

WORKSHOP AGENDA

Planning Commission

April 14, 2026 @ 5:30 PM

For the April 28, 2026 Regular Meeting @ 6:00 PM

- Call meeting to order.
- Determine quorum.

ORDER OF BUSINESS

1. Approve Minutes: March 17, 2026 Workshop and March 31, 2026 Regular Meeting.
2. Public Comment Period.

OLD BUSINESS

3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.
4. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 11 of the La Vergne Zoning Ordinance Regarding Signs.

NEW BUSINESS

5. Concept Plan - Emrose, Nine Lots on Two Acres. Property located at 111 Irvin Road (Tax Map 18P, Group A, Parcel 6). R-3 (High Density Residential) Zoning District. Property owned by Kepley Properties, LLC. Requested by SEC, Inc.
6. Site Plan - 425 Industrial Boulevard - New Building Consisting of 10,800 Square Feet on 4.14 Acres. Property located at 425 Industrial Blvd. (Tax Map 29, Parcel 7.01). GD (Gateway District) Zoning District. Property owned by Sitepro Rentals, Inc. Requested by Dewey Engineering.
7. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.
8. Bonds/Letters of Credit Update.

ADJOURN

MINUTES OF THE REGULAR MEETING OF THE CITY OF LA VERGNE PLANNING COMMISSION HELD ON MARCH 31, 2026, AT LA VERGNE CITY HALL, LA VERGNE, TENNESSEE.

The City of La Vergne Planning Commission met in a regular meeting on March 31, 2026, in La Vergne City Hall, starting at 5:30 p.m. with Chairman Earl Garvin, Jr. present and presiding.

Members Present

The members present were: Chairman Earl Garvin, Jr, Vice-Chairman/Mayor Jason Cole, Secretary/Alderman Graeme Coates, Jim Hesemann, Tabatha Howard, Mark Molnar, and Justin Greer.

ORDER OF BUSINESS

1. Approve Minutes: February 10, 2026 Workshop and February 24, 2026 Regular Meeting.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the minutes of February 10, 2026 Workshop and February 24, 2026 Regular Meeting, were adopted with all voting AYE.

2. Public Comment Period.

No one spoke.

OLD BUSINESS

3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.

This item was deferred. No action was taken

NEW BUSINESS

4. Final Plat - Resubdivision of 141 Bain Drive, Revision 1 - One Lot of 5.95 Acres. Requested by Kimley Horn. Property located at 141 Bain Drive (Tax Map 17, Parcel 7.01). LI (Innovation) Zoning District. Property owned by Quality Nashville, LLC.

Mr. Logan gave his report.

A motion, made by Mark Molnar, seconded by Jim Hesemann, to approve the final plat as submitted, was adopted with all voting AYE.

5. **Site Plan - 130 Jones Boulevard - New Building Consisting of 69,120 Square Feet on 5.95 Acres. Requested by Kimley Horn. Property located at 130 Jones Blvd. (Tax Map 17, Parcel 7.18). LI (Innovation) Zoning District. Property owned by Hamilton Creek Partners, LLC.**

Mr. Logan gave his report.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, answered questions regarding the need for a chain link fence for retention, and corrections that had been made to the site plan since the workshop.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the site plan as submitted, was adopted with all voting AYE.

6. **Final Plat - Villages at Woodland Hills, Section 8, Phase 1 - 48 Lots on 22.28 Acres. Requested by SEC, Inc. Property located at 927 Waldron Road (Tax Map 29, P/O Parcel 23). R-2 (Medium Density Residential) Zoning District. Property owned by Bob Parks.**

Mr. Logan gave his report.

Mr. John Miner, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding trees being removed on lot 412-415, 428, and 427.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the final plat as submitted, was adopted with all voting AYE.

7. **Site Plan - 164 Chaney Boulevard - Seven Townhomes on 0.96 Acres. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. Requested by Morley Corp.**

Mr. Logan gave his report.

Mr. Alejandro Mojica, 2603 Elm Hill Pike Ste. I, Nashville, Morley, addressed questions regarding correcting typos on the site plan, the addition of shrubs, the centralizing of ADA spots, and the addition of truncated cones.

A motion, made by Mayor Cole, seconded by Alderman Coates, to approve the site plan as submitted, was adopted with all voting AYE.

