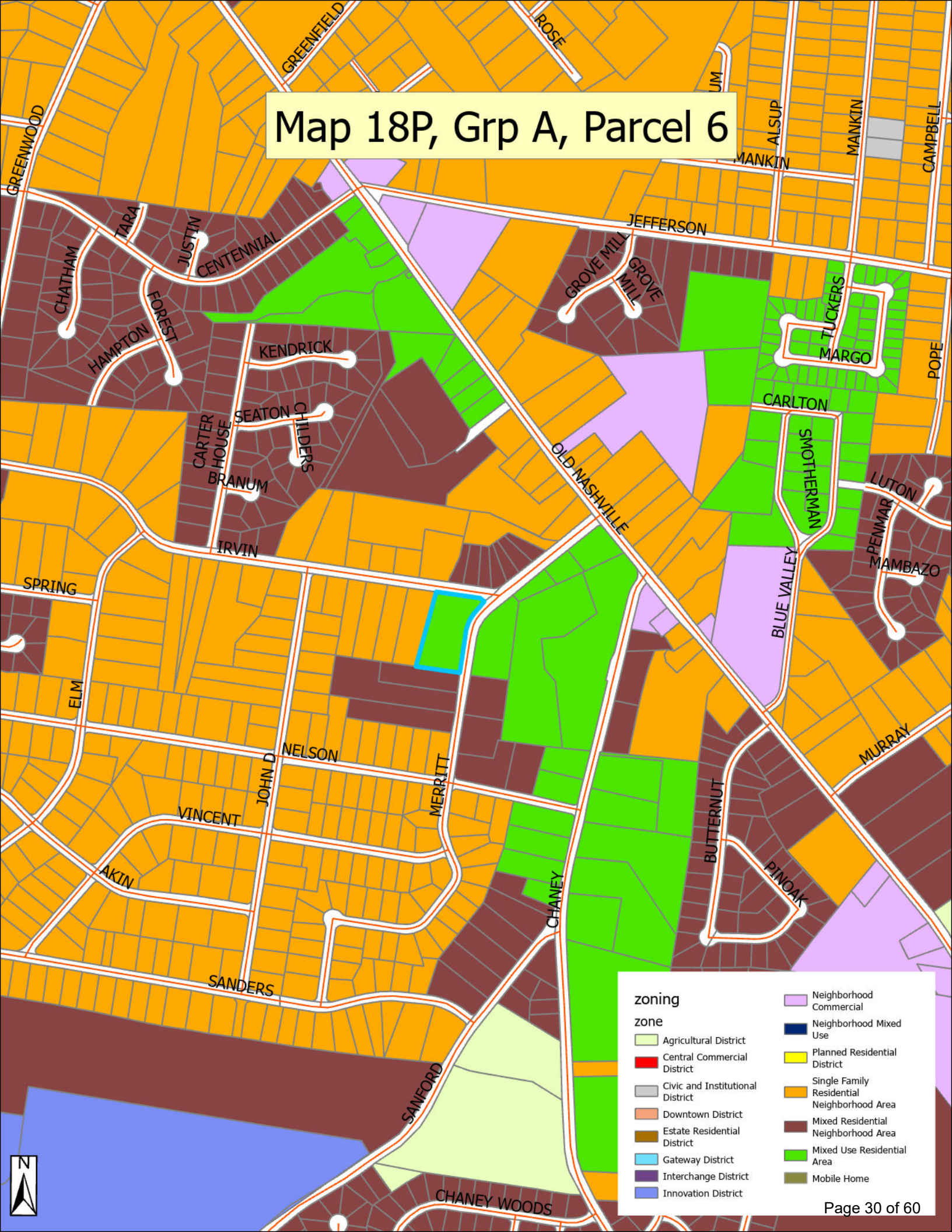
Map 18P, Group A, Parcel 6.00



IRVIN RD

MERRITT DR

Map 18P, Grp A, Parcel 6



zoning

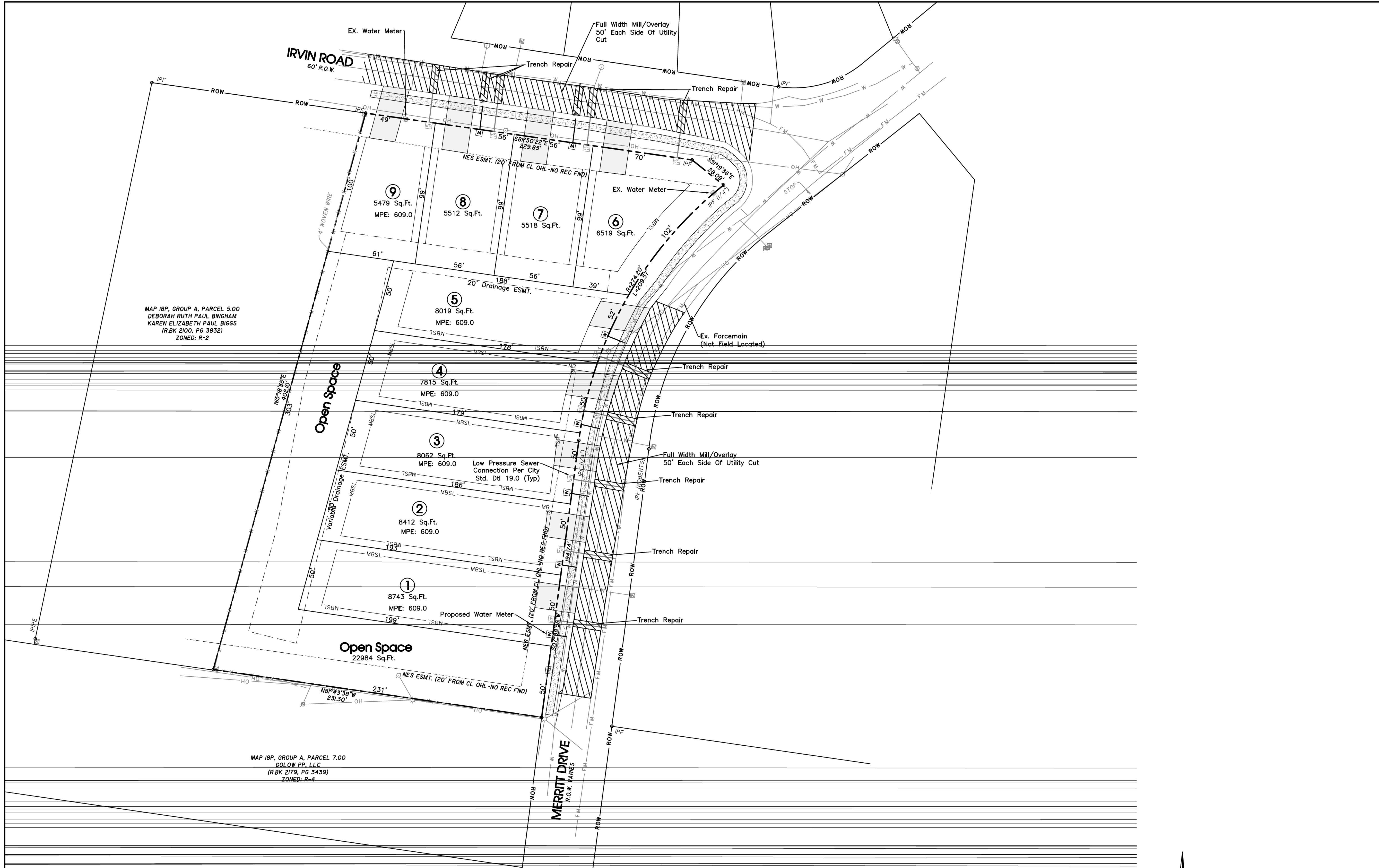
zone

- | | | | |
|---|----------------------------------|---|---|
|  | Agricultural District |  | Neighborhood Commercial |
|  | Central Commercial District |  | Neighborhood Mixed Use |
|  | Civic and Institutional District |  | Planned Residential District |
|  | Downtown District |  | Single Family Residential Neighborhood Area |
|  | Estate Residential District |  | Mixed Residential Neighborhood Area |
|  | Gateway District |  | Mixed Use Residential Area |
|  | Interchange District |  | Mobile Home |
|  | Innovation District | | |







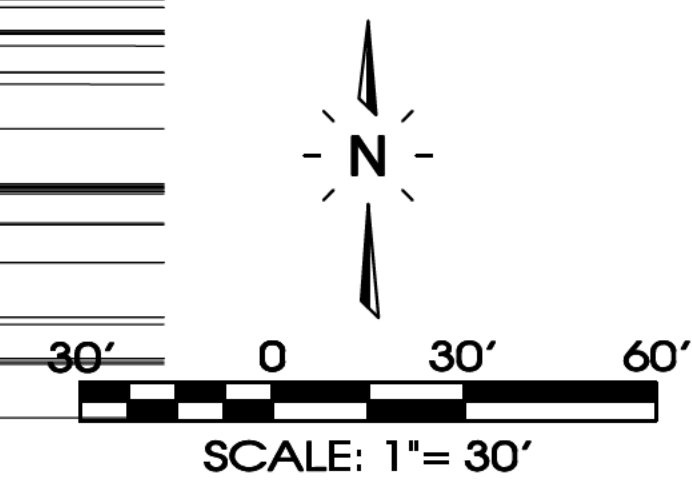


MAP IBP, GROUP A, PARCEL 5.00
 DEBORAH RUTH PAUL BINGHAM
 KAREN ELIZABETH PAUL BIGGS
 (R.BK 2100, PG 3832)
 ZONED: R-2

MAP IBP, GROUP A, PARCEL 7.00
 GOLOW PR, LLC
 (R.BK 2179, PG 3439)
 ZONED: R-4

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

UTILITY PROVIDERS:
 SEWER: CITY OF LA VERGNE
 WATER: CITY OF LA VERGNE
 ELECTRIC: NASHVILLE ELECTRIC SERVICES

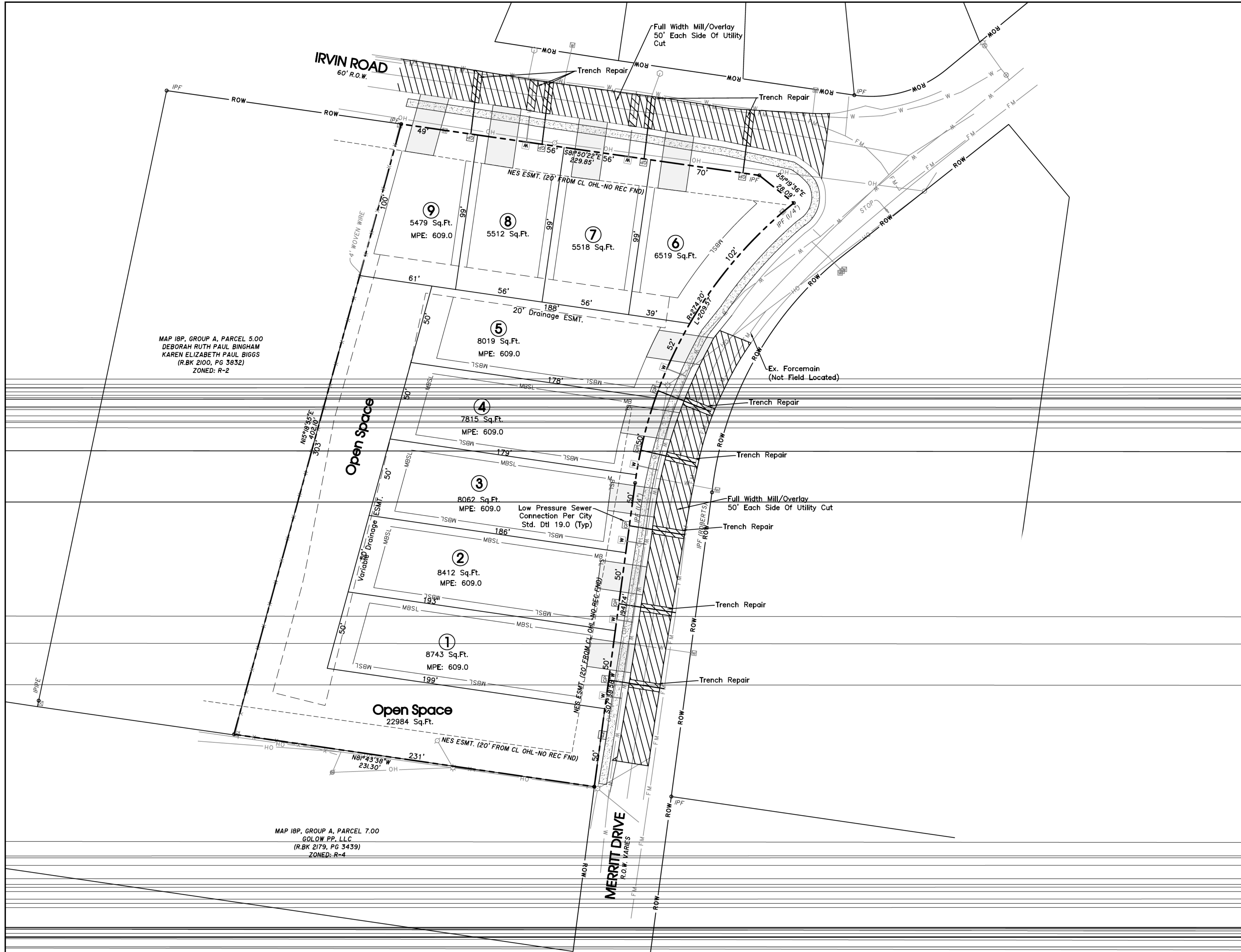


SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.
 COPYRIGHT © S.E.C. INC., 2025
 I hereby certify that I am a duly Licensed Professional Engineer in the State of Tennessee, No. 12345, and I am the sole responsibility of the owner/drawer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that the site is constructed in accordance with the construction plans.

REVIEW SET
 (Not Intended for Construction)

111 Irvin Road
 Emrose Village
 La Vergne, Tennessee

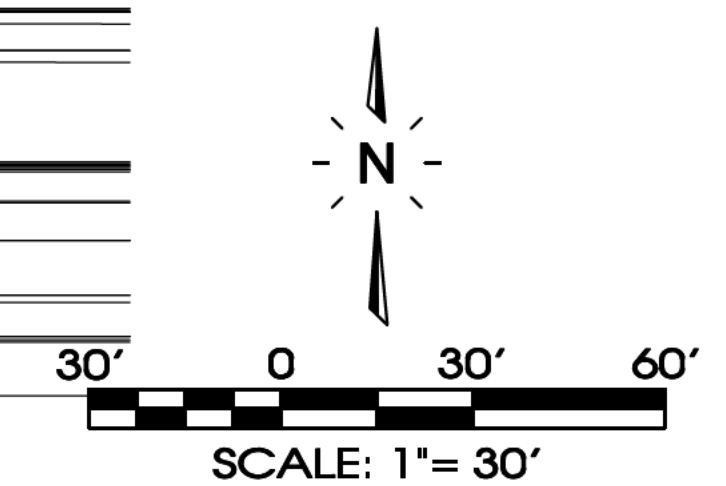
REV: ED:	4	mm	ms
AWN:	JA/ F		
ATE:	--		
HE KE:			
MAT			
FILE NAME:	41rjt		
ALE:	1"		
J N:	4		
HEET:	C2.1		



UTILITY PROVIDERS:

SEWER:	CITY OF LA VERGNE
WATER:	CITY OF LA VERGNE
ELECTRIC:	NASHVILLE ELECTRIC SERVICES

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.



SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567

NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.
COPYRIGHT S.E.C. INC., 2025

I, F. MINER, LICENSED PROFESSIONAL ENGINEER, STATE OF TENNESSEE, LICENSE NO. 34567, HEREBY CERTIFY THAT I AM THE ENGINEER OF RECORD FOR THIS PROJECT. THE ENGINEER ASSUMES NO ADMINISTRATIVE LIABILITY OR RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

REVIEW SET
(Not Intended for Construction)

111 Irvin Road
Emrose Village
La Vergne, Tennessee

REVISED: 4	DATE: --	BY: JA/ F
MAT	FILE NAME: 41.rjt	SCALE: 1" = 30'
J N	4	HEET: C2.2



Item #: 5. Site Plan - 425 Industrial Boulevard - New Building Consisting of 10,800 Square Feet on 4.14 Acres. Property located at 425 Industrial Blvd. (Tax Map 29, Parcel 7.01). GD (Gateway District) Zoning District. Property owned by Sitepro Rentals, Inc. Requested by Dewey Engineering.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

IN THE NEW ZONING:

Point #1 - Gateway District allows Industrial Services (GD actually functions like a light industrial zone)

Industrial Services means: An establishment engaged in the repair, servicing, or contracting of industrial, business, or consumer machinery, equipment, products, or by-products. These establishments may service consumer goods by providing centralized services for other businesses. Examples include building maintenance services, construction contractors, landscape services, and similar establishments engaged in performance of services off-site. Therefore staff recommendation is that **this bus company falls under "and similar establishments engaged in performance of services off-site."** Naturally nearly all of this bus company's services are off-site so it fits well in GD.

Point #2 - Gateway District allows Industrial Sales

Industrial Sales means: Retail or wholesale sales of bulk materials used for manufacturing, construction, machinery and equipment, or landscape materials, such as mulch or stone.

Staff Interpretation: Buses parked here could not be more intrusive than "bulk materials used for manufacturing, construction, machinery and equipment, or landscape materials, such as mulch or stone.

NOTE ON OUTDOOR STORAGE VS. DISPLAY

1. The display of equipment which is for sale **or rental** such as the Wise coaches and school buses is an integral part of their business, PLUS the new ord says display such as this is NOT included in outdoor storage definition.

Because the Gateway District (GD) actually functions like a light industrial zone that means no architectural standards apply. See page 159.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@laveragnetn.gov; and Jake Blair - jblair@laveragnetn.gov)

- 1) The sidewalk has been added to the site plan.

Engineering (Gary Lide - glide@laveragnetn.gov)

No comments.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

1. City is confident existing low-pressure sewer forcemain in Merritt Dr terminates before the driveway for 135 Merritt Dr (midway through lot 2, but other side of street from development).
2. City desires development to discharge to the existing 3" LPS in Irvin Rd. So, recommend install a 2" LPS public extension in Merritt Dr to just before the connection for lot 3, then reduce to 1.5" for service to lots 1-3. Align the LPS sewer 1 foot behind future walk for development on the West side of Merritt Dr, and terminate with a blowoff assembly. Connect to 3" LPS in Irvin Rd within current proposed limits of pavement overlay, this way Merritt Dr. will not have to be cut or repaved for sewer services, and all services are short side.
3. FYI, existing waterlines in Merritt Dr and Irvin Rd are both 6 inch.
4. FYI, construction drawings will have to go to TDEC for engineering approval of the required public sewer extension.
5. FYI: Fire flow has been provided and is 2,974gpm at 20psi. Water and sewer is available. Availability letters have not been written by City, yet; but, Utility Engineer addressed this issue with calculations in his email to SEC's John Miner and Matt Taylor on 4/23/2026. Contact Scott Tatalovich, with any questions, statalovich@lavergn.net.

6. Site Plan – 425 Industrial Blvd

1. Sht C6.0 – Drawing is difficult to interpret, recommend, screen back all lines except the proposed utilities, and the right-of-way. Proposed utilities should be thickest line, and right-of-way a little thinner than the proposed lines for clarity.
2. Sht C6.0 – There are 4 notes for the new forcemain. Only need one note on the proposed line. The notes on the proposed line are smaller than existing utility callouts on the same sheet, please increase size of note of proposed line.
3. Sht C6.0 - Forcemain shall be 1.5 inch schedule 40 PVC (those are the minimums that the City uses within right-of-ways).
4. Sht C6.0 – There is a callout note for an existing 36" storm drain, but no pipe is shown. Other storm drain pipes and headwalls also missing. Storm drain layer may be turned off in AutoCAD.
5. Sht C6.0 – Overhead electrical is not labeled.
6. Sht C6.0 – Point to and label all existing utilities.
7. Sht C6.0 – There is no alignment for the proposed offsite forcemain. Need starting coordinate and bearings and distances; coordinates at each angle point; or offset from street ROW and pipe lengths.
8. Sht C6.0 – There force main pipe shall be connected to existing manhole per City's currently unpublished standard detail: "*Low-Pressure Forcemain Discharge to MH Detail.*" City Utility Engineer, Scott Tatalovich, statalovich@lavergn.net will email project engineer a copy of the detail to be placed on Sht C7.0. Engineer to label Sht C6.0 with connection per detail on Sht C7.0. Engineer must also indicate how to reuse or plug existing 3" FM penetration of existing MH. City suggests the existing penetration be reused (bored, if needed) for the flexible boot connection per the new detail.
9. Sht C6.0 – Arrowhead for existing note for DB664 PG442, 20' PUDE points to a location that is written over by other text. It is unclear where this easement is located, or the limits of it, or what it is for. Easements shall be solid lines and clear to see. Label purpose of this easement as *20' PUDE for Smyrna Gas*.
10. Sht C6.0 - Clearly label street right-of-way on water and sewer plan (recommend a thicker line as well as a phantom line type).
11. Sht C6.0 - Grinder pump tank location looks close to road and is located within landscape planting. Recommend move tank further into the project site away from landscaping.
12. Sht C6.0 – Show a control panel mounted on a post adjacent grinder pump tank. It will be approximately 5 feet off the ground. Control panel will be connected to the grinder tank with a buried conduit (to sleeve the power cables).
13. Sht C6.0 – Grinder pump tank system shall be E-One, WH101, 240V a typical setup for La Vergne. You may contact Austin Starkey at Wascon, the local representative, with any questions about the La Vergne grinder pump tank setup.
14. Sht C6.0 - Label Grinder pump tank as "private," as it will be owned/maintained by the property owner.
15. Sht C6.0 and C7.0, Combined 6" Fire and Domestic Water Meter shall be per the revised City Std Dtl 023 which is now labeled Std Dtl W050. Remove and replace detail 023 with W050 on Sht C7.0. Detail will be emailed to Project Engineer by City Utility Engineer, Scott Tatalovich, statalovich@lavergn.net.
16. Sht C6.0 - FDC cannot be located on a combined fire and domestic waterline, as shown. Revised City Std Dtl W050, clarifies this issue and what to show. Note, a backflow preventer is required for the domestic line as well as the fire line. The Fireline backflow preventer (BFP) may be a double detector check, whereas the irrigation and domestic BFP must be RPBA.
17. Sht C6.0 - City does not have a 1" irrigation water meter detail. City has prepared a new detail for 2" *Water Service, Turbo Meter*, which is the new proposed 2" irrigation service detail, but we have yet to make a 1" version. The 1" version would be very similar to the 2" detail, so City Utility Engineer will email the project engineer a copy of this 2" irrigation meter detail for their information. Note: upon application for water service, customer will fill out a fixture count form and City will define the water meter type and size to be used at that time. That usually happens right before the project goes to Preconstruction Meeting.
18. Sht C6.0 – Irrigation Meter's 1" tap off the 6" line shall be with a tapping sleeve.