8. **Recommendation to the Board of Mayor and Aldermen for Right-of-Way and Roadway Acceptance – Lillian Buchanan Drive and Veterans Memorial Parkway. Property located as portions of Lillian Buchanan Drive and Veterans Memorial Parkway. Requested by Hoss Mousavi.**

Mr. Lide gave his report.

A motion, made by Mayor Cole, seconded by Alderman Coates, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

9. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 2 of the La Vergne Zoning Ordinance Regarding Definitions.**

Mr. Logan gave his report.

A motion, made by Mark Molnar, seconded by Mayor Cole, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

10. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 4 of the La Vergne Zoning Ordinance Regarding Planning Areas.**

Mr. Logan gave his report.

A motion, made by Mayor Cole, seconded by Jim Hesemann, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

11. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 8 of the La Vergne Zoning Ordinance Regarding Parking and Driveways.**

Mr. Lide gave his report.

A motion, made by Mark Molnar, seconded by Alderman Coates, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

12. **Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.**

Mr. Logan gave his report.

A motion, made by Mayor Cole, seconded by Jim Hesemann, to send a favorable recommendation to the Board of Mayor and Aldermen, was adopted with all voting AYE.

13. Bonds/Letters of Credit Update.

Ms. Juliet Williams updated the board on the status of bonds and letters of credit.

ADJOURNMENT

There being no further business to come before this meeting, Chairman Garvin declared the workshop adjourned at 6:25 p.m.

Chairman

City Recorder

Approved

MINUTES OF THE REGULAR WORKSHOP OF THE CITY OF LA VERGNE PLANNING COMMISSION HELD ON MARCH 17, 2026, AT LA VERGNE CITY HALL, LA VERGNE, TENNESSEE.

The City of La Vergne Planning Commission met in a regular workshop on March 17, 2026, in La Vergne City Hall, starting at 5:30 p.m. with Chairman Earl Garvin, Jr. present and presiding.

Members Present

The members present were: Chairman Earl Garvin, Jr, Vice-Chairman/Mayor Jason Cole, Secretary/Alderman Graeme Coates, Jim Hesemann, Tabatha Howard, and Justin Greer. Mark Molnar was absent.

ORDER OF BUSINESS

1. **Approve Minutes: February 10, 2026 Workshop and February 24, 2026 Regular Meeting.**

This item will be approved at the regular meeting on March 31, 2026.

2. **Public Comment Period.**

No one spoke.

OLD BUSINESS

3. **Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.**

This item was deferred. No action was taken

NEW BUSINESS

4. **Final Plat - Resubdivision of 141 Bain Drive, Revision 1 - One Lot of 5.95 Acres. Requested by Kimley Horn. Property located at 141 Bain Drive (Tax Map 17, Parcel 7.01). LI (Innovation) Zoning District. Property owned by Quality Nashville, LLC.**

Mr. Logan gave his report.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, Inc., addressed questions regarding updating the zoning designation on the plans.

No action was taken.

5. **Site Plan - 130 Jones Boulevard - New Building Consisting of 69,120 Square Feet on 5.95 Acres. Requested by Kimley Horn. Property located at 130 Jones Blvd. (Tax Map 17, Parcel 7.18). LI (Innovation) Zoning District. Property owned by Hamilton Creek Partners, LLC.**

Mr. Logan gave his report.

Mr. Lide addressed changes that needed to be made regarding retaining wall size.

Mr. Deaton Hildabrand, 4031 Aspen Grove Drive, Ste. 200, Franklin, Kimley-Horn and Associates, addressed questions regarding the need for a retaining wall and a chain link fence.

No action was taken.

6. **Final Plat - Villages at Woodland Hills, Section 8, Phase 1 - 48 Lots on 22.28 Acres. Requested by SEC, Inc. Property located at 927 Waldron Road (Tax Map 29, P/O Parcel 23). R-2 (Medium Density Residential) Zoning District. Property owned by Bob Parks.**

Mr. Logan gave his report.

Mr. Lide gave his report.

Mr. John Miner, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding correcting street names on the plans, and trees being removed on lot 412-415, 428, and 427.

No action was taken.

7. **Site Plan - 164 Chaney Boulevard - Seven Townhomes on 0.96 Acres. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. Requested by Morley Corp.**

Mr. Logan gave his report.

Mr. Lide gave his engineering report.

Mr. Alejandro Mojica, 2603 Elm Hill Pike Ste. I, Nashville, Morley, addressed questions regarding correcting typos on the site plan, the need for shrubs around a detention pond, the reasoning for the ADA parking spaces being at the rear of the property, the need to centralize those ADA spots, and the addition of truncated cones.

No action was taken.

8. Recommendation to the Board of Mayor and Aldermen for Right-of-Way and Roadway Acceptance – Lillian Buchanan Drive and Veterans Memorial Parkway. Property located as portions of Lillian Buchanan Drive and Veterans Memorial Parkway. Requested by Hoss Mousavi.

Mr. Logan gave his report.

Mr. Lide gave his engineering report.

Mr. John Minor, 850 Middle Tennessee Boulevard, Murfreesboro, SEC Inc., addressed questions regarding correcting street names on the plans, a stub street on lot 381, and sewer clarification.

No action was taken.

9. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 2 of the La Vergne Zoning Ordinance Regarding Definitions.

Mr. Logan gave his report.

No action was taken.

10. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 4 of the La Vergne Zoning Ordinance Regarding Planning Areas.

Mr. Logan gave his report.

No action was taken.

11. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 5 of the La Vergne Zoning Ordinance Regarding Development Standards.

Mr. Logan gave his report. A discussion ensued regarding the number of chickens to be

allowed in residential areas, if a coop enclosed in a fenced in yard needed to be a requirement, and if there should be a lot size requirement.

No action was taken.

12. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 8 of the La Vergne Zoning Ordinance Regarding Parking and Driveways.

Mr. Lide gave his report. A discussion ensued regarding the need to increase driveway width size.

No action was taken.

13. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 11 of the La Vergne Zoning Ordinance Regarding Signs.

Mr. Logan gave his report. A discussion ensued regarding political signs on municipal properties, the City's history in regulating political signs, and if any change was needed to the current zoning ordinance regarding political signs.

No action was taken.

14. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.

Mr. Logan gave his report.

No action was taken.

15. Bonds/Letters of Credit Update.

This item will be updated at the regular meeting.

No action was taken.

ADJOURNMENT

There being no further business to come before this meeting, Chairman Garvin declared the workshop adjourned at 6:54 p.m.

Chairman

City Recorder

Approved



Item #: 3. Site Plan - 1370 Heil Quaker Boulevard - Proposed Truck Parking on 2.51 Acres. Property located at 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). ID (Interchange District) Zoning District. Property owned by Harsimranjeet Kaur. Requested by Huddleston Steele, Inc.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

This site plan is for the property located at 1370 Heil Quaker Boulevard. Proposed is heavy truck parking on 2.51 acres. The address of the property is 1370 Heil Quaker Blvd. (Tax Map 17, Parcel 28.01). The property is zoned ID (Interchange District). Property is owned by Harsimranjeet Kaur.

This site plan must comply with all of the following: Section 5.2.76 Vehicle Storage Areas - All Vehicle storage areas and parking lots shall provide the following improvements:

- A. An opaque privacy fence of at least 6 feet in height. The fence shall completely surround the property on all sides.
- B. Full-service restroom facilities located inside a building that is stick-built and constructed using traditionally accepted and Code-compliant construction techniques.
- C. Bathrooms must be hooked up to public water and public sewer service. No portalets, Porta-johns, or similar temporary bathroom facilities will be considered as meeting the intent of this ordinance.
- D. Adequate fire protection which may include new fire hydrants, new water lines, upgraded water lines, etc.
- E. Vehicle storage areas will not be allowed in any overlay district.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergnnetn.gov; and Jake Blair - jblair@lavergnnetn.gov)

Section 5.2.76 Vehicle Storage Areas - All Vehicle storage areas and parking lots shall provide the following improvements:

- A. An opaque privacy fence of at least 6 feet in height. The fence shall completely surround the property on all sides.
- B. Full-service restroom facilities located inside a building that is stick-built and constructed using traditionally accepted and Code-compliant construction techniques.
- C. Bathrooms must be hooked up to public water and public sewer service. No portalets, Porta-johns, or similar temporary bathroom facilities will be considered as meeting the intent of this ordinance.
- D. Adequate fire protection which may include new fire hydrants, new water lines, upgraded water lines, etc.
- E. Vehicle storage areas will not be allowed in any overlay district.

Engineering (Gary Lide - glide@lavergnnetn.gov)

- A. Provide a draft Longterm Maintenance Agreement (LTMA) which is completely filled out. Include the Longterm Maintenance Plan (LTMP).