19. Sht C6.0 - Fire Department Connection shall be labeled as single 5" Stortz.
20. Sht C7.0 – Replace Existing City Std Dtl 081, with revised version that City Utility Engineer, Scott Tatalovich, will send to Project Engineer.
21. Sht L1.0 – Ensure trees are not planted within 10 feet of utility lines.

Codes (Joe White - jwhite@lavergneth.gov)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergneth.gov)

No comments.

Police

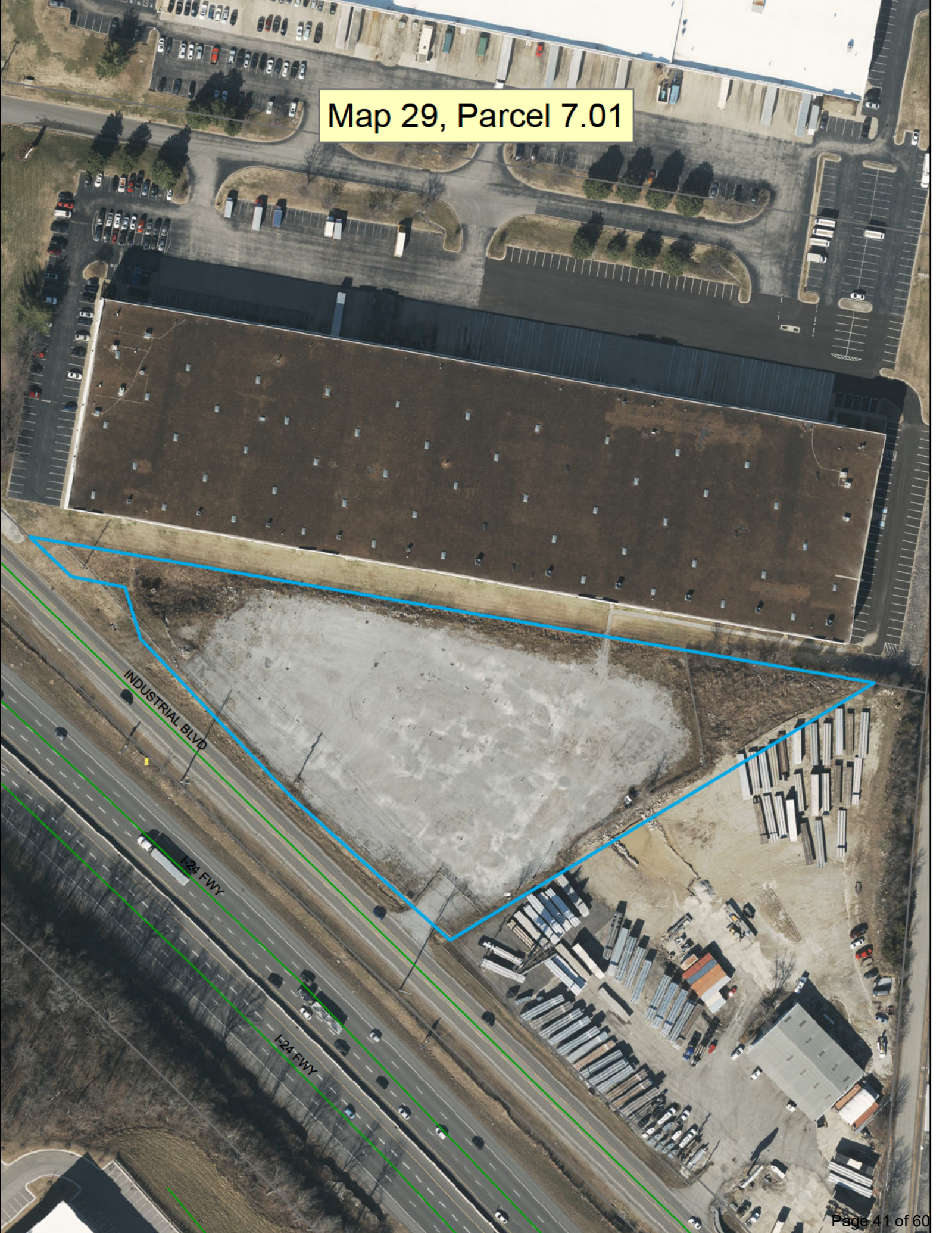
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

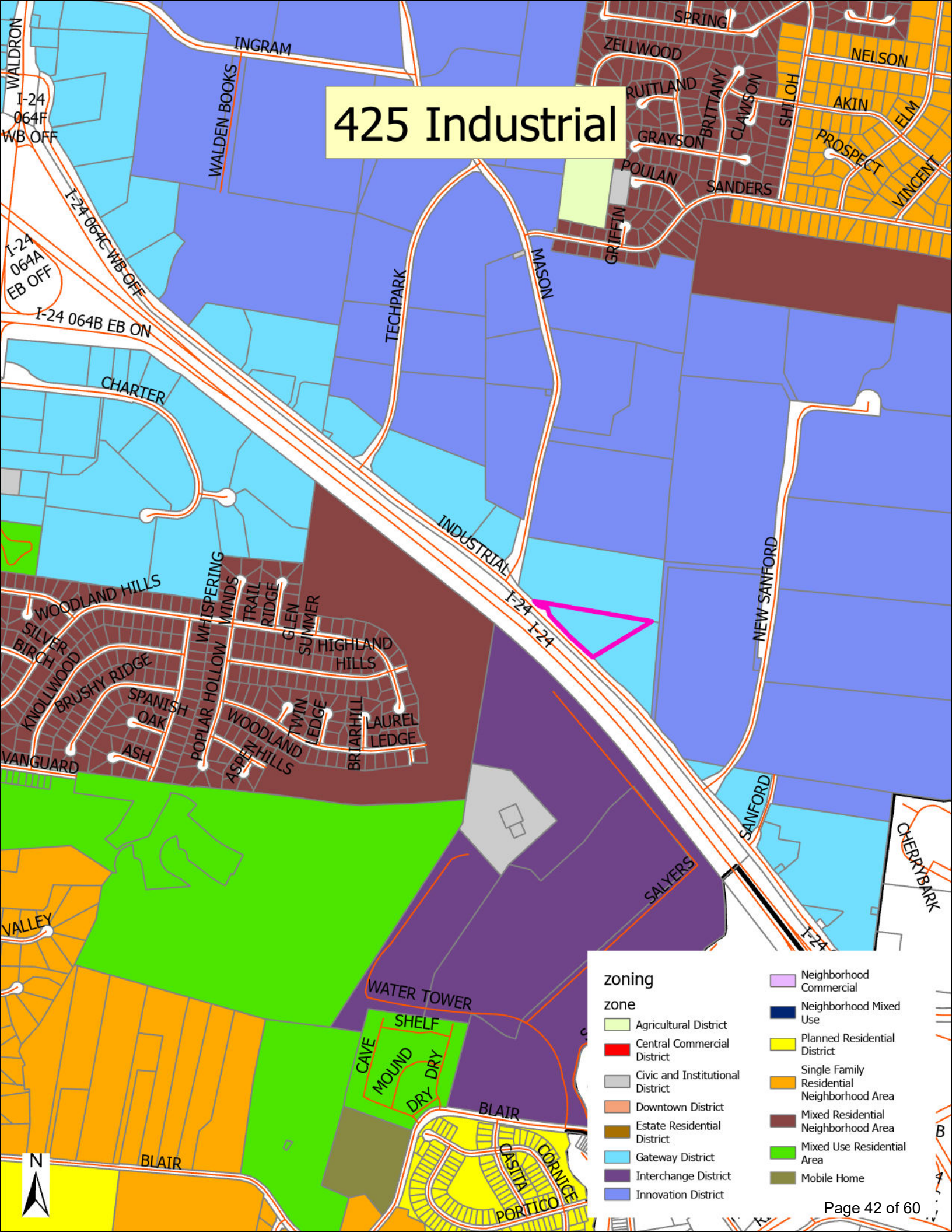
Map 29, Parcel 7.01



Map 29, Parcel 7.01



425 Industrial





For Sale
4.14 Acres of Industrial Land
625 Industrial Blvd
615.295.0000
Keller

For Sale
4.14 Acres of Industrial Land
425 Industrial Blvd
For Leasing Information
Griffin Farriss
615.795.0000

ZAX
EXIT 66B • TURN LE
LEASE



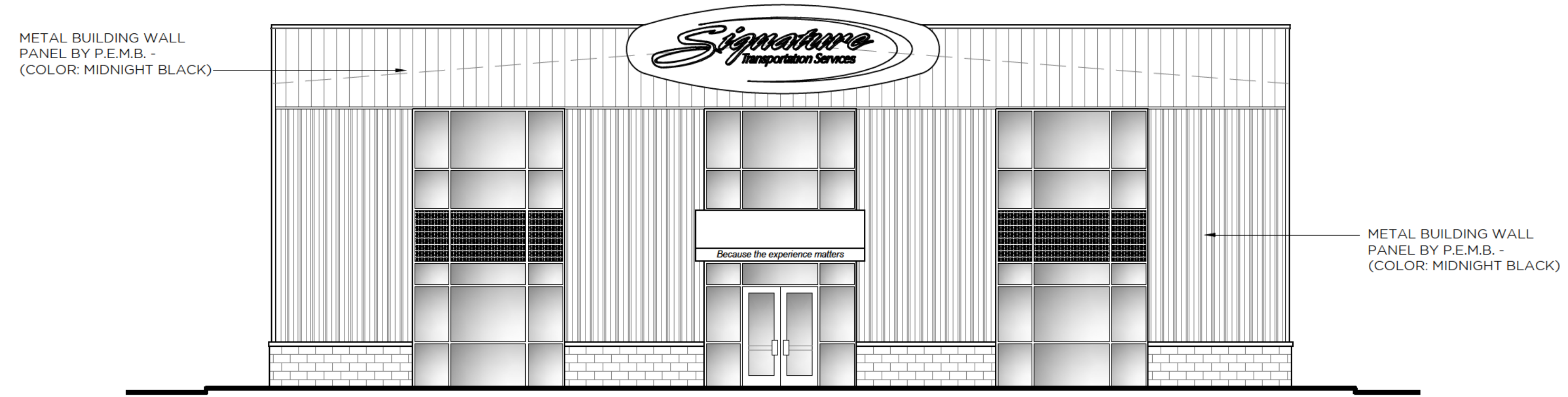


THOMAS L. ANDERSON,
ARCHITECT, INC.
303 SOUTH MAIN STREET
GOODLETTSVILLE, TENNESSEE 37072
PHONE: 615.448.6848

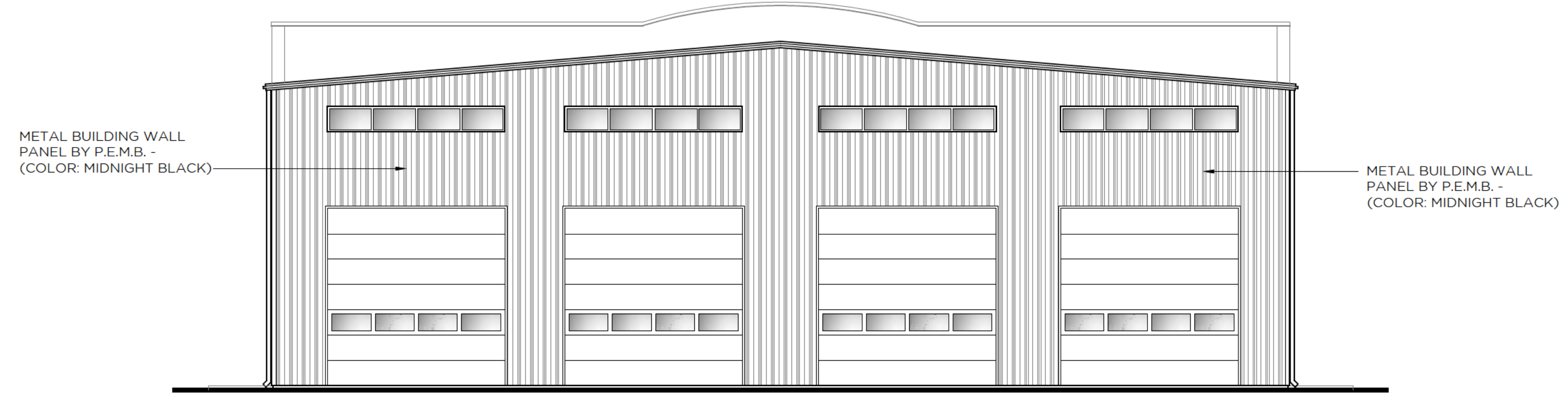
PROPOSED SOUTH ELEVATION FOR
SIGNATURE TRANSPORTATION SERVICES

425 INDUSTRIAL BOULEVARD
LAVERGNE, TENNESSEE 37086

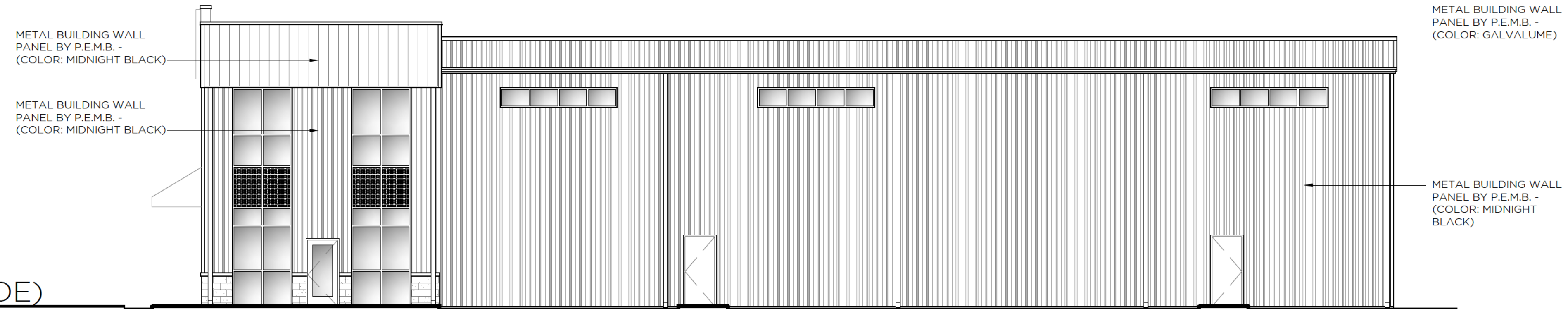
1 SOUTH ELEVATION (FRONT)
A1.3 SCALE: 1/8"=1'-0"



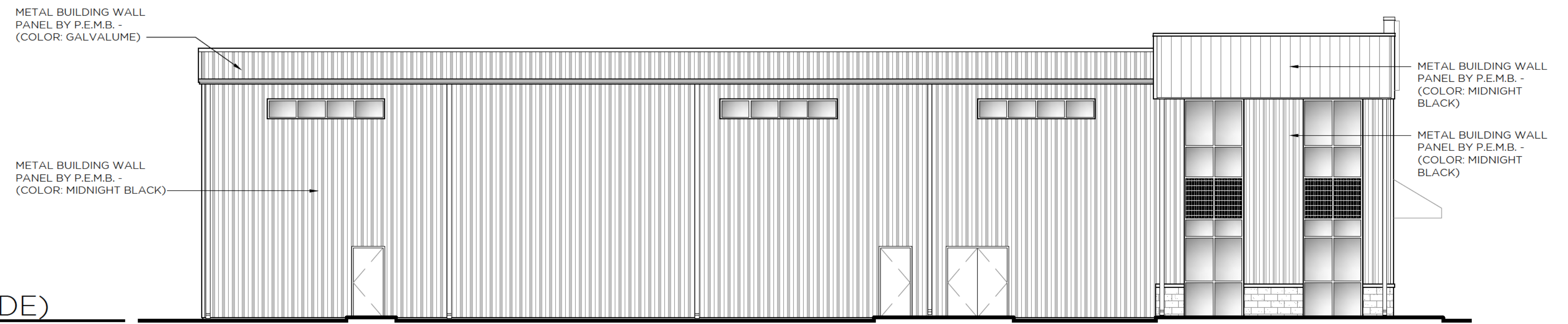
2 NORTH ELEVATION (REAR)
A1.3 SCALE: 1/8"=1'-0"



3 EAST ELEVATION (R. SIDE)
A1.3 SCALE: 1/8"=1'-0"



4 WEST ELEVATION (L. SIDE)
A1.3 SCALE: 1/8"=1'-0"



THOMAS L. ANDERSON,
ARCHITECT, Inc.
303-A SOUTH MAIN STREET
GOODLETTSVILLE,
TENNESSEE 37072
PHONE: (615) 448-6848
FAX: (615) 448-6850
E-MAIL: info@tla.com

© 2020 Thomas L. Anderson, Arch. Inc.
Drawings, written material, and design concepts
shall not be used or reproduced in whole or part in
any form or format without prior written consent of
Thomas L. Anderson, Arch. Inc. Do not scale
drawings. Use given dimensions only. If not shown,
verify correct dimensions with Architect.
Contractor shall check and verify all dimensions and
conditions at the job site.

A NEW FACILITY FOR
SIGNATURE ELITE
CHARTERS
425 INDUSTRIAL BOULEVARD
LA VERGNE, TENNESSEE 37086
PROJECT NO.: 26030

EXTERIOR
ELEVATIONS

REVISIONS:

DRAWN BY: CHK'D BY:

DATE:

SHEET:

A1.3



METAL PANELS BY P.E.M.B.
COLOR: MIDNIGHT BLACK



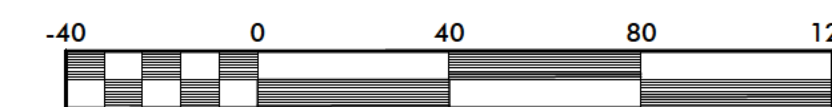
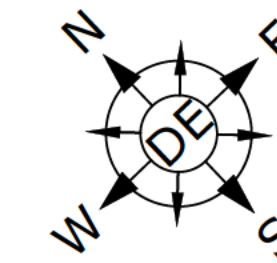
SPLIT FACE CMU
COLOR: GRAY

ACTUAL SAMPLES TO BE ADHERED TO FINAL BOARD



THOMAS L. ANDERSON,
ARCHITECT, INC.
303 SOUTH MAIN STREET
GOODLETTSVILLE, TENNESSEE 37072
PHONE: 615.448.6848

COLOR SELECTIONS FOR
SIGNATURE TRANSPORTATION
SERVICES
425 INDUSTRIAL BOULEVARD
LAVERGNE, TENNESSEE 37086



Scale 1" = 40'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact:
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

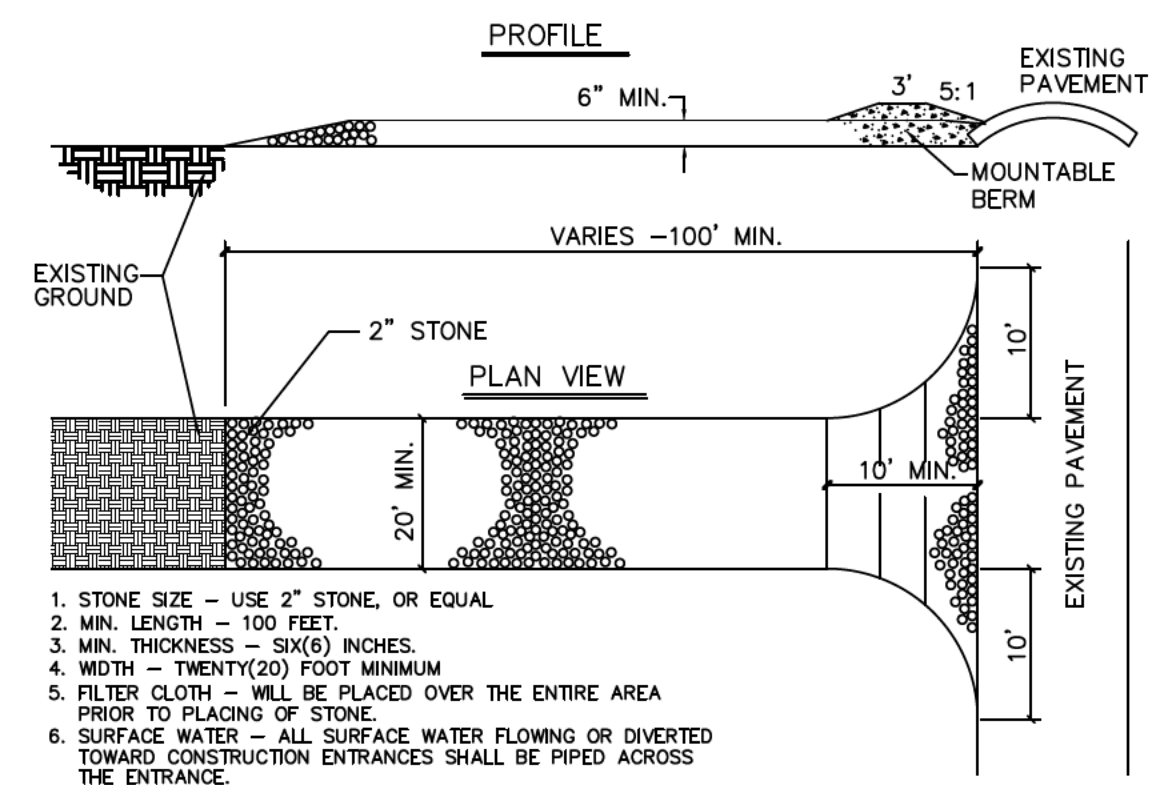
FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Existing Conditions & Initial Erosion Control Plan