- B. Provide a traffic study showing the impact of the truck traffic on Heil Quaker Boulevard during the AM and PM peaks.
- C. (Sheet 3 of 5) In the existing condition, this site sheet flows to the east into the Colonial Pipeline Easement. The present plan calls for the runoff to be concentrated and released at a single point at the northern tip of the site. There is no ditch at that location. A standard energy dissipator at the end of the pipe will not change this from a concentrated flow. Some form of spreader which spread the flow out so that it leaves the site more as sheet flow will be required. Stormwater detention will be required in addition to this.
- D. (Stormwater Calculations) The water quality calculations provide the calculation for the Water Quality Treatment Volume but do not provide the calculations which demonstrate an 80% reduction in total suspended solids (TSS). Provide these required calculations.
- E. (Sheet 2 of 5) A 125-foot wide driveway ramp appears excessive. 48-foot striped with four 12-foot lanes would seem more reasonable for this use. If turning radii are a concern, then islands or some form of channelization to make this entrance less confusing should be added.
- F. Provide pavement section for asphalt pavement.
- G. (Sheet 3 of 5) More detail is needed to prove that the entire paved area will flow into the detention pond as shown in the calculations.
- H. (Sheet 3 of 5) The runoff from the paved area is shown to flow directly from the asphalt to unpaved area and then immediately down a 2:1 slope. This entire area (Including the 2:1 slope to the bottom) will need significant protection. Riprap is considered a minimum.
- I. For this project, Initial, Intermediate, and final erosion controls are required. The intermediate should cover how the site outfall will be protected from a major storm event after the topsoil has been stripped and mass grading is underway.
- J. (Sheet 2 of 5) Please define and label the groundcover for the areas that are neither described as "Asphalt Pavement" or "Landscape Area".
- K. (Sheet 3.1 of 5) Show EPSC details.
- L. (Sheet 2 of 5) Provide a five-foot wide public sidewalk along the road frontage of Heil Quaker Blvd.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

Informational Comment: if a restroom and/or FH is required, such work shall be designed per City Standards

Codes (Joe White - jwhite@lavergn.net)

(Technical items go here)

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

(Technical items go here)

Police

(Technical items go here)