C1.0
2 of 10

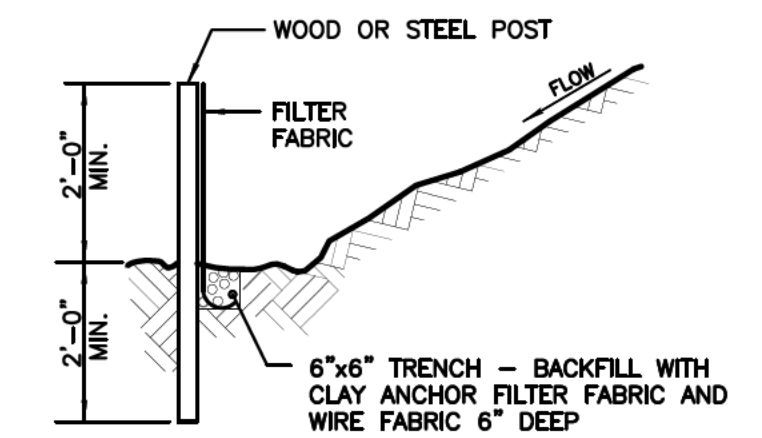
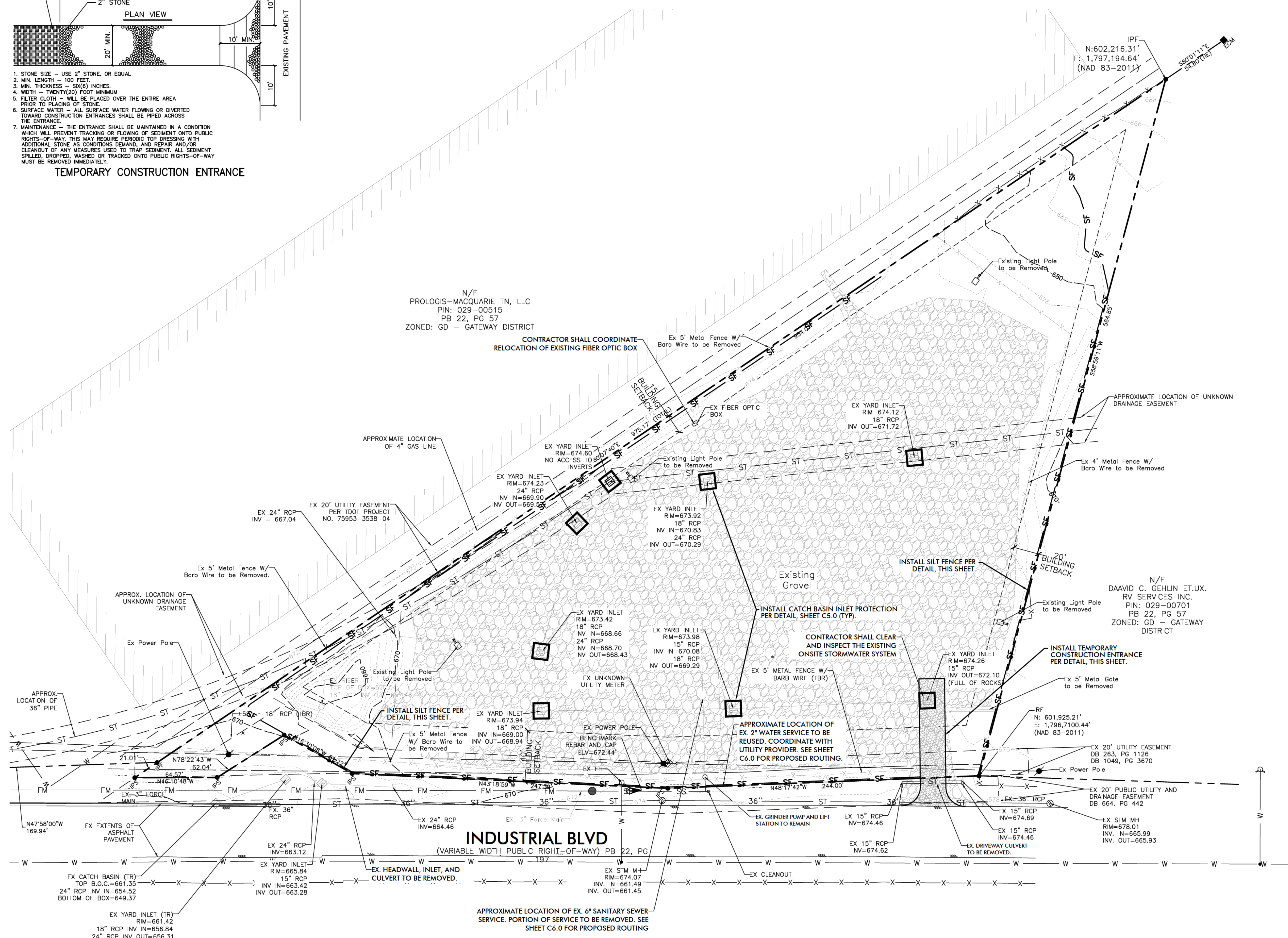


- STONE SIZE - USE 2" STONE, OR EQUAL
- MIN. LENGTH - 100 FEET
- MIN. THICKNESS - SIX(6) INCHES
- WIDTH - TWENTY(20) FOOT MINIMUM
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

TEMPORARY CONSTRUCTION ENTRANCE

N/F
PROLOGIS-MACQUARIE TN, LLC
PIN: 029-00515
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING FIBER OPTIC BOX



- NOTES:
- FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
 - STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
 - WOOD POSTS SHALL BE 2"x 2" MIN., OAK OR SIMILAR HARDWOOD.
 - POSTS SHALL BE SPACED AT 6' INTERVALS.
 - FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
 - FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORPS OF ENGINEERS GUIDE SPEC. CW 02215. WITH EQUIVALENT OPENING SIZE (EOS) OF NO.100 SIEVE MIN., NO. 40 SIEVE MAX., AS DETERMINED

- MAINTENANCE NOTES:
- INSPECT TWICE WEEKLY, 72 HOURS APART AND AFTER EACH RAINFALL
 - REPAIR WHEREVER FENCE IS DAMAGED.
 - REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE
 - REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH REMOVE SEDIMENT ACCUMULATION, AND GRADE

SILT FENCE DETAIL
NOT TO SCALE



INDUSTRIAL BLVD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) PB 22, PG

APPROXIMATE LOCATION OF EX. 6" SANITARY SEWER SERVICE. PORTION OF SERVICE TO BE REMOVED. SEE SHEET C6.0 FOR PROPOSED ROUTING

Revisions:

Drawing Notes:

Date: April 20, 2026

425 Industrial Boulevard

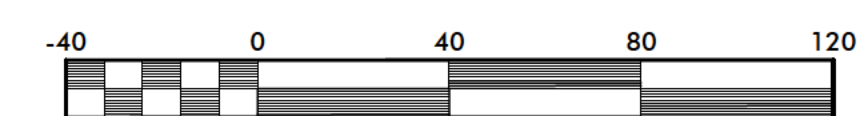
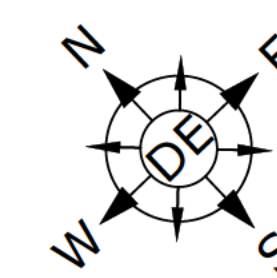
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Intermediate
Erosion Control
Plan

C2.0

3 of 10



Scale 1" = 40'
Site Area = 4.14 Acres

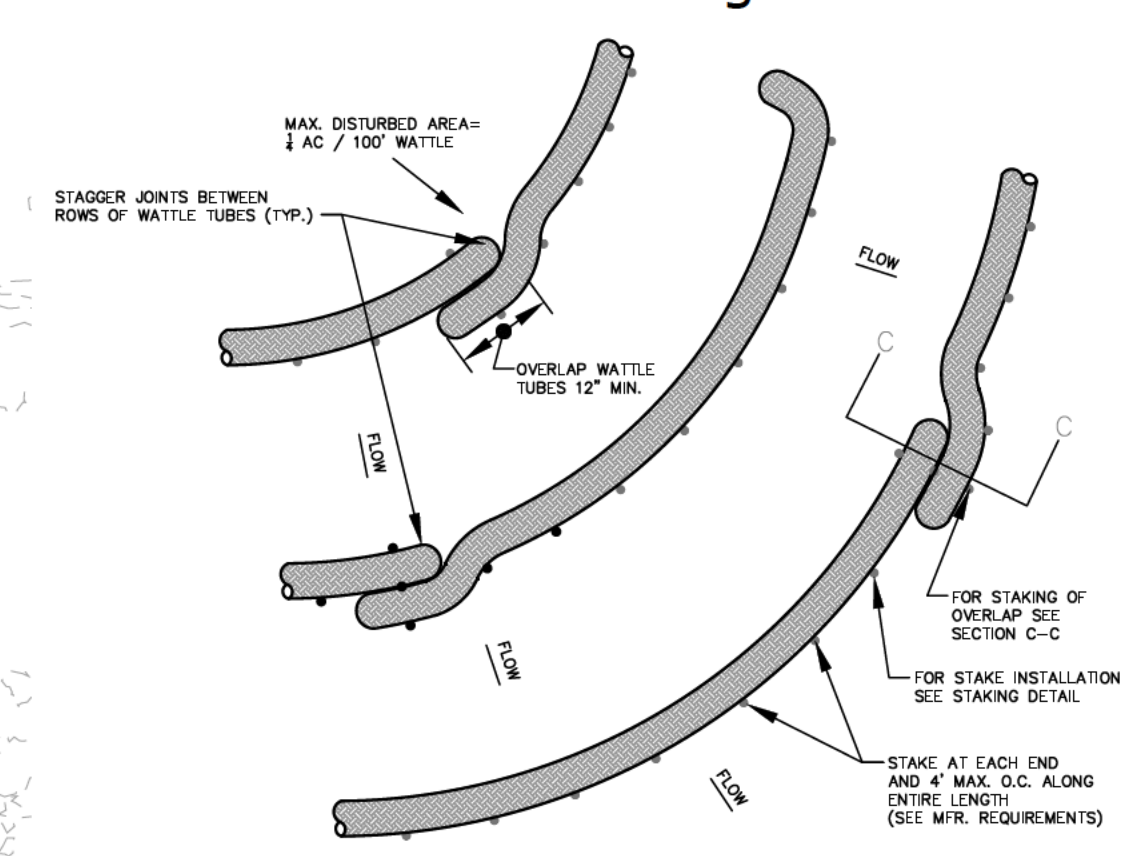
Owner
Sitepro Rentals INC
Contact: [REDACTED]
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

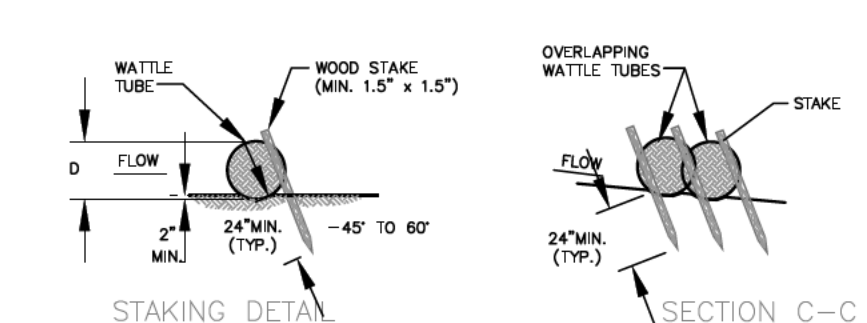
FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

	Headwall
	Storm Catch Basin
	Storm Pipe
	Fire Hydrant
	Water Main
	Sewer Manhole
	Sewer Main

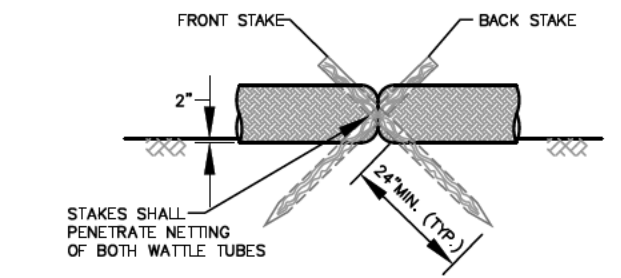
Legend



PLAN VIEW FOR SLOPE APPLICATION

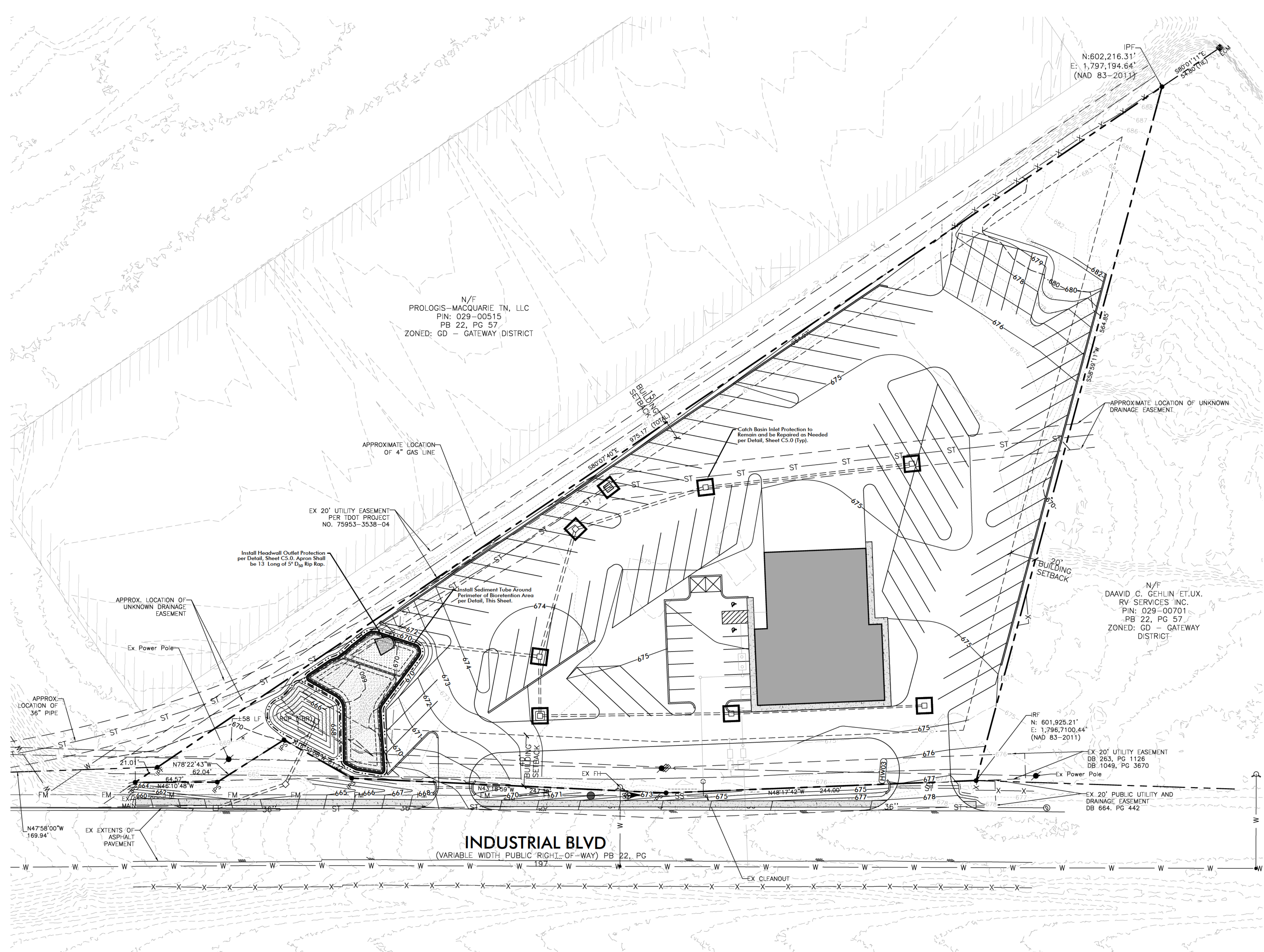


STAKING DETAIL



JOINT STAKING DETAIL

SEDIMENT TUBE DETAIL (TCP-14)
NOT TO SCALE



Revisions:

Drawing Notes:

Date: April 20, 2026

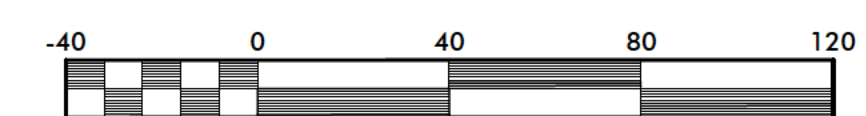
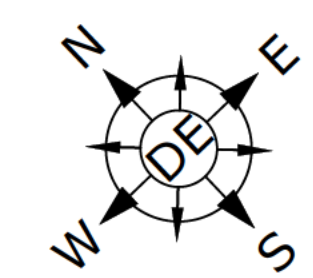
425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Overall Layout Plan

C3.0

4 of 10



Scale 1" = 40'
Site Area = 4.14 Acres

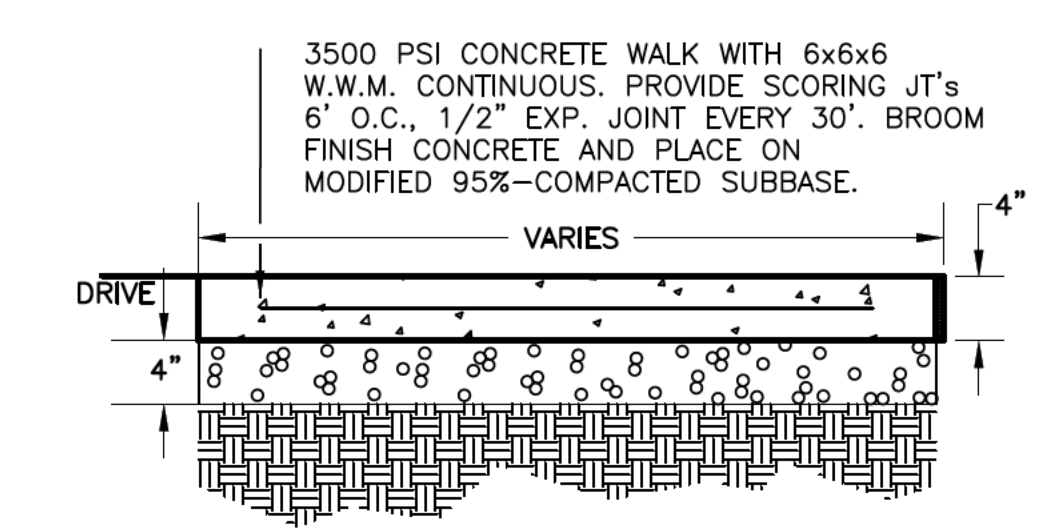
Owner
Sitepro Rentals INC
Contact:
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

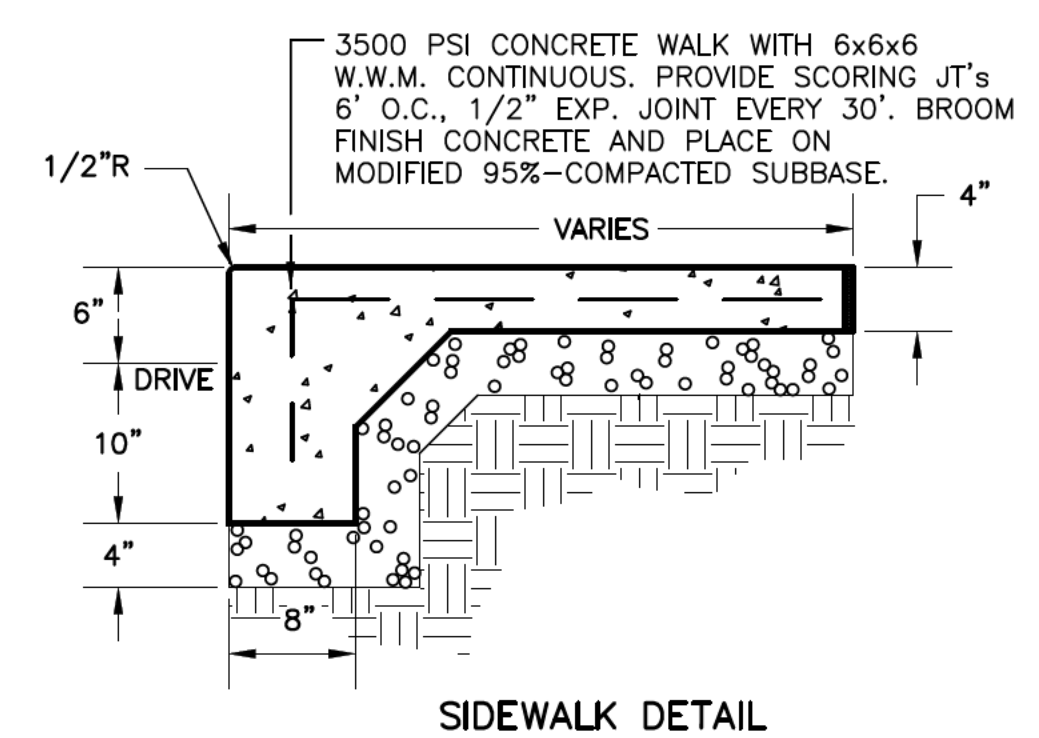
FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J. Dated: May 9, 2023

	Headwall
	Storm Catch Basin
	Storm Pipe
	Fire Hydrant
	Water Main
	Sewer Manhole
	Sewer Main

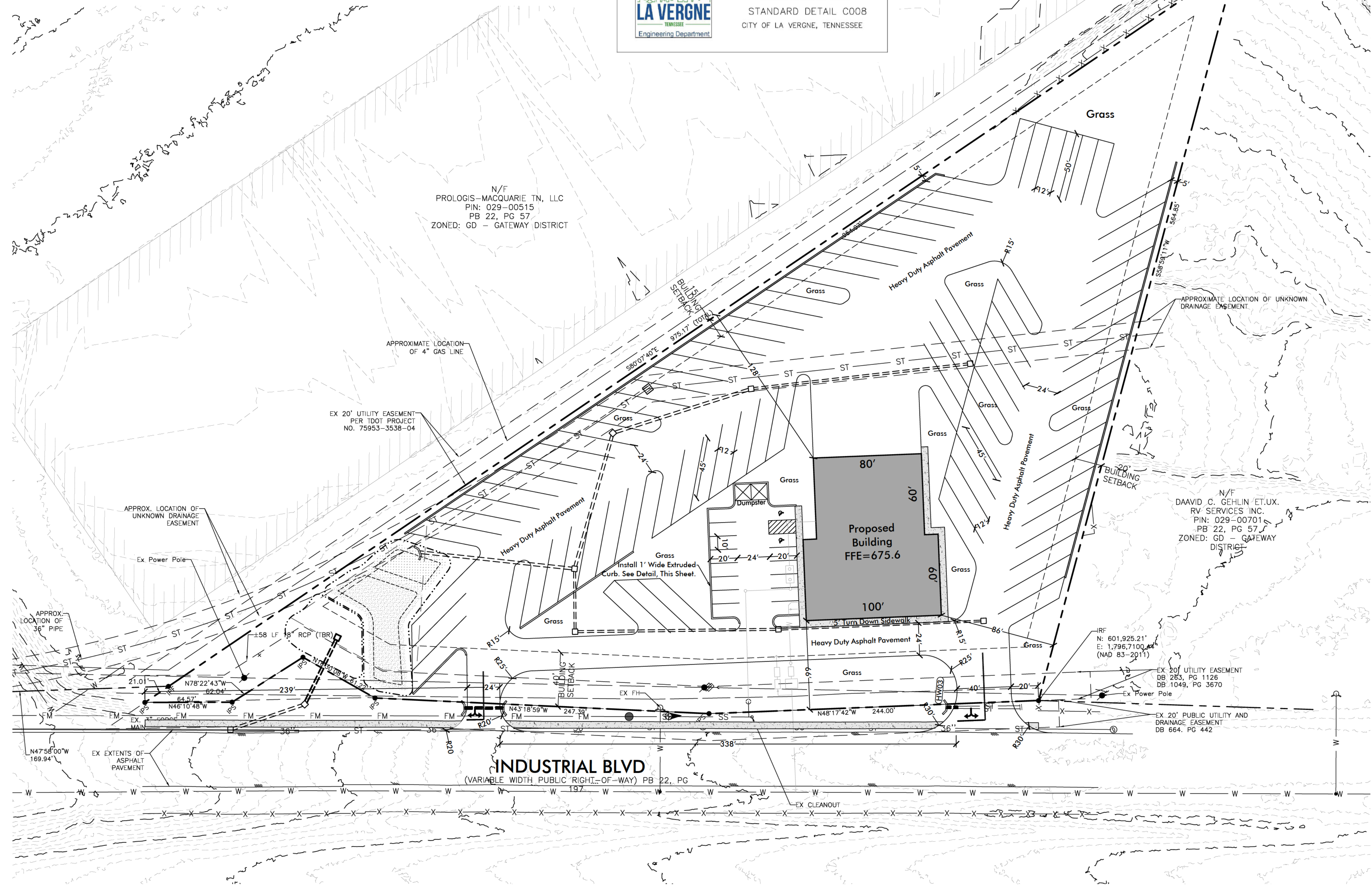
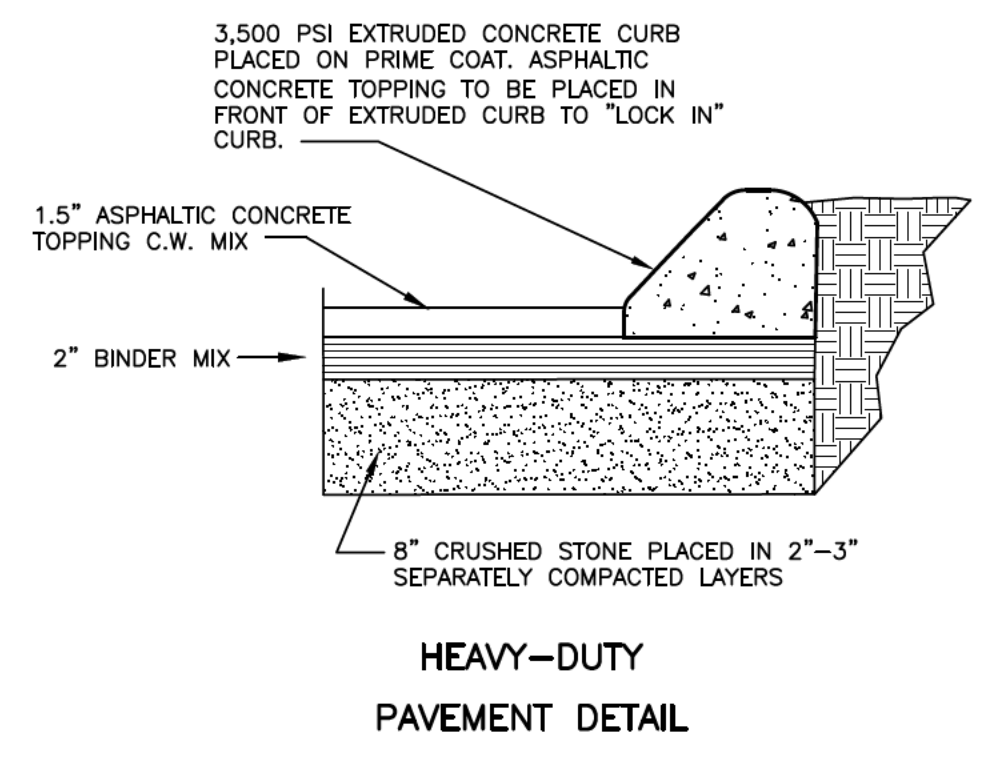
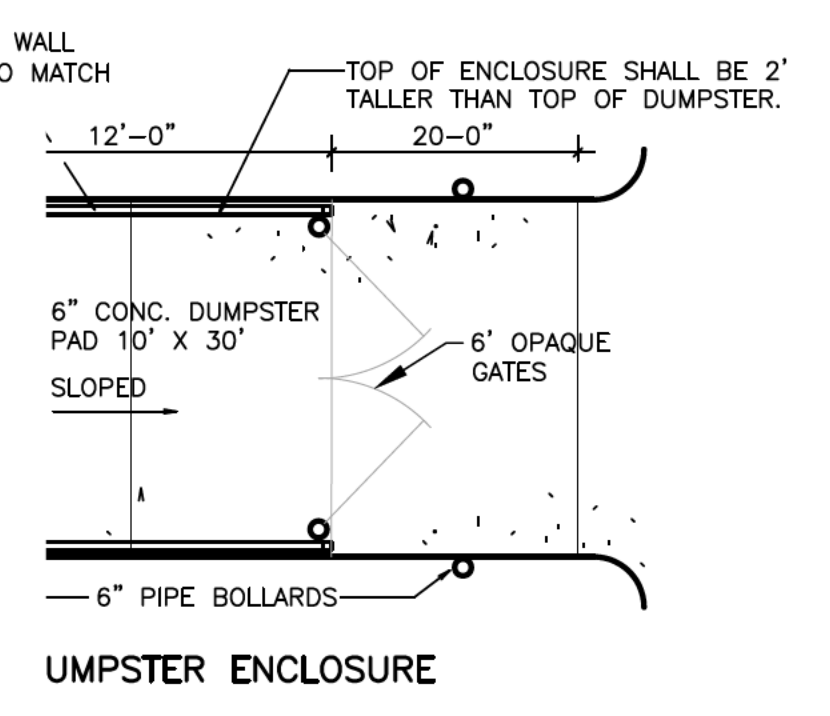
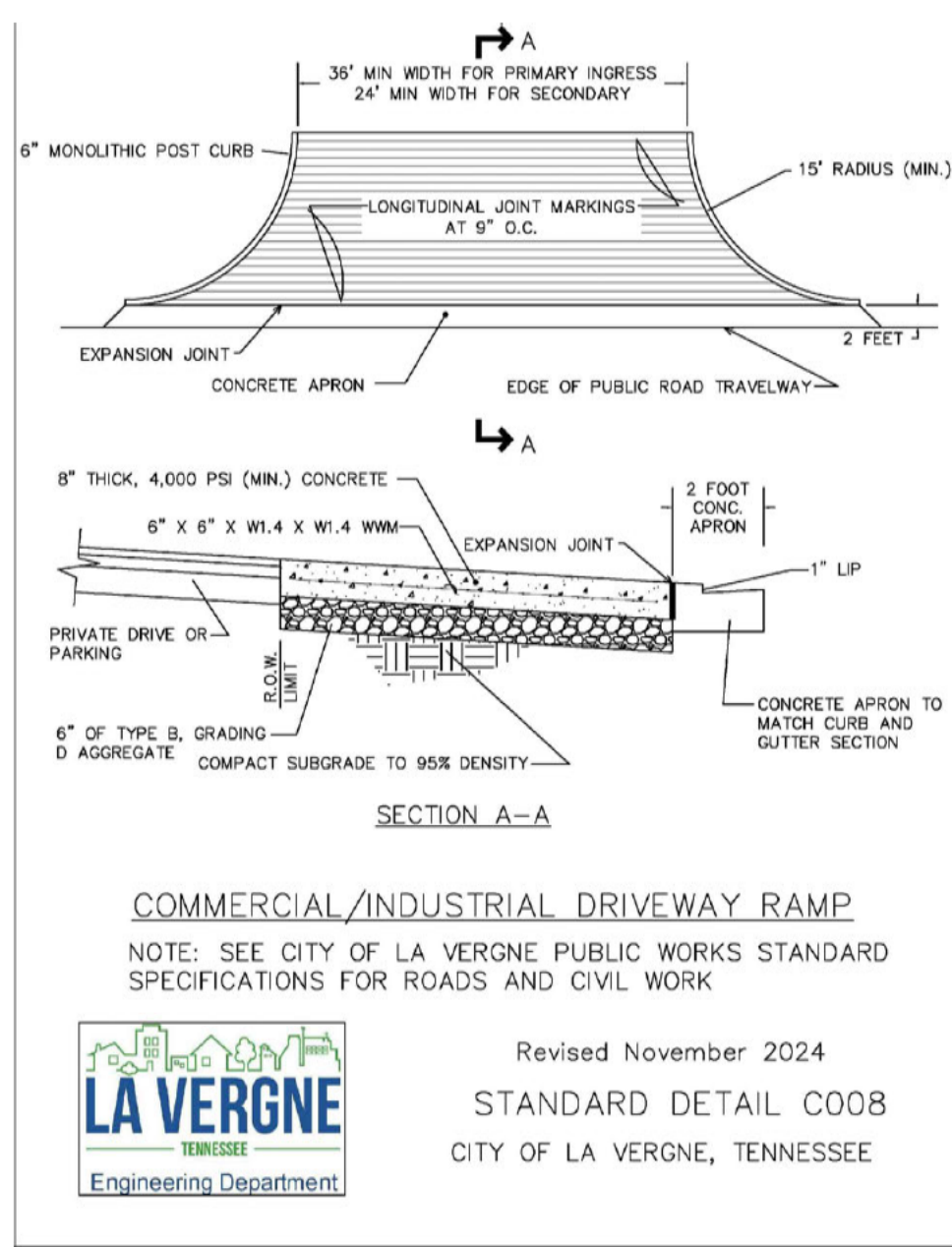
Legend



FLUSH SIDEWALK DETAIL

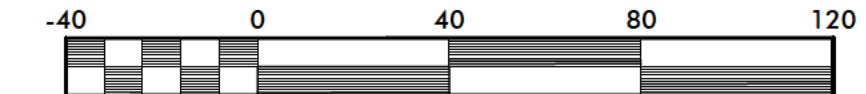
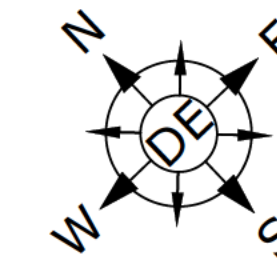


SIDEWALK DETAIL



Structure Table				
STRUCTURE LABEL	STRUCTURE TYPE	T.C. ELEV	INVERT IN	INVERT OUT
EXD01	EXISTING CATCH BASIN	661.35	654.52	
EXD02	EXISTING YARD INLET	661.42	656.84	656.31
EXD03	EXISTING YARD INLET	673.42	668.70	668.43
EXD04	EXISTING YARD INLET	674.23	669.90	669.57
EXD05	EXISTING YARD INLET	673.92	670.83	670.29
EXD06	EXISTING YARD INLET	674.12		671.72
EXD07	EXISTING YARD INLET	673.94	669.00	668.94
EXD08	EXISTING YARD INLET	673.98	670.08	669.29
EXD09	EXISTING YARD INLET	674.26		672.10
EXHW01	EXISTING PIPE DAYLIGHT	669.79	667.04	
EXTENSION	EXISTING 15" RCP (2)	669.45		674.46
HW01	HEADWALL	670.50	667.20	
HW02	HEADWALL	-2.50		668.25
HW03	HEADWALL	676.36	674.42	
OUT01	OUTLET STRUCTURE	667.65		661.90

Pipe Table						
DOWNSTREAM STRUCTURE	INVERT	UPSTREAM STRUCTURE	INVERT	PIPE SIZE (in)	LENGTH (ft)	SLOPE
EXD01	654.52	EXD02	656.31	24" RCP	56	3.09%
EXHW01	667.04	EXD03	668.43	24" RCP	115	1.21%
EXD03	668.70	EXD04	669.57	24" RCP	104	0.83%
EXD04	669.90	EXD05	670.29	24" RCP	107	0.36%
EXD05	670.83	EXD06	671.72	18" RCP	163	0.55%
EXD03	668.66	EXD07	668.94	18" RCP	47	0.40%
EXD07	669.00	EXD08	669.29	18" RCP	150	0.19%
EXD08	670.08	EXD09	672.10	15" RCP	152	1.33%
HW03	674.42	EXTENSION	674.46	15" RCP (2)	8	0.50%
HW01	667.20	HW02	668.25	15" RCP	29	3.64%
EXD02	656.84	OUT01	661.90	24" RCP	55	9.20%



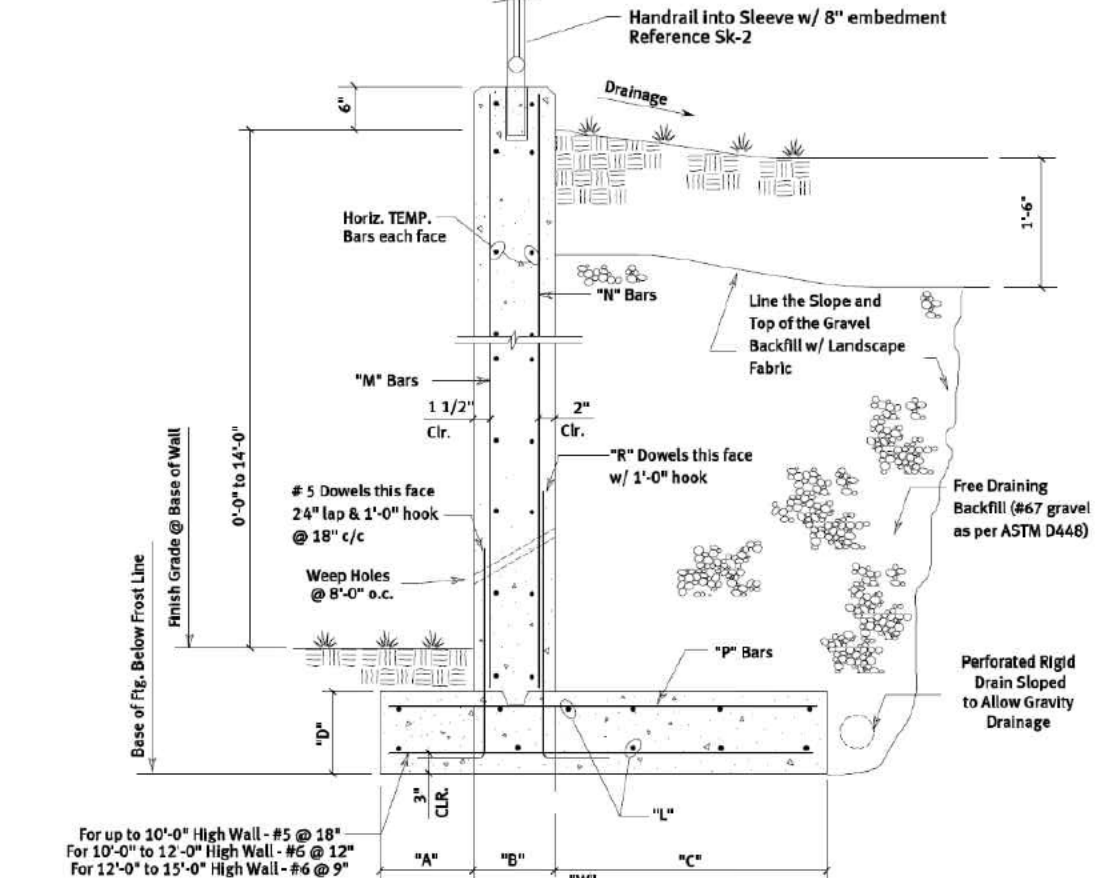
Scale 1" = 40'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact: [REDACTED]
L: [REDACTED]
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

HEIGHT	BASE				REINFORCING BARS				TEMP.	P	L
	W	A	B	C	D	B	D	S			
UP to 4ft	3'-0"	0'-0"	1'-0"	1'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
4ft to 6ft	4'-0"	1'-0"	1'-0"	2'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
6ft to 8ft	5'-0"	1'-0"	1'-0"	2'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
8ft to 10ft	6'-0"	2'-0"	1'-0"	2'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
10ft to 12ft	7'-0"	2'-0"	1'-0"	2'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
12ft to 15ft	8'-0"	3'-0"	1'-0"	2'-0"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"

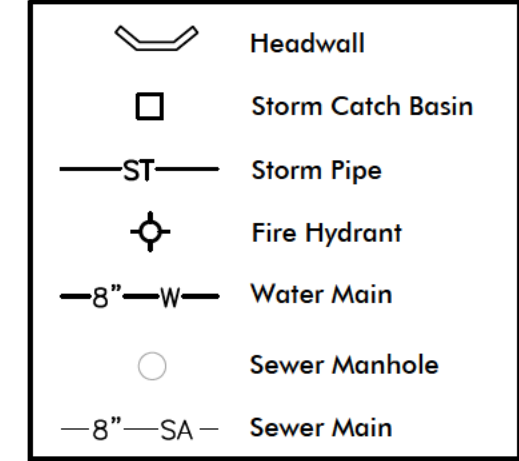


TYPICAL SITE RETAINING WALL

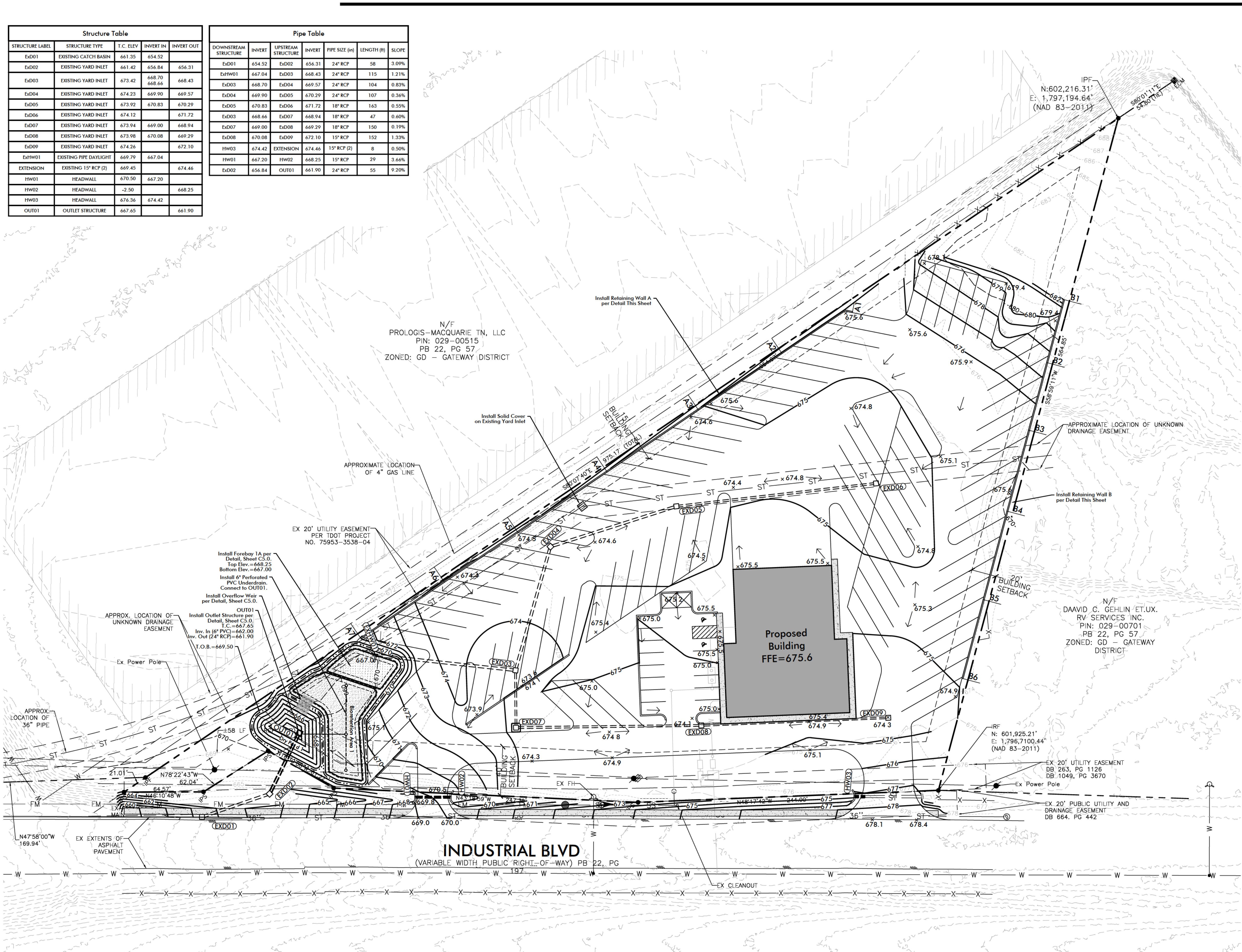
Retaining Wall Table

Wall 'A' Table			
Label	TOW	BOW	Height (ft)
A1	675.6	675.6	0.0
A2	675.6	673.0	2.6
A3	674.8	672.5	2.3
A4	674.6	672.0	2.6
A5	674.5	671.6	2.9
A6	675.4	671.6	3.8
A7	671.0	671.0	0.0

Wall 'B' Table			
Label	TOW	BOW	Height (ft)
B1	683.0	683.0	0.0
B2	677.5	675.5	2.0
B3	675.7	671.2	4.5
B4	675.6	669.5	6.1
B5	675.5	674	1.5
B6	675.1	675.1	0.0



Legend



N/F
PROLOGIS-MACQUARIE TN, LLC
PIN: 029-00515
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

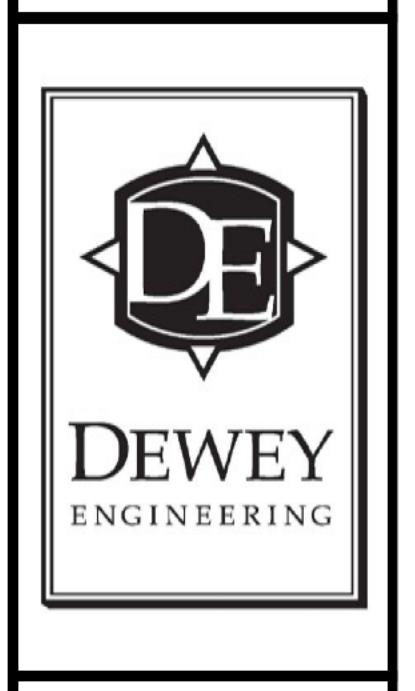
N/F
DAAVID C. GEHLIN ET.UX.
RV SERVICES, INC.
PIN: 029-00701
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

Revisions:

Drawing Notes:

Date: April 20, 2026

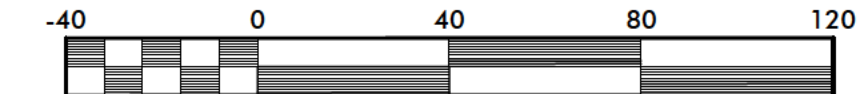
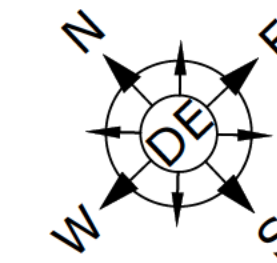
425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