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

1370 Heil Quaker Blvd

BRIDGESTONE PKWY

HEIL QUAKER BLVD

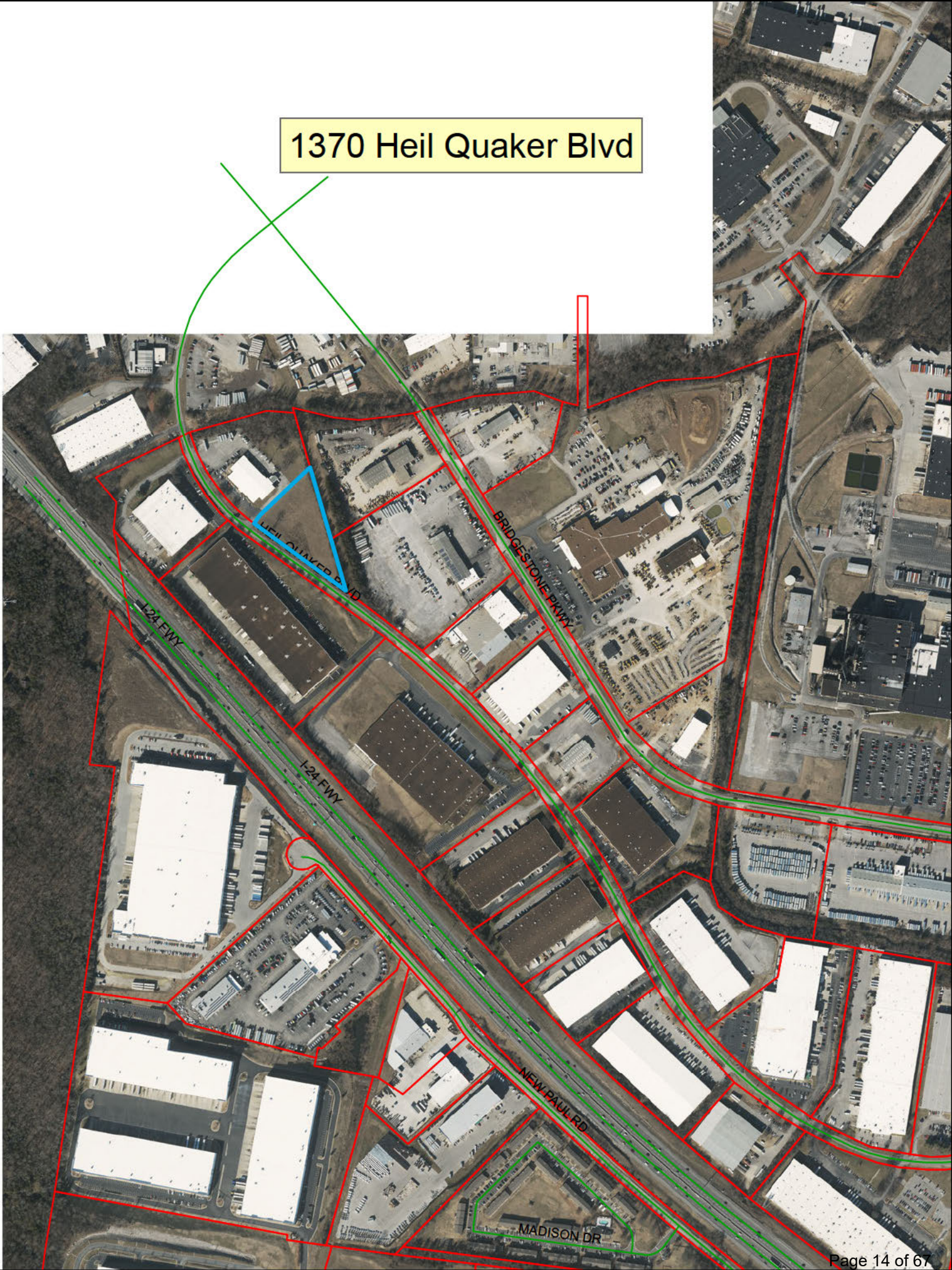
I-24 FWY

I-24 FWY

NEW PAUL RD



1370 Heil Quaker Blvd







NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One-Call system can be notified by calling toll free 1-800-351-1111.

GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON HiPer V-Model #10017-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with positional data:
TDOT CORS STATION-TN3A
STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

LEGEND

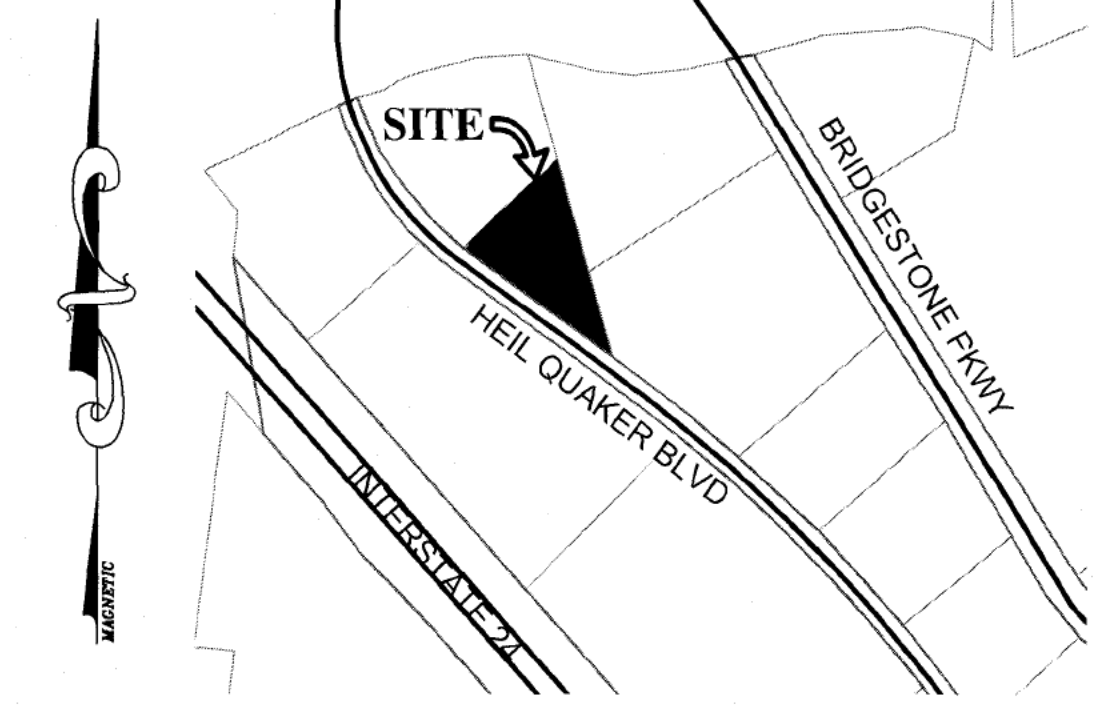
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FND
- CMF □ CONCRETE MONUMENT FND
- X- EXISTING FENCE LINE
- E- EXISTING ELECTRIC LINE
- T- EXISTING TELEPHONE LINE
- G- EXISTING GAS LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

WESNOPSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN

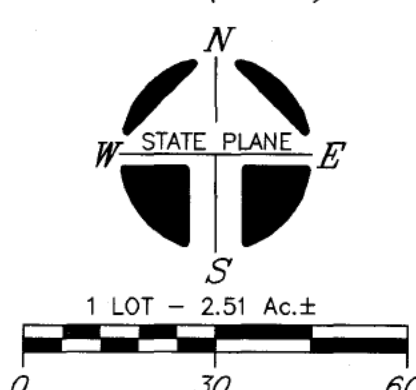


LOCATION MAP
N.T.S.

LEGEND

- ⊗ Power Pole
- ⊕ Sign
- ⊙ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ▲ Concrete Thrust Block
- W- Existing Water Line
- W- Proposed Water Line
- S- Existing Sanitary Sewer Line
- S- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- ⊕ Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- 000 Existing Spot Elevations
- 000 Proposed Spot Elevations
- S- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- ⊕ Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS OTHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

W. H. HUDDLESTON-STEELE
ENGINEERING, INC.

EXISTING CONDITIONS
1370 HEIL QUAKER BLVD

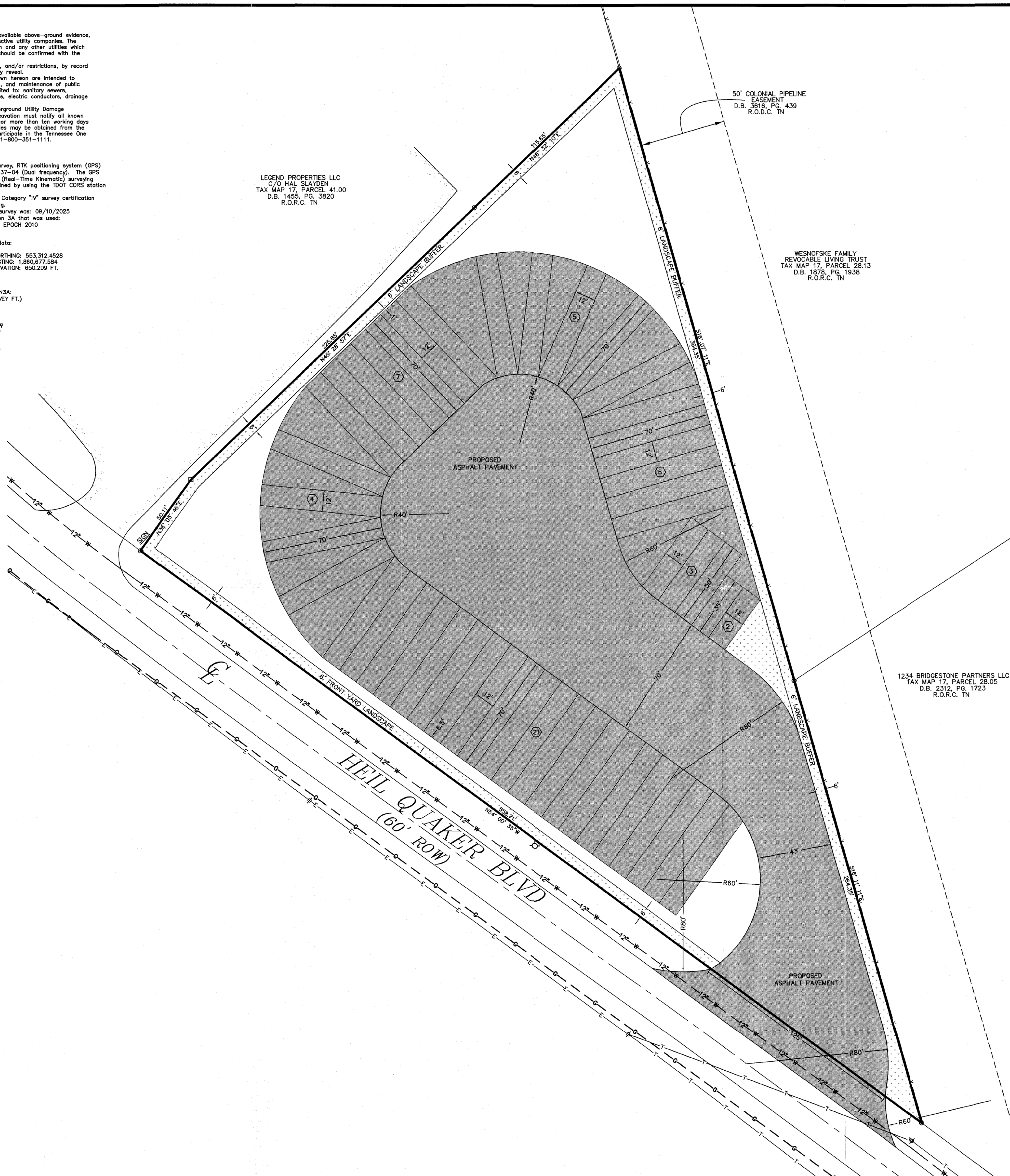
C:\Users\j370\OneDrive\Desktop\1370 HEIL QUAKER BLVD.dwg 12/2/2025 11:20:23 AM RJP 7/10/26 No. 2