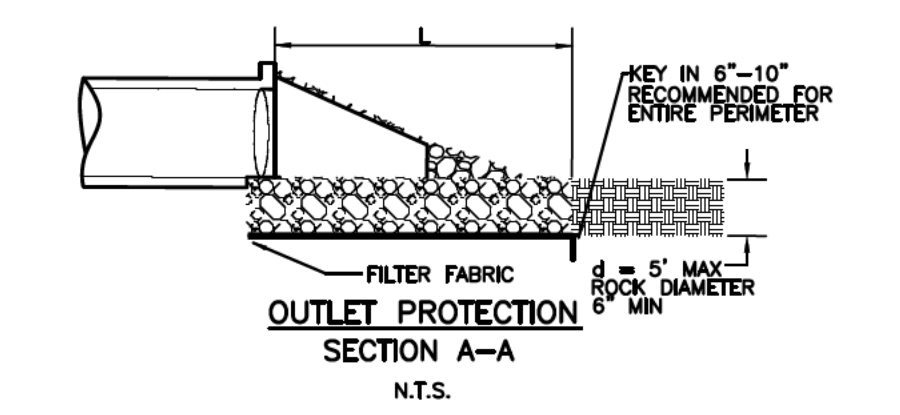
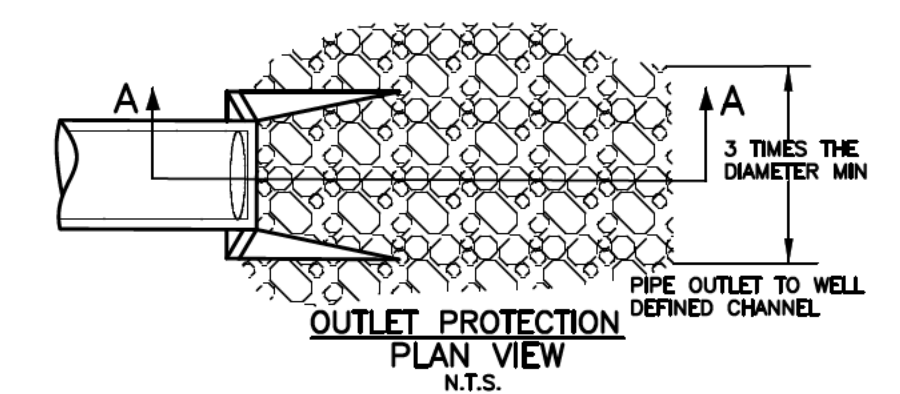
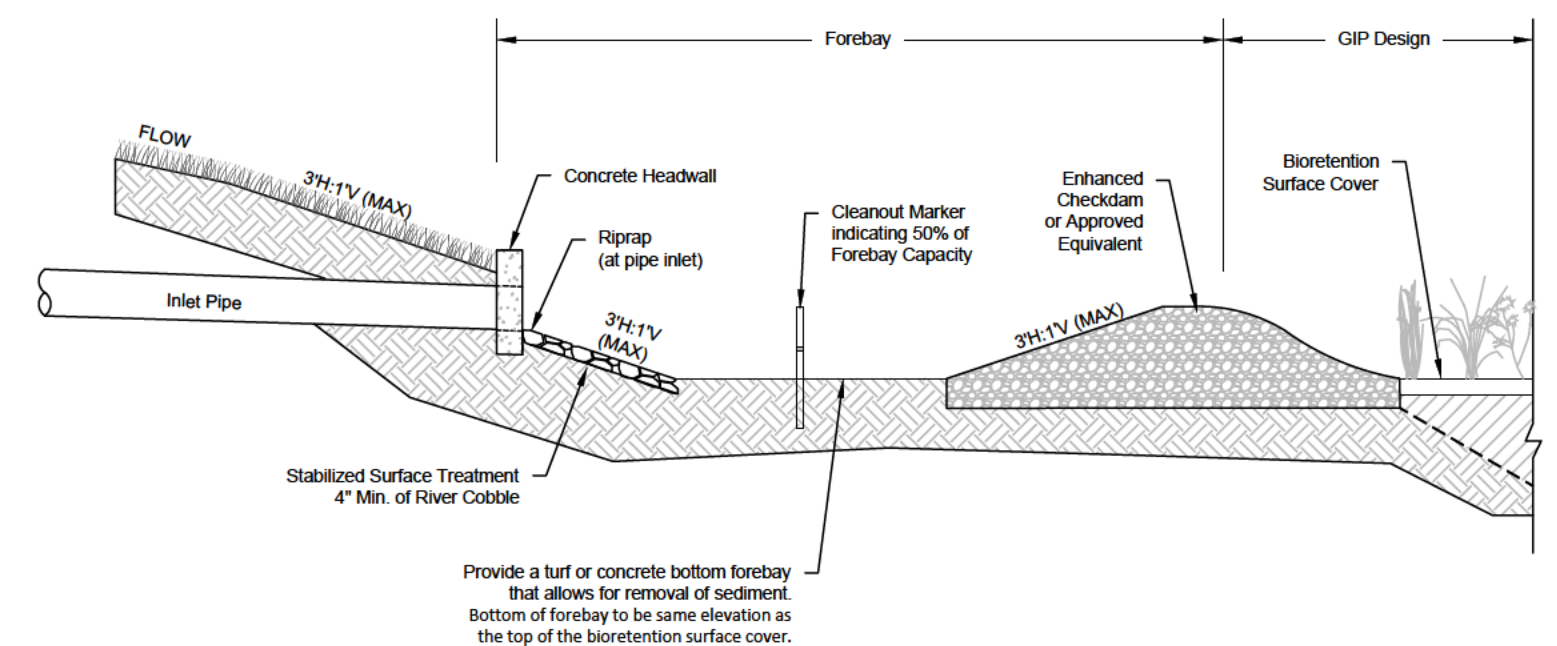
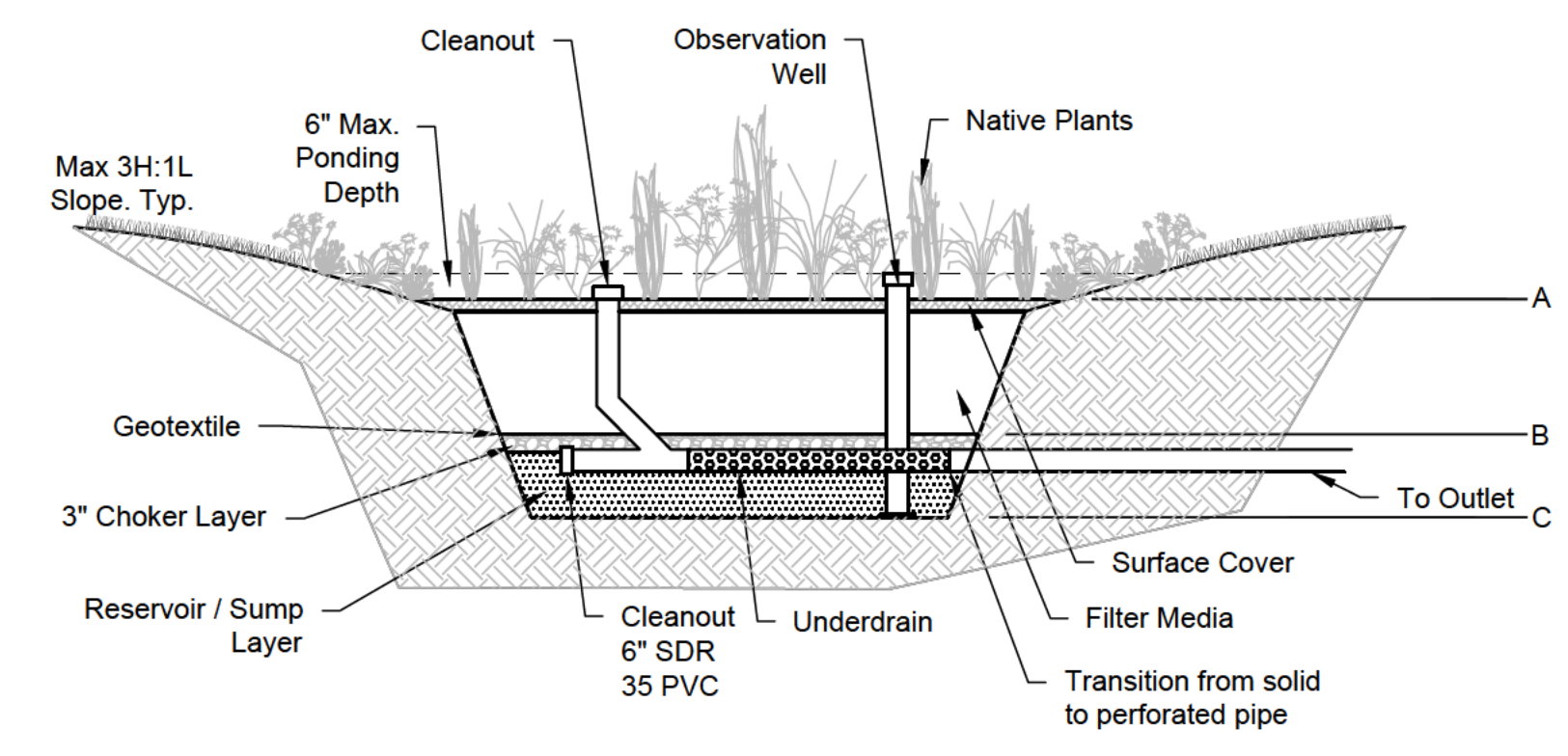
Grading & Drainage Plan

C4.0
5 of 10





Scale 1" = 40'
Site Area = 4.14 Acres



Bioretention Number: 1	Design	As-Built
Treatment Volume (V), CF	8,347	
Surface Area, SF	2,947	
Top of Bank Elevation	669.50	
Emergency Spillway Elevation*	N/A	
Overflow (TOC) Elevation*	667.50	
(A) GIP Surface Elevation	667.00	
(B) Top of Stone Elevation	664.00	
Underdrain Invert*	662.00	
Outlet Elevation*	662.00	
(C) Subgrade Elevation	661.00	

Material	Specifications	Notes
Surface Cover	<ul style="list-style-type: none"> Shredded hardwood Hardwood bark River stone Coir or jute matting Turf 	Lay a 2 inch layer on the surface of the filter bed in order to suppress weed growth & prevent erosion. Stone shall not comprise more than 50% of the surface area.
Filter Media Composition	<ul style="list-style-type: none"> 70% - 85% sand; 10% - 30% silt + clay, with clay < 10%; and 5% to 10% organic matter 	The volume of filter media based on 110% of the plan volume, to account for settling or compaction. Contact staff for testing procedures.
Geotextile	Use a non-woven geotextile fabric with a flow rate of > 110 gal/min/ft ² (e.g., Geotex 351 or equivalent)	Apply to the sides and above the underdrain (2' x 4' wide strip)
Choker Layer*	#8 or #9 washed stone	Meet TDOT Construction Specifications.
Reservoir Layer*	#57 clean washed stone	Meet TDOT Construction Specifications.
Underdrain	6 inch dual wall HDPE or SDR 35 PVC pipe with 3/8 inch perforations at 6 inches on center	AAOHTO M 252 Place perforated pipe at base of reservoir layer.
Cleanout	6 inch SDR 35 PVC pipe with vented cap	Provide cleanouts at the upper end of the underdrain.
Observation Well	6 inch SDR 35 PVC pipe with vented cap and anchor plate	Number of wells equals the number of test pits required for infiltration testing (see Appendix 1-A)
Sump Layer	#57 clean washed stone	Meet TDOT Construction Specifications.

Forebay Number: 1A	Design
Top of Bank Elevation	668.50
Top of Check Dam	668.25
Bottom of Forebay	667.00
Surface Area, SF	1,160
Pretreatment Volume, CF	1,151

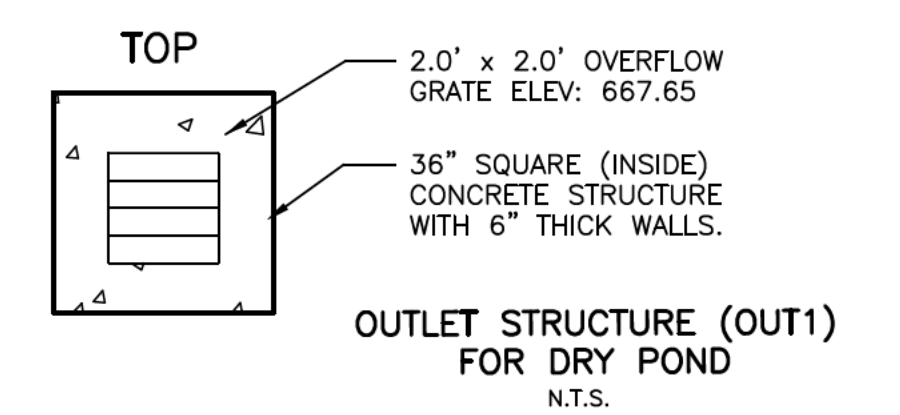
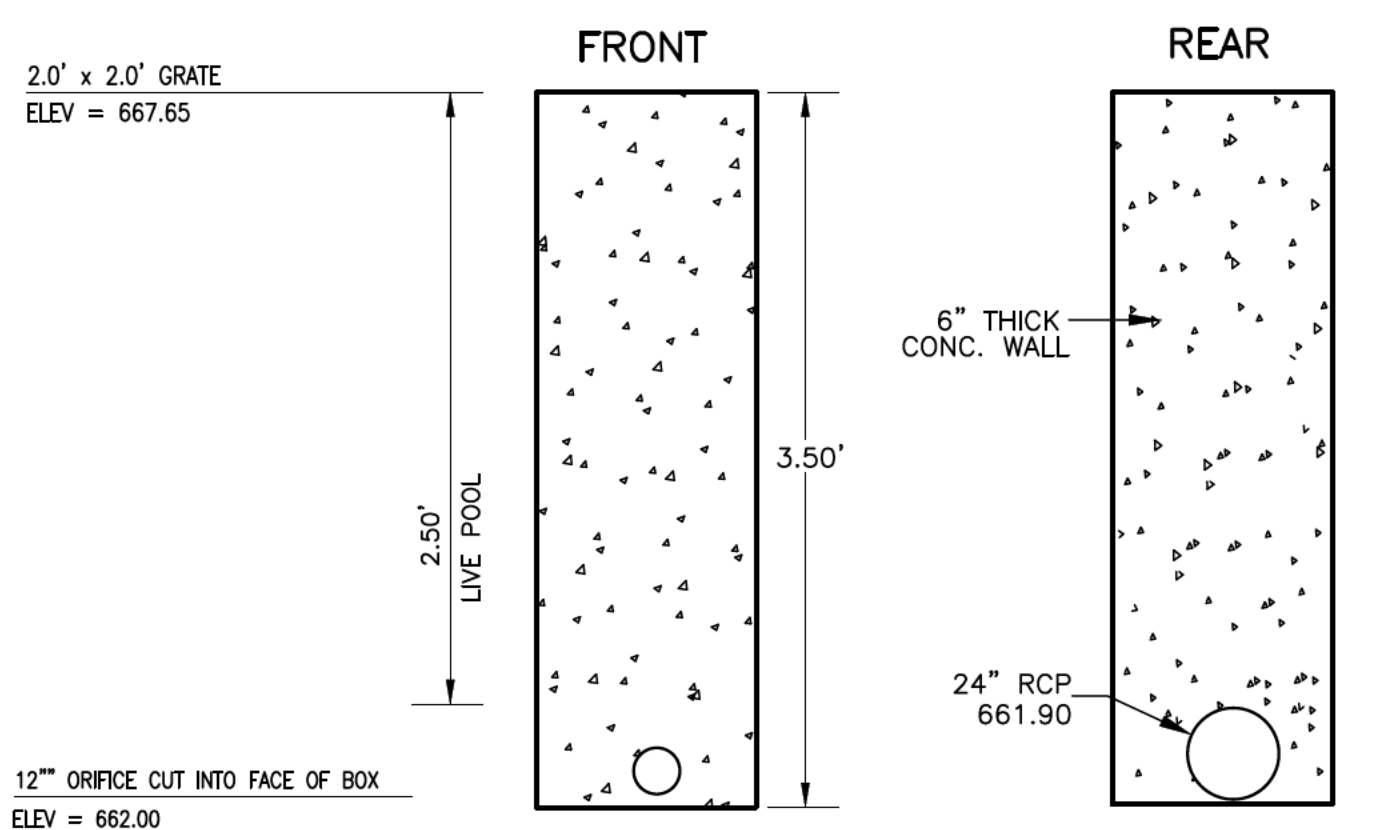
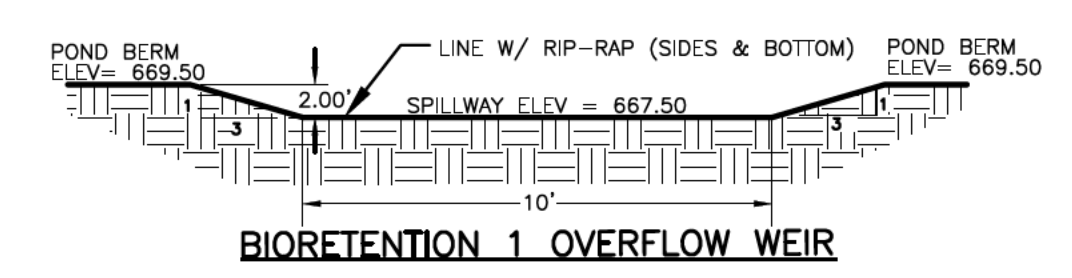
DETAIL NOTES:

- The main goal of pretreatment filtering is to capture floatables, debris, grease, oils, silt and sediment where they can be easily cleaned at the surface of the GIP through regular maintenance, and before they have the opportunity to clog the practice.
- When concentrated flow is directed at a GIP through curb turnouts or pipe outlets, a sediment forebay shall be used to allow material to be captured where it can be easily cleaned.
- A sediment forebay shall be designed so that it is integrated into the GIP.
- Direct maintenance access to the forebay must be provided.
- Exit velocities from the forebay must be non-erosive. Velocities over the weir shall be provided, if high runoff velocity is a potential problem, some type of energy dissipation device must be incorporated.
- Sediment removal in the forebay shall occur in accordance with the long-term maintenance plan.
- A fixed vertical sediment depth marker shall be installed in the forebay to measure sediment deposition over time. The marker shall be made of durable, non-corroding material (not steel). The elevation at which sediment removal is required shall be marked with a line in contrasting color or shade.
- All disturbed areas must be immediately stabilized after construction to minimize erosion.

DETAIL NOTE:

- Contractor, Engineer, or Owners Representative shall notify City Staff at least 48 hours prior to the installation of the bioretention filter media.
- Vehicular traffic shall be prohibited on the planting bed in order to prevent compactions.
- Minimum 2' separation between subgrade and water table / bedrock required.

BIORETENTION WITH UNDERDRAIN



FOREBAY

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

SIZE	WEIR	FRAMING	DIAMETER	HEIGHT	WEIR ELEVATION
15"	2'-6"	2'-0"	2'-6"	1'-0"	6'
18"	2'-6"	2'-0"	2'-6"	1'-0"	6'
21"	2'-6"	2'-0"	2'-6"	1'-0"	6'
24"	4'-0"	6'-6"	4'-0"	3'-3"	6'
30"	4'-0"	6'-6"	4'-0"	3'-3"	6'
36"	4'-0"	6'-6"	4'-0"	3'-3"	6'
42"	5'-6"	8'-0"	5'-6"	4'-5"	6'
48"	5'-6"	8'-0"	5'-6"	4'-5"	6'
54"	7'-0"	8'-0"	6'-0"	5'-0"	6'
60"	7'-0"	8'-0"	6'-0"	5'-0"	6'
66"	8'-6"	11'-0"	8'-6"	6'-11"	6'
72"	8'-6"	11'-0"	8'-6"	6'-11"	6'

INSTALLATION:
1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER OVER LEAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

FLEXSTORM CATCH IT
ALL PRODUCTS MANUFACTURED BY BILES & JUNE PROTECTION, INC. A DIVISION OF AOS, LLC
1530 295-2677 TN
INFO@INLETFILTERS.COM
WWW.INLETFILTERS.COM

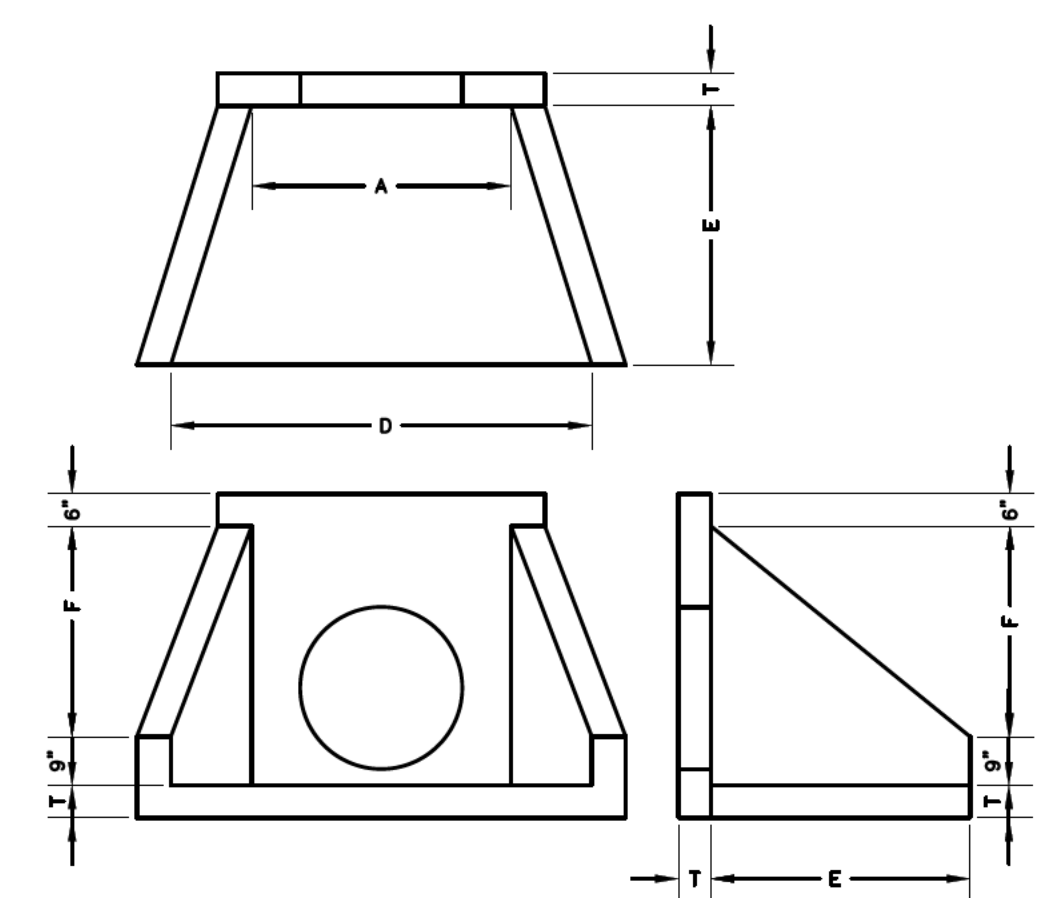


TABLE OF DIMENSIONS

SIZE	A	D	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
15"	2'-6"	2'-0"	2'-6"	1'-0"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
18"	2'-6"	2'-0"	2'-6"	1'-0"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
21"	2'-6"	2'-0"	2'-6"	1'-0"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
24"	4'-0"	6'-6"	4'-0"	3'-3"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
30"	4'-0"	6'-6"	4'-0"	3'-3"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
36"	4'-0"	6'-6"	4'-0"	3'-3"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
42"	5'-6"	8'-0"	5'-6"	4'-5"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
48"	5'-6"	8'-0"	5'-6"	4'-5"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
54"	7'-0"	8'-0"	6'-0"	5'-0"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
60"	7'-0"	8'-0"	6'-0"	5'-0"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
66"	8'-6"	11'-0"	8'-6"	6'-11"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'
72"	8'-6"	11'-0"	8'-6"	6'-11"	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'