NOTES

- Underground utilities shown were located using available above-ground evidence, as well as information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to communicating any work.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways, including, but not limited to: sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.

- GLOBAL POSITION SYSTEM SURVEY NOTES**
- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
 - The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
 - The date that fieldwork was performed for this survey was: 09/10/2025
 - The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
 - Fixed Control Station designation with positional data:
TDOT CORS STATION-TN3A
STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
 - Geoid model used- GEOID03
 - Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

- LEGEND**
- IPS O IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IFF O IRON PIN FND.
 - CMF □ CONCRETE MONUMENT FND.
 - X EXISTING FENCE LINE
 - E EXISTING ELECTRIC LINE
 - T EXISTING TELEPHONE LINE
 - G EXISTING GAS LINE



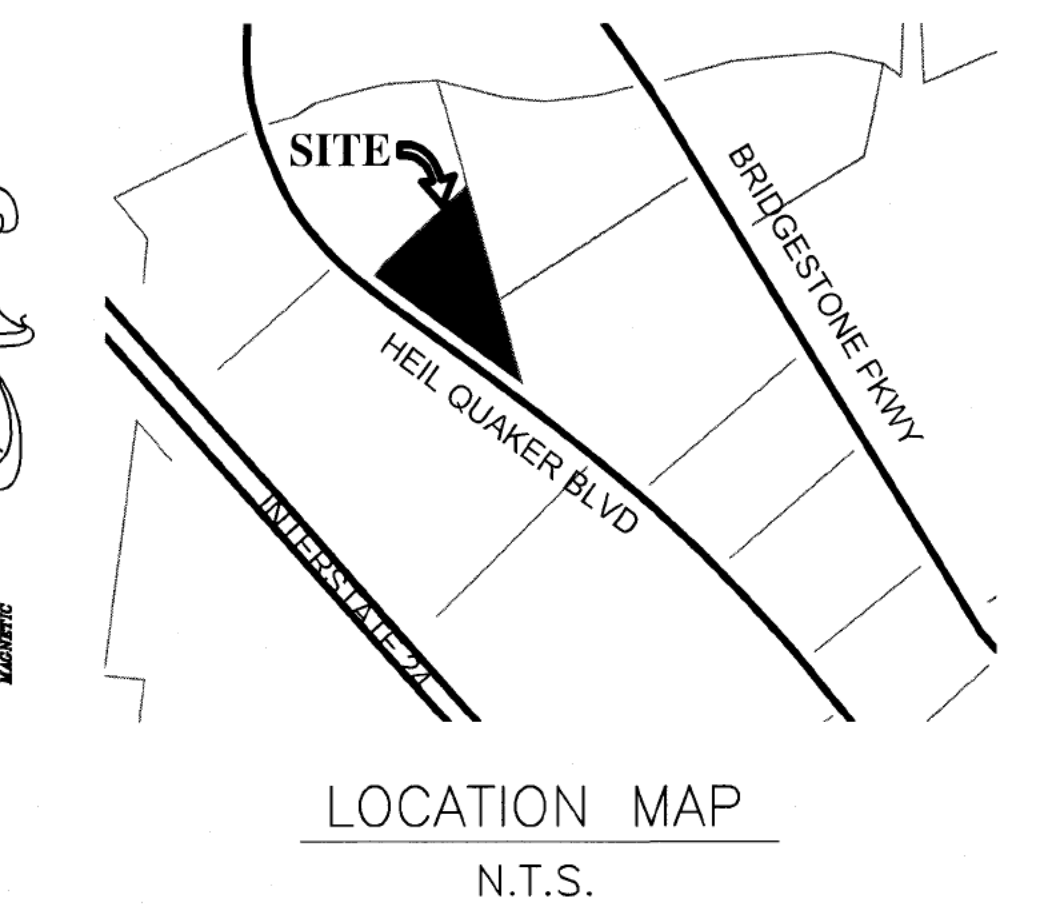
LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3620
R.O.R.C. TN