- NOTES:
1. CONCRETE SHALL BE 4000 PSI @ 28 DAYS REINFORCED WITH NO.4 BARS @ 10" O.C., EACH WAY WITH WINGS AND TOE SLAB DOWELED TO HEADWALL WITH NO.5 BARS.
2. 3/4" CHAMFER ON ALL EXPOSED EDGES.
PRECAST CONCRETE HEADWALL

Revisions:

Drawing Notes:

Date: April 20, 2026

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C105J.
Dated: May 9, 2023

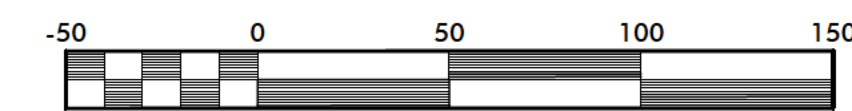
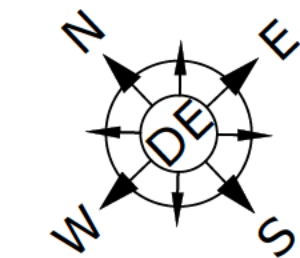
425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Details

C5.0
6 of 10





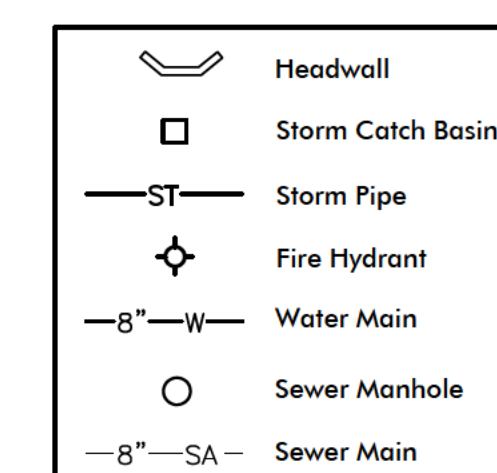
Scale 1" = 50'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact:

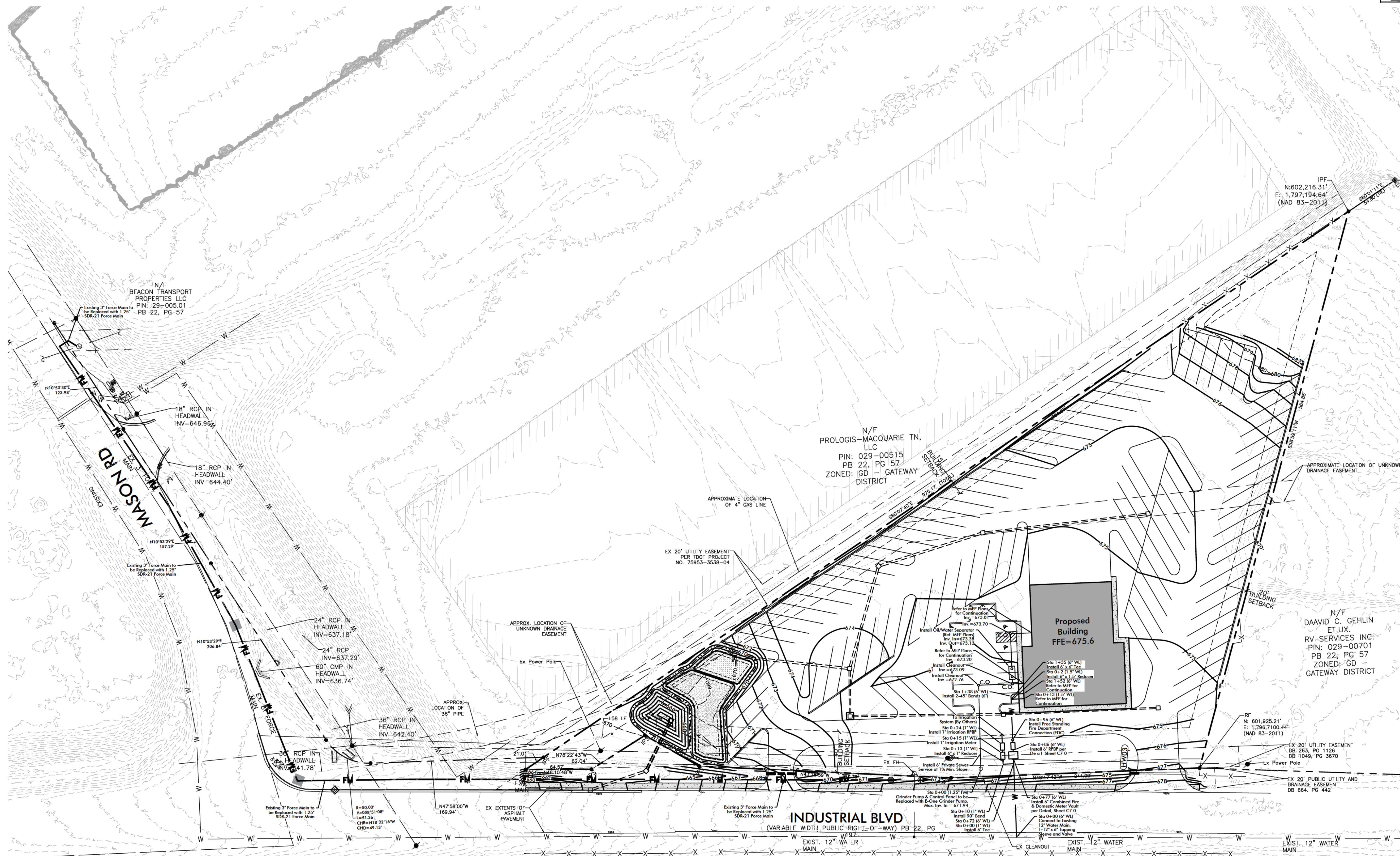
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within
a Flood Hazard Area as Designated by "Zone
X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023



Legend

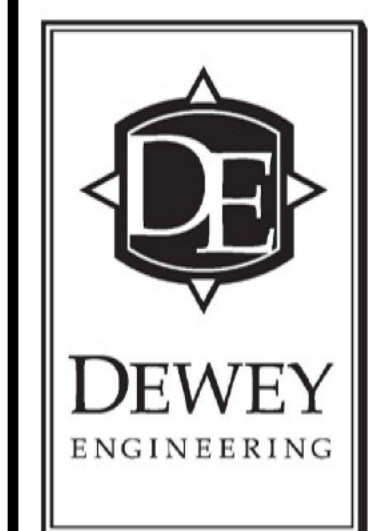


Revisions:

Drawing Notes:

Date: April 20, 2026

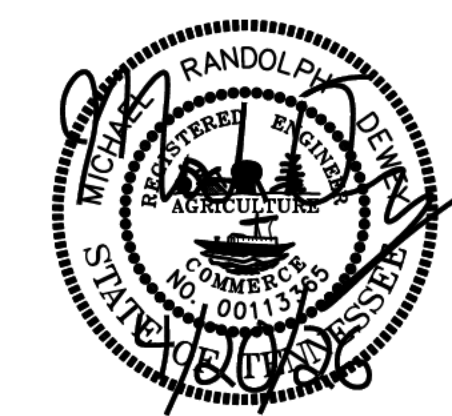
425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Water & Sewer
Plan

C6.0

7 of 10



Owner
Sitepro Rentals INC
Contact:

Phone:
Email:

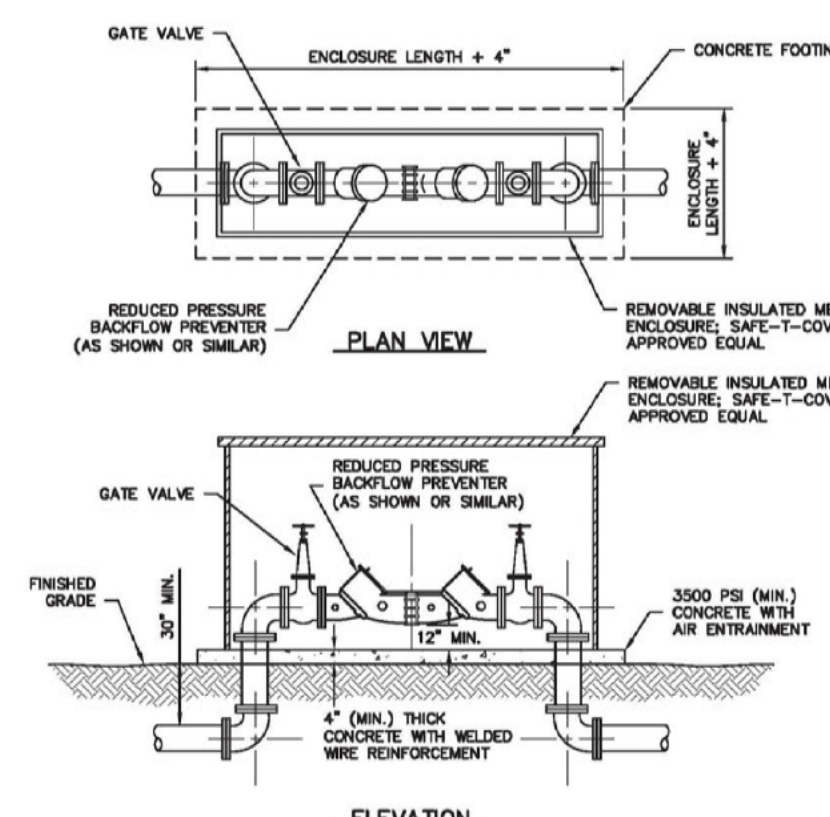
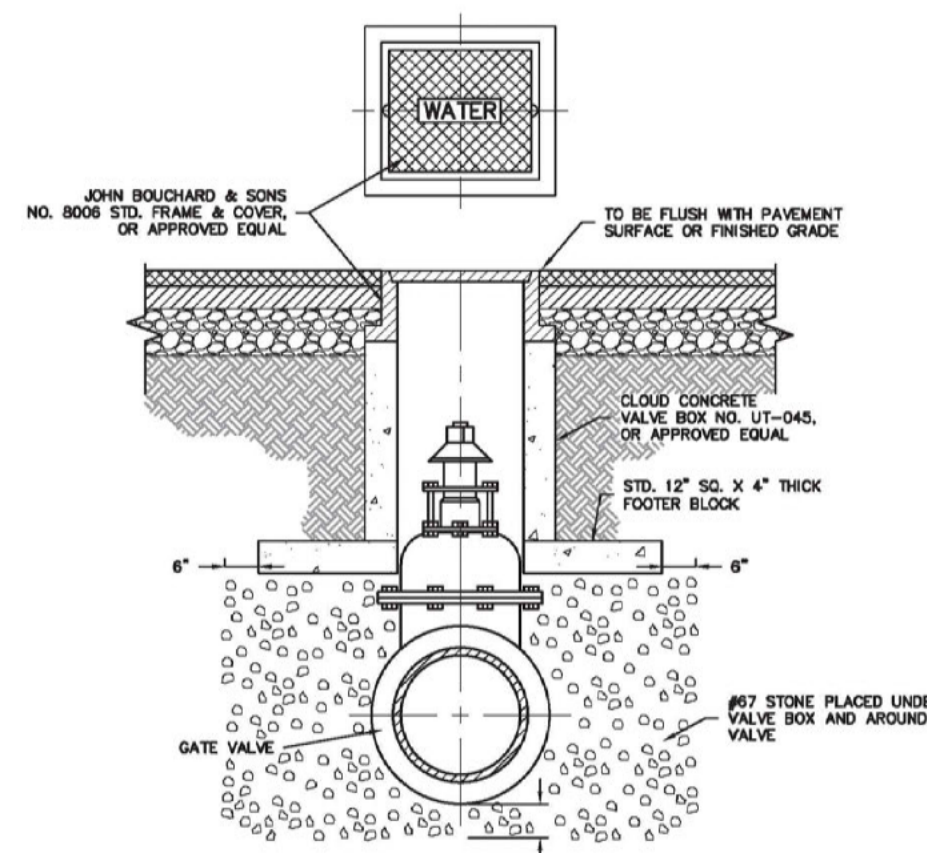
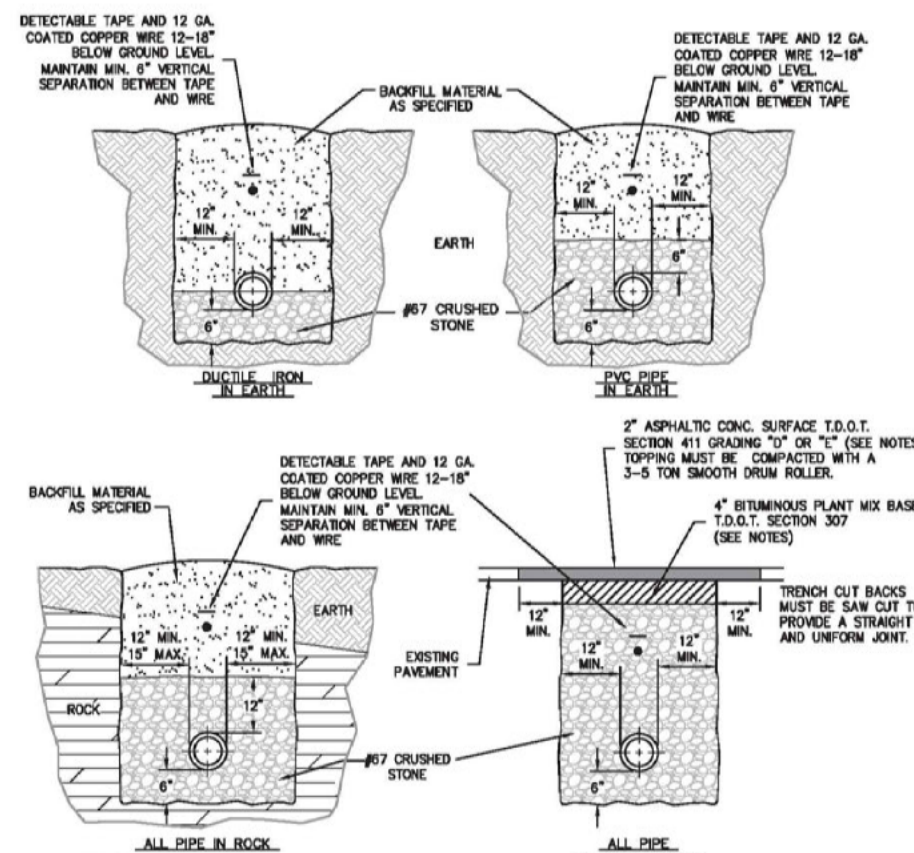
ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Date: May 9, 2023

Revisions:

Drawing Notes:

Date: April 20, 2026



REVISIONS:
1. FOR ROADWAYS 30' OR GREATER IN WIDTH OR DIVIDED HIGHWAYS WITH 2 OR MORE LANES USE 6" OF BINDER (2 LIFTS) AND 2" OF TOPPING.
2. BINDER SHALL BE INSTALLED FLUSH WITH EXISTING ASPHALT SURFACE AND SHALL BE IN PLACE FOR 3 WEEKS TO ALLOW FOR SETTLING AND COMPACTION. AT 2 WEEKS, CALL UP 2" OF THE NEW BINDER AND EXISTING ASPHALT TO THE ORIGINAL SURFACE TO EACH SECTION AND INSTALL 2" OF 1/2" SAND OR 1/4" SAND AND 1/2" SAND OR 1/4" SAND.
3. WHERE EXISTING SURFACE IS CONCRETE SUBSTITUTE 6" 1/2" D.T. ITEM NO. 701-02.
4. FOR RESTORATION OF GRAVEL SURFACES, BACKFILL ENTIRE TRENCH WITH STONE.

STANDARD WATERLINE BEDDING & BACKFILLING
R.T.S.
Revised September, 2015
STANDARD DETAIL 010
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56

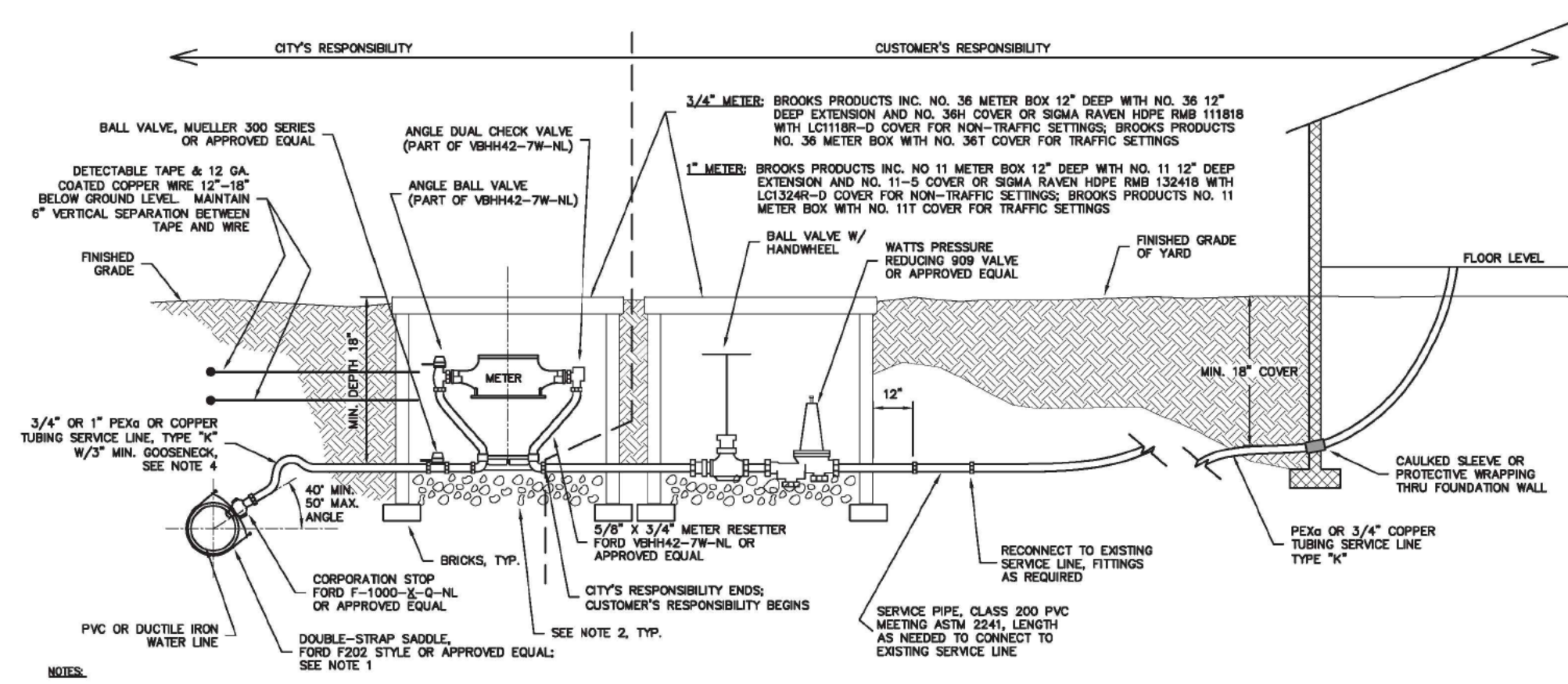
© 2015 Griggs & Maloney, Inc.
GRIGGS & MALONEY INCORPORATED
P.O. BOX 2868, LAVERGNE, TN 37133-2868
(615) 890-8221 • FAX (615) 890-0632
F.L. HARRIS • V.P. ENGINEERING

REVISIONS:
1. REVISED AUGUST 2017
STANDARD DETAIL 070
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56

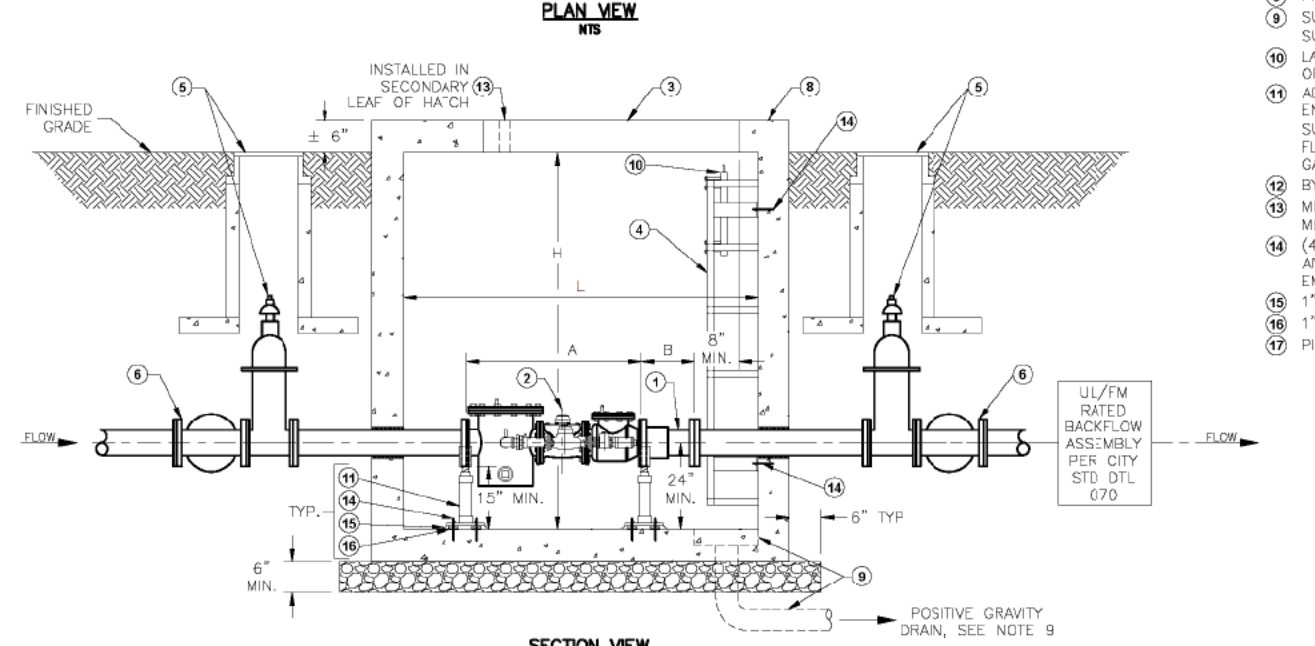
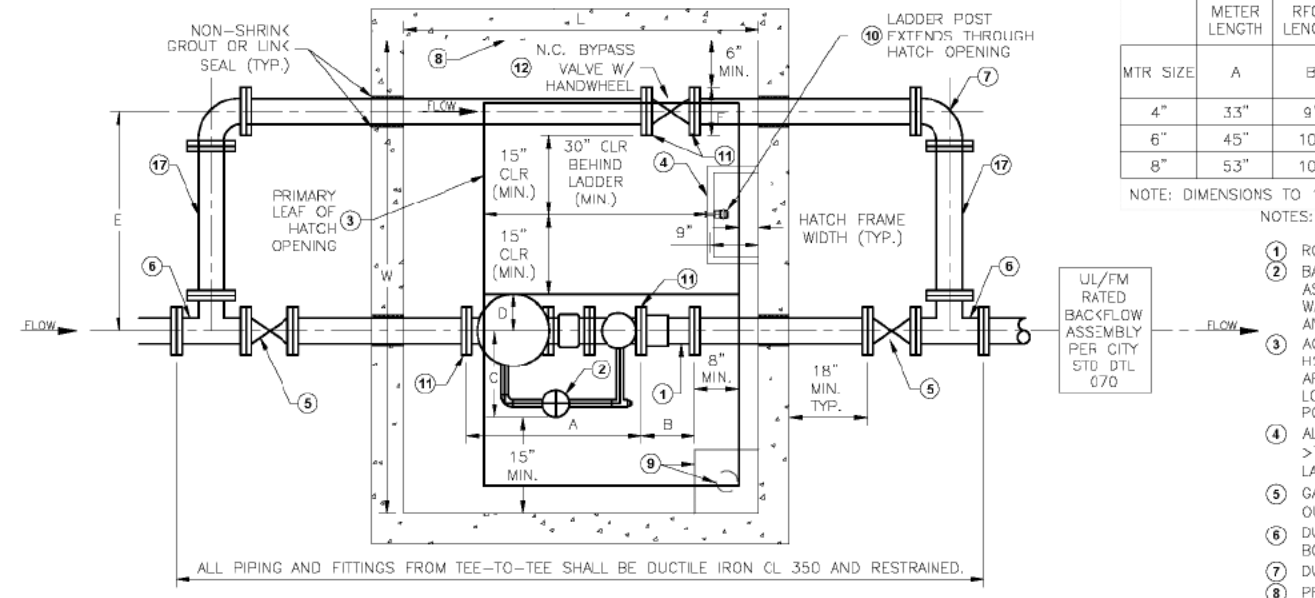
© 2017 Griggs & Maloney, Inc.
GRIGGS & MALONEY INCORPORATED
P.O. BOX 2868, LAVERGNE, TN 37133-2868
(615) 890-8221 • FAX (615) 890-0632
F.L. HARRIS • V.P. ENGINEERING

REVISIONS:
1. REVISED AUGUST 2017
STANDARD DETAIL 070
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56

© 2017 Griggs & Maloney, Inc.
GRIGGS & MALONEY INCORPORATED
P.O. BOX 2868, LAVERGNE, TN 37133-2868
(615) 890-8221 • FAX (615) 890-0632
F.L. HARRIS • V.P. ENGINEERING



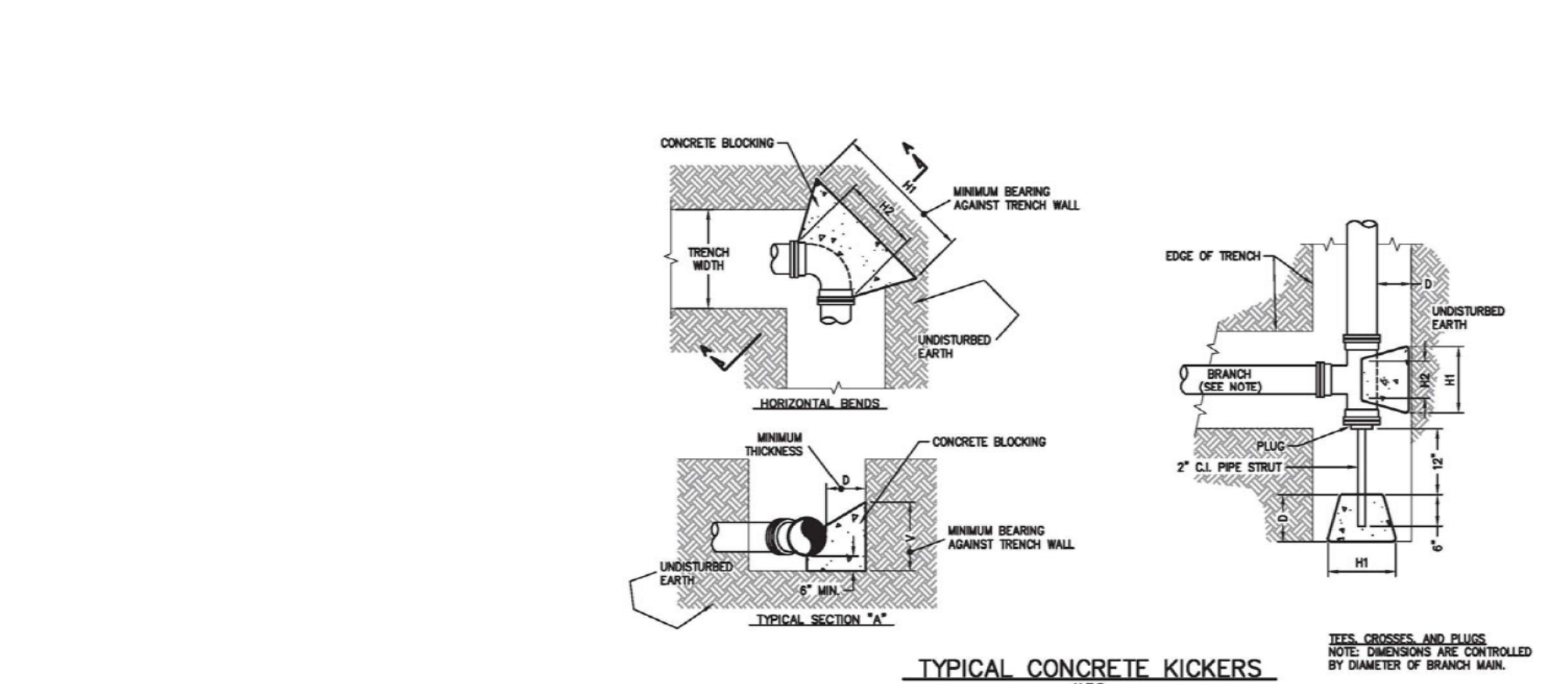
REVISIONS:
1. USE DOUBLE STRAP SADDLE FOR ALL PVC AND DUCTILE IRON PIPE INSTALLATION.
2. PLACE 2\"/>



METER LENGTH	FEET	METER WIDTH	METER DEPTH	PIPE SEPARATION	FLANGE O.D.	MIN. INTERNAL DIMENSIONS (I.D.)	ACCESS HATCH		
MTR SIZE	A	B	C	D	E	F	W	L	H
4"	33"	6"	1 1/2"	7"	42"	6"	6"	6"	48"
6"	45"	10"	2 1/2"	10"	48"	11"	6"	6"	48"
8"	57"	10"	2 1/2"	10"	50"	14"	6"	6"	48"

NOTE: DIMENSIONS TO 1" NON-FRACTIONS ROUNDED UP. CENTERING OF VALVE FITTING 24" ABOVE VALVE FLOOR.

NOTES:
1. BOWAC REPAIR OR APPROVED EQUIVALENT.
2. METER SUPPORT SHALL BE 2" MIN. ABOVE VALVE FLOOR AND WATER APPLICATION SHALL BE SUPPLIED TO CITY WATER METER BOX AND CITY SHALL DETERMINE AND SELECT THE APPROPRIATE METER SIZE AND METER TYPE.
3. ACCESS HATCH DOUBLE LEAF FRAME WITH 55 COMPONENTS HALLOWAY MODEL HALLOWAY NOW FOR RATCH UP FOR OFF-STREET/ARCHITECT TRAFFIC AREA. DIMENSIONS AS SHOWN OR APPROVED EQUAL. DO NOT INSTALL IN DIRECT TRAFFIC. DESIGNED FOR OFF-STREET LOCATIONS NOT SUBJECTED TO HIGH DENSITY TRAFFIC. PRIMARY LEAF OF HATCH SHALL BE POSITIONED OVER THE ACCESS UNDER OF THE VALVE.
4. ALUMINUM FIXED LADDER RUNGS 8" OFF VALVE WALL, 12" VERTICAL SPACING, (FIRST RUNG 8" AND 12" FROM FLOOR). LADDER FRAME STOPS 2" FROM CEILING (MINIMUM) ANCHOR LADDER EVERY 4 FEET (MIN).
5. GATE VALVE WITH VALVE BOX PER CITY STD. DTL. 030. TYPICAL VALVE BOX SETTING INSIDE & OUTSIDE OF PAVEMENT VALVE SHALL BE 1/2" (SEE BOX) x 1/2" (SEE BOX) STEEL.
6. DUCTILE IRON "E" (ORNA FLANGED TOP) W/ BURIED SERVICE WATED GASKETS & 304 SS BOLTS, NUTS, & LOCKWASHERS TORQUED TO ANNA SPEC FOR FLANGED FITTING.
7. DUCTILE IRON 90-DEGREE BEND (MECHANICAL JOINT WITH MEDALG EA. END).
8. PRECAST CONCRETE WALL, 3000 PSI (DIMENSIONS AS SHOWN).
9. SLUMP DRAIN: POSITIVE GRAVITY DRAIN WITH 4" SCH 40 PVC WHERE POSSIBLE, ELSE 3" DEEP SLUMP FLOOR SLURD 28 TO DRAIN/SUMP.
10. LADDER POST TO EXTEND ABOVE HATCH TO FACILITATE VALVE ACCESS: BUCO 1/4"-L, JL-1, OR APPROVED EQUIVALENT.
11. ADJUSTABLE PIPE SUPPORT SADDLE ASTM 304 S.S., TRANSMILL ITEM NO. 344-583X OR ANOTHER APPROVED EQUAL WITH 2" SCH 40 EXTENSION PIPE 304 S.S. ADJUSTABLE PIPE SUPPORTS SHALL BE SIZED TO 1/2" DIA. PIPE/ANETER FLANGES 15' CLEAR SPACE BETWEEN PIPE FLANGE AND VALVE FLOOR. VALVE CEILING HEIGHT SHALL CONSIDER RISING STEM AND YOKE. GATE VALVE OPERATION HEIGHT.
12. BRASS GATE VALVE (L.D. LISTED & FM APPROVED, FLW) WITH HANDWHEEL OPERATOR (N.C.)
13. METER TRANSDUCER CORRE 2" HOLE IN SECONDARY LEAF OF THE HATCH FOR ATTACHING METER TRANSDUCER, AND SUFFICIENT CONG LENGTH SO HATCH LD CAN BE OPENED.
14. 1/4" DIA. HEAD S.S. CONCRETE AND/OR BRDTS WITH 5/8" S.S. NUT AND ANCHOR NUT AND 1" 3/8" HEAVY S.S. WASHER DRILL AND MOUNT IN CONCRETE WITH 5" MINIMUM CLEARANCE.
15. 1" THICK NON-SHANK GROUT LEVELING COURSE.
16. 3" STAINLESS STEEL SHAKER UNDER BASEPLATE.
17. PIPE SPOCK SHALL BE DIP FORMER FLANGE (DO NOT ON OR SCREW-ON) BY PLAN END.



REVISIONS:
1. FOR EXACT SIZE PIPE BLOCKING IS NOT SHOWN, USE NEXT LARGER SIZE.
2. THROUST BLOCKING TO BE POURED-IN-PLACE 3000 psi (MIN) CONCRETE.

STANDARD DETAIL 081
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56

© 2015 Griggs & Maloney, Inc.
GRIGGS & MALONEY INCORPORATED
P.O. BOX 2868, LAVERGNE, TN 37133-2868
(615) 890-8221 • FAX (615) 890-0632
F.L. HARRIS • V.P. ENGINEERING

TABLE BASED ON 4,000 PSF SOIL CAPACITY AND 10M PSI WORKING PRESSURES + 20% DESIGN ENGINEER SHALL SITE FOR SPECIFIC SITE CONDITIONS AND PRESSURES.

TEEL CHISELS & KEYS		90° BENDS		45° BENDS		90°/1/2° BENDS		10-1/4° BENDS		PIPE SIZE
H	V	H	V	H	V	H	V	H	V	
18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	2-1/2"
24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	3" & 4"
30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	6"
36"	36"	36"	36"	36"	36"	36"	36"	36"	36"	8"
42"	42"	42"	42"	42"	42"	42"	42"	42"	42"	10"
48"	48"	48"	48"	48"	48"	48"	48"	48"	48"	12"
54"	54"	54"	54"	54"	54"	54"	54"	54"	54"	14"
60"	60"	60"	60"	60"	60"	60"	60"	60"	60"	16"
66"	66"	66"	66"	66"	66"	66"	66"	66"	66"	18"
72"	72"	72"	72"	72"	72"	72"	72"	72"	72"	20"
78"	78"	78"	78"	78"	78"	78"	78"	78"	78"	24"
84"	84"	84"	84"	84"	84"	84"	84"	84"	84"	30"
90"	90"	90"	90"	90"	90"	90"	90"	90"	90"	36"

NOTE:
1. FOR EXACT SIZE PIPE BLOCKING IS NOT SHOWN, USE NEXT LARGER SIZE.
2. THROUST BLOCKING TO BE POURED-IN-PLACE 3000 psi (MIN) CONCRETE.

STANDARD DETAIL 081
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56

© 2015 Griggs & Maloney, Inc.
GRIGGS & MALONEY INCORPORATED
P.O. BOX 2868, LAVERGNE, TN 37133-2868
(615) 890-8221 • FAX (615) 890-0632
F.L. HARRIS • V.P. ENGINEERING

425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee

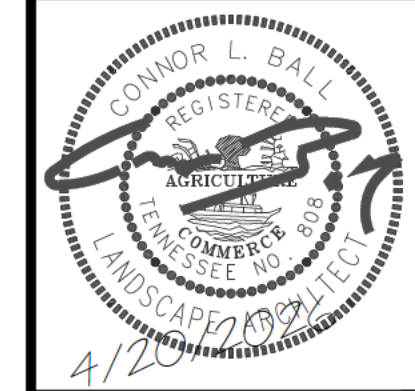


Water & Sewer Details

C7.0
8 of 10



425 INDUSTRIAL BLVD
 LA VERGNE, TENNESSEE



Job # - 26140

LANDSCAPE PLAN

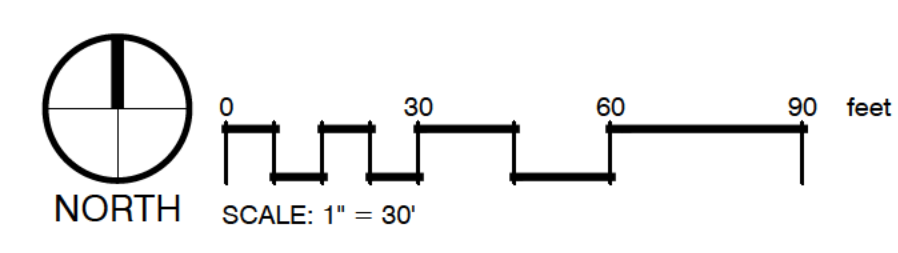
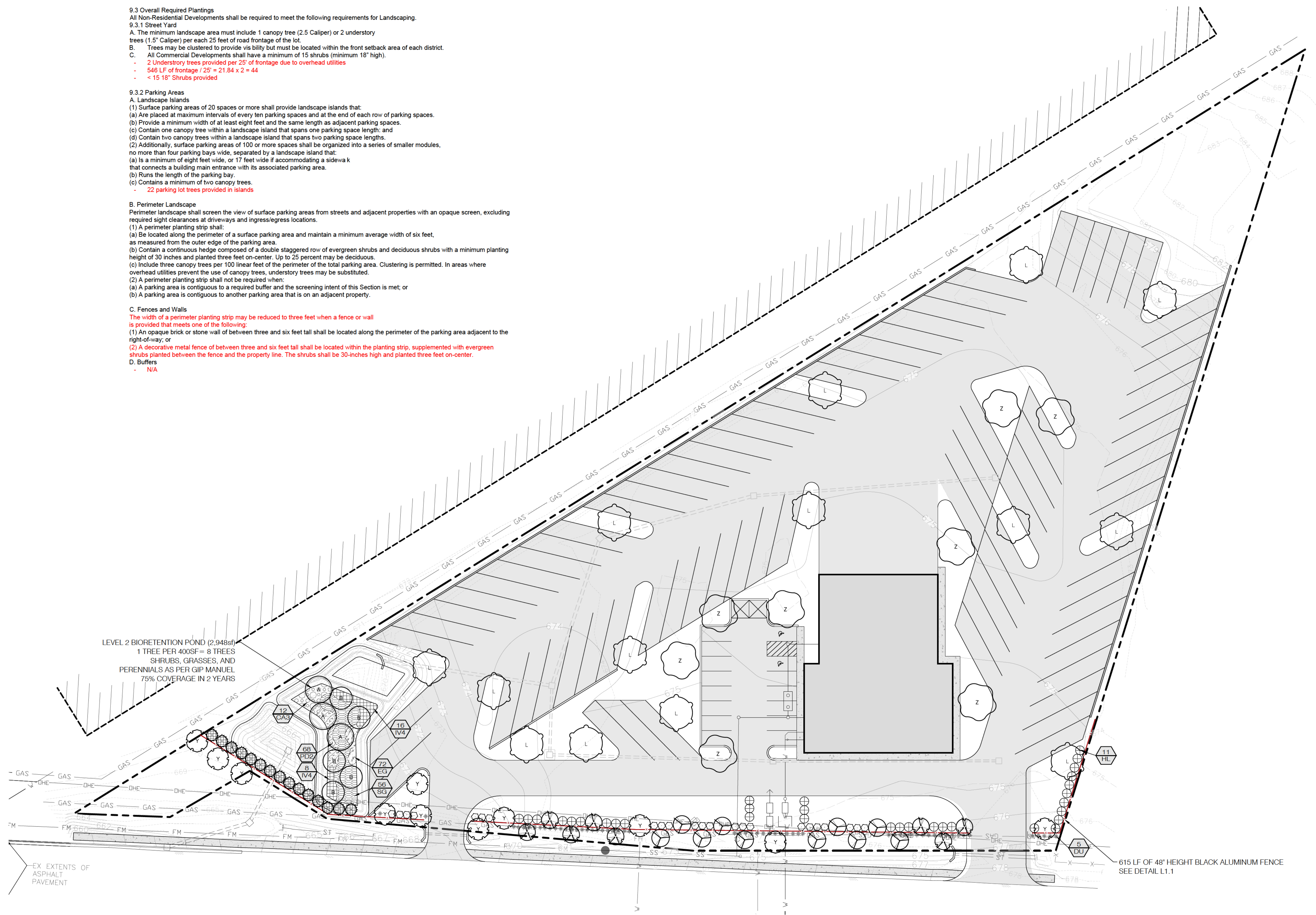
L1.0

- 9.3 Overall Required Plantings
 All Non-Residential Developments shall be required to meet the following requirements for Landscaping.
- 9.3.1 Street Yard
- A. The minimum landscape area must include 1 canopy tree (2.5 Caliper) or 2 understory trees (1.5" Caliper) per each 25 feet of road frontage of the lot.
 - B. Trees may be clustered to provide visibility but must be located within the front setback area of each district.
 - C. All Commercial Developments shall have a minimum of 15 shrubs (minimum 18" high).
 - 2 Understory trees provided per 25' of frontage due to overhead utilities
 - 546 LF of frontage / 25' = 21.84 x 2 = 44
 - < 15 18" Shrubs provided

- 9.3.2 Parking Areas
- A. Landscape Islands
- (1) Surface parking areas of 20 spaces or more shall provide landscape islands that:
 - (a) Are placed at maximum intervals of every ten parking spaces and at the end of each row of parking spaces.
 - (b) Provide a minimum width of at least eight feet and the same length as adjacent parking spaces.
 - (c) Contain one canopy tree within a landscape island that spans one parking space length; and
 - (d) Contain two canopy trees within a landscape island that spans two parking space lengths.
 - (2) Additionally, surface parking areas of 100 or more spaces shall be organized into a series of smaller modules, no more than four parking bays wide, separated by a landscape island that:
 - (a) Is a minimum of eight feet wide, or 17 feet wide if accommodating a sidewalk that connects a building main entrance with its associated parking area.
 - (b) Runs the length of the parking bay.
 - (c) Contains a minimum of two canopy trees.
 - 22 parking lot trees provided in islands

- B. Perimeter Landscape
- Perimeter landscape shall screen the view of surface parking areas from streets and adjacent properties with an opaque screen, excluding required sight clearances at driveways and ingress/egress locations.
- (1) A perimeter planting strip shall:
 - (a) Be located along the perimeter of a surface parking area and maintain a minimum average width of six feet, as measured from the outer edge of the parking area.
 - (b) Contain a continuous hedge composed of a double staggered row of evergreen shrubs and deciduous shrubs with a minimum planting height of 30 inches and planted three feet on-center. Up to 25 percent may be deciduous.
 - (c) Include three canopy trees per 100 linear feet of the perimeter of the total parking area. Clustering is permitted. In areas where overhead utilities prevent the use of canopy trees, understory trees may be substituted.
- (2) A perimeter planting strip shall not be required when:
 - (a) A parking area is contiguous to a required buffer and the screening intent of this Section is met; or
 - (b) A parking area is contiguous to another parking area that is on an adjacent property.

- C. Fences and Walls
- The width of a perimeter planting strip may be reduced to three feet when a fence or wall is provided that meets one of the following:
- (1) An opaque brick or stone wall of between three and six feet tall shall be located along the perimeter of the parking area adjacent to the right-of-way; or
 - (2) A decorative metal fence of between three and six feet tall shall be located within the planting strip, supplemented with evergreen shrubs planted between the fence and the property line. The shrubs shall be 30-inches high and planted three feet on-center.
- D. Buffers
- N/A



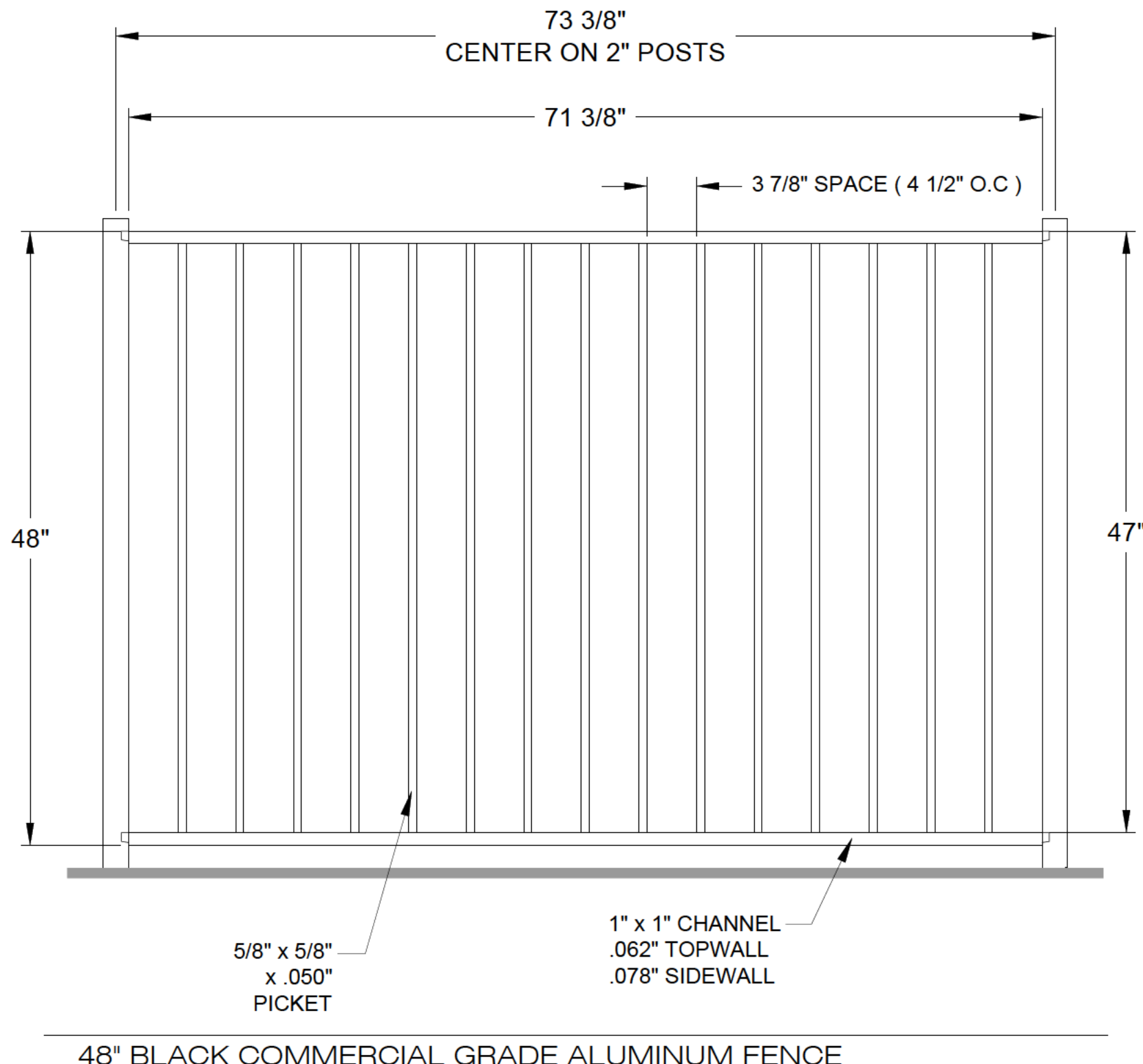
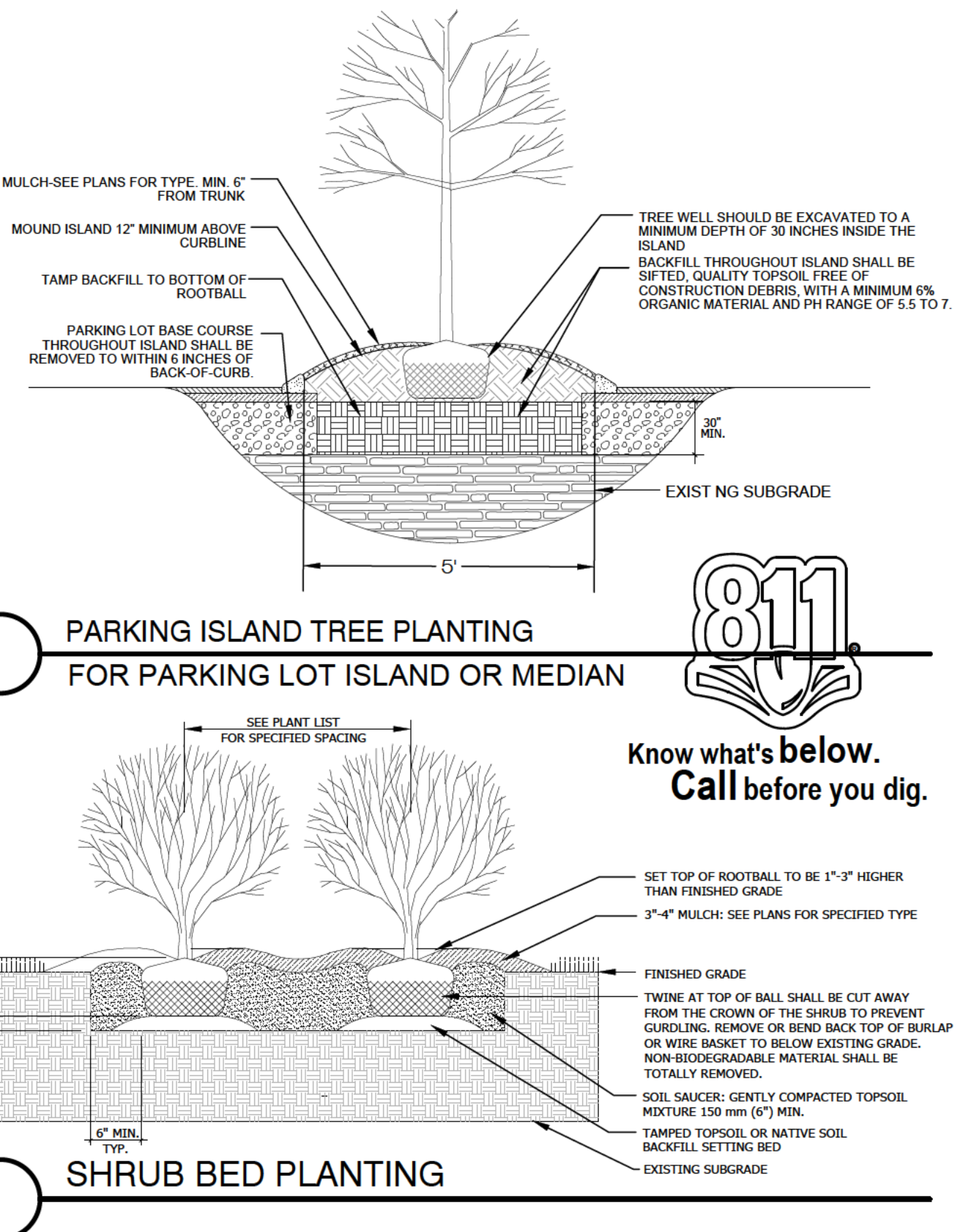
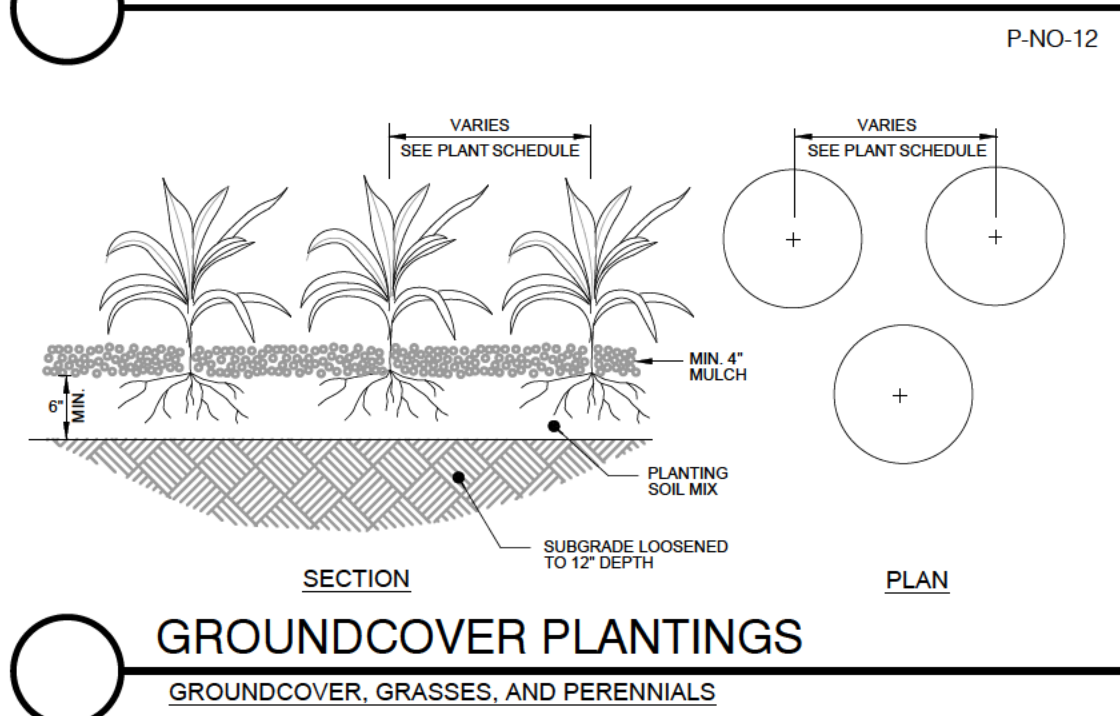
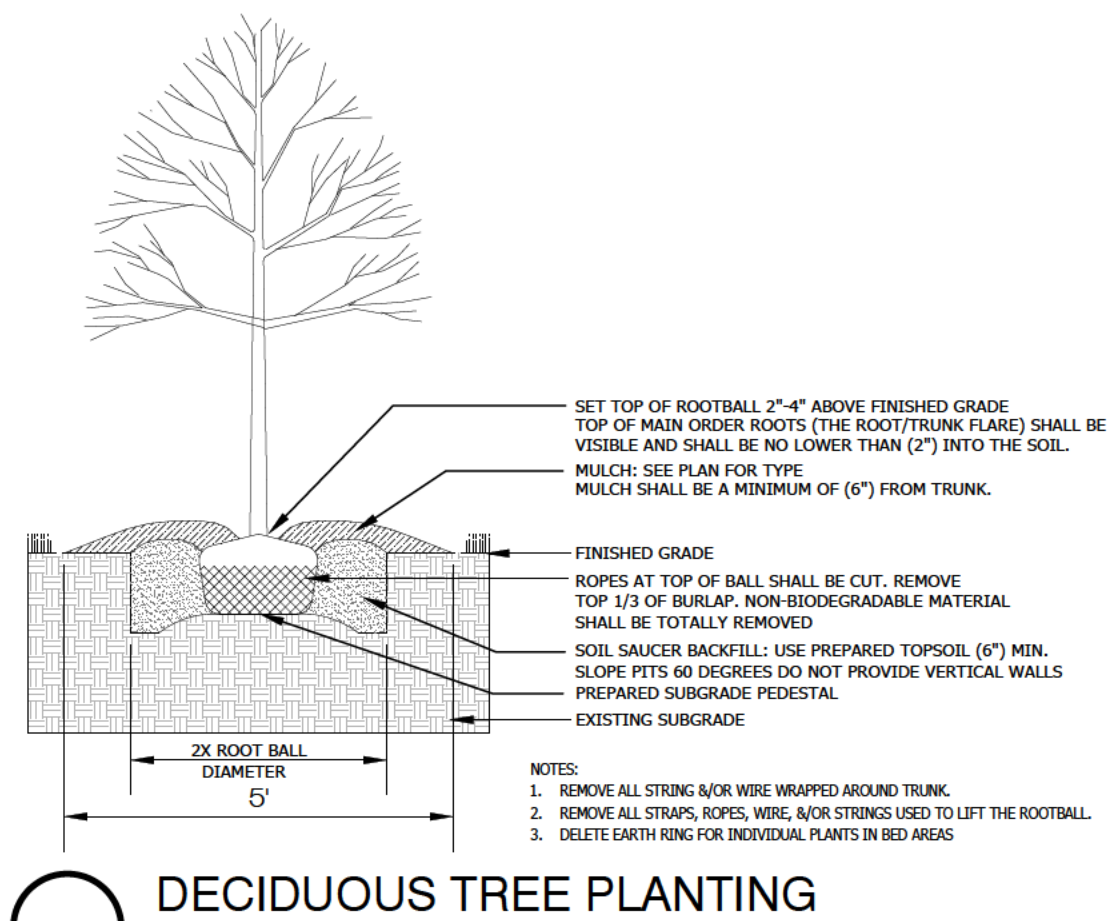
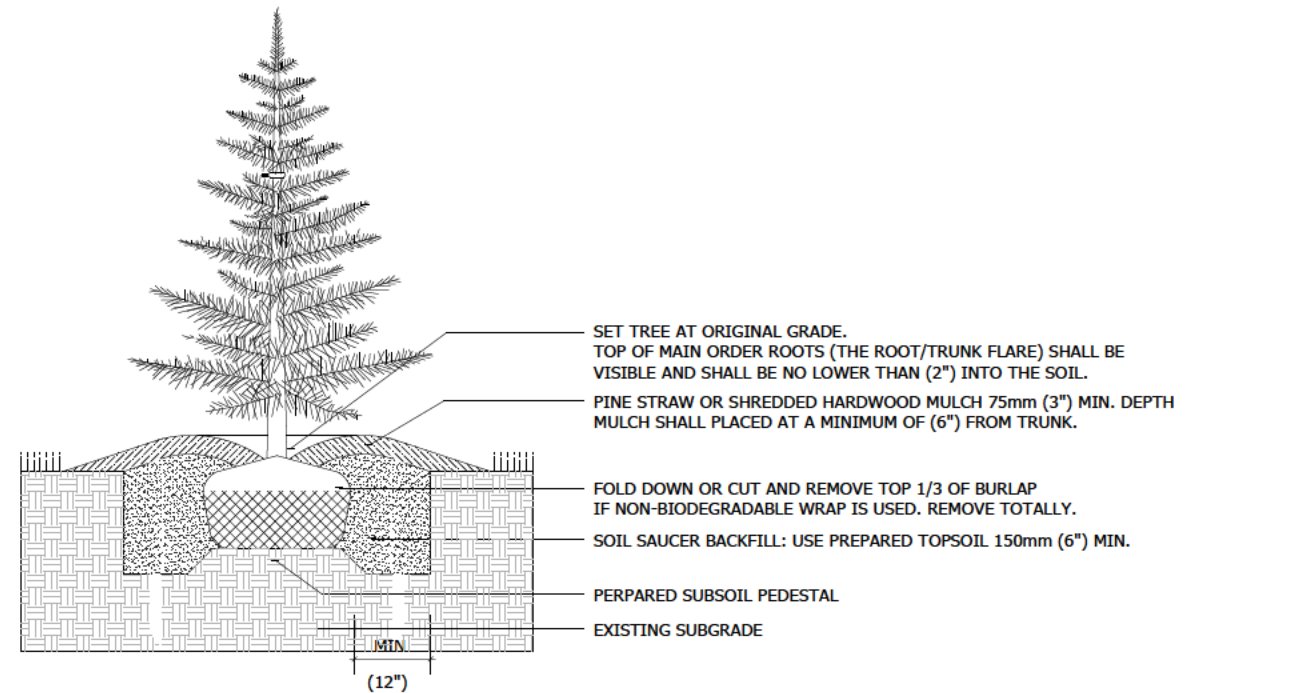
- PLANTING NOTES:**
- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
 - Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
 - Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
 - All materials are subject to the approval of the Landscape Architect, City, and Owner.
 - Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
 - Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by 'American Standards for Nursery Stock'. Main leaders of all trees shall remain intact.
 - Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
 - Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
 - Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
 - Maintain all plant material and lawns until project is accepted in full by the City.
 - Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
 - Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
 - Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain

- LANDSCAPE NOTES:**
- Contractor responsible for locating and protecting all underground utilities prior to digging.
 - Contractor responsible for protecting existing trees from damage during construction as shown on plans.
 - Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading.
 - Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
 - Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All fire marks and indentation to be repaired.
 - Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
 - Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. edge of sod adjacent to mulch beds to be shovel out. All sod to be delivered in largest rolls available, there shall be no gaps between sod joints.
 - The contractor is solely responsible for the establishment of the areas designated as seed to the final acceptance of the owner and city. The contractor shall plan to oversee areas that do not germinate and/or provide adequate coverage.
 - Planting mix to be provided as specified in the landscape specifications.
 - The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
 - Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
 - Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
 - Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
 - All areas of disturbance outside of landscape shall be repaired with turf.
 - Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

- TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**
- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
 - Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 2/3 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
 - No branch is greater than 2/3 the diameter of the trunk directly above the branch.
 - The trunk and/or major branches shall not touch.
 - Several branches are larger in diameter and obviously more dominant.
 - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
 - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
 - Crown spread shall look proportional to the tree.
 - NO flush cuts or open trunk wounds or other bark injury
 - Root ball meets all ANSI standards and is appropriately sized
- DEFICIENCIES NOT ACCEPTED:**
- Tip dieback on 5% of branches
 - Crown thin/sparsely foliated
 - Included bark
 - Major branches touching
 - Asymmetrical branching

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

TO AVOID OVERHEAD UTILITY CONFLICTS:
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.



PLANT SCHEDULE

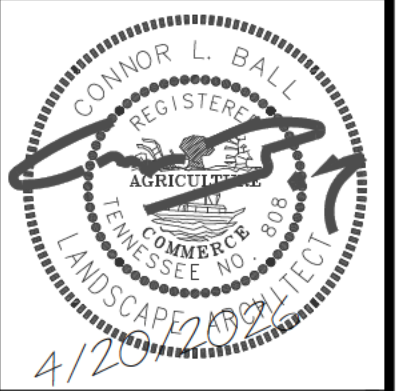
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
BIORETENTION TREES						
A	A	3	Summer Red Red Maple / Acer rubrum 'HOSR' 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B		8'-10' HT
B	B	5	Heritage River Birch / Betula nigra 'Heritage' 3 Equal Stem - 1.5' Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	6'-8' HT
PARKING LOT TREES						
L	L	14	Overcup Oak / Quercus lyrata 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2.5"Cal	Per ANSI
Z	Z	8	Village Green Zelkova / Zelkova serrata 'Village Green' 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2.5"Cal	Per ANSI
STREET TREES						
IF	IF	15	Foster No. 2 Holly / Ilex x attenuata 'Foster No. 2' Full To Base. Full, Dense Form	B & B	1.5"Cal	6'-8' HT
LN2	LN2	8	Natchez Crape Myrtle (MT) / Lagerstroemia x 'Natchez' 3 Equal Stem - 1/2" Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	8'-10' HT
LN3	LN3	10	Sarah's Favorite Crape Myrtle (MT) / Lagerstroemia x 'Sarah's Favorite' 3 Equal Stem - 1/2" Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	8'-10' HT
Y	Y	11	Yoshino Cherry / Prunus x yedoensis 4' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	1.5" CAL	8'-10' HT
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	HT / CONT.	WIDTH	
SHRUBS						
DU	DU	58	Winter Gem Boxwood / Buxus 'Winter Gem' Full; Dense Form. Matched	24" HT		
HL	HL	32	Limelight Hydrangea / Hydrangea paniculata 'Limelight' Full; Dense Form	36" HT		
TH	TH	23	Hicks Yew / Taxus x media 'Hicks' Full; Dense; Well Rooted	30" HT		
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
BIORETENTION PLANTS						
CA3	CA3	12	Beautyberry / Callicarpa americana Full; Well Rooted Containers #3 Containers Installed 60" O.C. in Triangular Pattern	#3 Container		
EG	EG	72	Gateway Joe-Pye Weed / Eupatorium maculatum 'Gateway' Min. 10 Containers in Triangular spacing 18" O.C.	1 Quart		
IV4	IV4	24	Merlot Sweetspire / Itea virginica 'Merlot' Full; Well Rooted Containers #3 Containers Installed 48" O.C. in Triangular Pattern	#3 Container		
SG	SG	56	Shenandoah Switch Grass / Panicum virgatum 'Shenandoah' Full; Well Rooted Containers #1 Containers Installed 48" O.C. in Triangular Pattern	#1 Container		
PD2	PD2	68	Prairie Dropseed / Sporobolus heterolepis Install #1 Containers in Triangular spacing 24" O.C.	#1 Container		

- PLAN NOTES:**
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 3" MINIMUM DEPTH OF PINE BARK MULCH.
 - LANDSCAPE BUFFER SHALL BE ONE CONTINUOUS BED AND MULCHED WITH 3" MIN. DEPTH OF PINE STRAW MULCH
 - LOCATED IN TREE ISLANDS. ALL TREES TO BE INSTALLED 15' FROM ANY LIGHT POLE.
 - ALL AREAS OF DISTURBANCE NOT SPECIFIED AS SOD SHALL BE SEEDED WITH 80% REBEL SUPREME, 20% MERION BLUEGRASS @ 8#/1,000 SF UNLESS OTHERWISE NOTED ON GRADING PLANS
 - NO TREES SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC WATER OR SEWER LINES
 - REQUIREMENTS SHOWN ARE PER THE CITY ZONING ORDINANCE. SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE CITY AND HEIBERT+BALL LAND DESIGN



hlanddesign.com + 615 376.2421

425 INDUSTRIAL BLVD
LA VERGNE, TENNESSEE



Job # - 26140

LANDSCAPE NOTES

L1.1



Item #: 6. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.

Reviewed By:
Bo Logan, City Planner

Summary:
The current public notice requirements need to be updated to reflect changes in State law.

- The Text Amendment language in Table 14.2 on page 242 currently states: "Published notice shall be included on the published agenda for the applicable review body."
- The Rezoning language in Table 14.2 on page 242 currently states: "Published notice of the public hearing shall be published at least 15 days before the BOMA Meeting. Mailed notice shall be postmarked at least 15 days prior to the BOMA meeting."

The language for both items should be changed to match current state law. Staff recommends the changes as follows:

1. Table 14.2 on page 242 - Amend the 2nd item in table - "Text Amendment" to read as follows: "Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing."
2. Table 14.2 on page 242 - Amend the 3rd item in table - "Rezoning (Map Amendment)" to read as follows: "Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing. Mailed notice shall be postmarked at least 21 days prior to the BOMA meeting."

Application	Published Notice	Mailed Notice	Posted Notice	Timing
Text Amendment	Required	Required	Required	Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing.
Rezoning (Map Amendment)	Required	Required	Required	Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing. Mailed notice shall be postmarked at least 21 days prior to the BOMA meeting.

Staff Comments / Technical Items:
None

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.