WESNOFSKY FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN

- GENERAL NOTES:**
- A PRE-CONSTRUCTION CONFERENCE AND LAND DISTURBANCE PERMIT IS REQUIRED PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR AT LEAST 48 HOURS PRIOR TO ANY REQUIRED OR REQUESTED INSPECTIONS.
 - CITY INSPECTORS ARE NOT QUALITY CONTROL. THE CONTRACTOR'S QUALITY CONTROL REPRESENTATIVE MUST BE ON-SITE DURING ALL REQUIRED INSPECTIONS. CONTRACTOR'S QUALITY CONTROL MUST SIGN-OFF OR APPROVE EACH INSPECTION. CITY INSPECTORS WILL CONFIRM THAT THIS IS DONE BUT WILL NOT PROVIDE APPROVALS.
 - DEPTH AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION OR TRENCHING. CONTACT THE TENNESSEE UTILITY LOCATION SERVICE AT 811 OR 800-351-1111, 3-10 DAYS BEFORE YOU DIG. NO EXCEPTIONS.
 - ALL CONSTRUCTION AND OPERATIONS BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH OSHA.
 - THE CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS AT THE PROJECT SITE WHICH SHALL BE AVAILABLE FOR REVIEW BY CITY INSPECTORS. THESE REDLINE PLANS MUST BE UPDATED WEEKLY.
 - AS-BUILT PLANS (RECORD DRAWINGS) SHALL BE PROVIDED TO THE CITY WITHIN 30-DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE PROVIDED IN THREE FORMATS:
a. PAPER (ONE SET)
b. PDF (ONLINE DRIVE OR E-MAIL)
c. GIS-COMPATIBLE (ONE FILE)
 - TRAFFIC CONTROL, SIGNAGE AND CONSTRUCTION RELATED BARRIERS ARE THE RESPONSIBILITY OF THE CONTRACTOR, AND NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT WITHOUT PROPER SAFETY MEASURES SUCH AS BARRICADES, PLATING, OR OTHER AS AGREED BY THE CITY.
 - IN RESIDENTIAL AREAS, NO CONSTRUCTION WORK CAN BE CONDUCTED OUTSIDE OF THE FOLLOWING HOURS WITHOUT A SPECIAL PERMIT:
a. MONDAY-FRIDAY, 7:00 AM TO 6:00 PM
b. SATURDAY-SUNDAY, 8:00 AM TO 6:00 PM
 - SURFACE IMPROVEMENTS DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE RECONSTRUCTED BY THE CONTRACTOR TO CITY OF LA VERGNE REQUIREMENTS.
 - ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE CITY ENGINEER.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY MONUMENTS IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, THE CONTRACTOR WILL BE REQUIRED TO CONTRACT WITH A REGISTERED LAND SURVEYOR FOR THE RE-ESTABLISHMENT AND MAPPING OF THE DESTROYED MONUMENT.
 - ALL CONSTRUCTION WATER TAKEN FROM A CITY FH SHALL BE FROM A CITY APPROVED FIRE HYDRANT METER ASSEMBLY, AND CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PUBLIC DOMESTIC WATER SYSTEM AT ALL TIMES BY MAINTAINING PROPER CROSS CONNECTION CONTROL PER THE GOVERNING AUTHORITY.
 - THE CONTRACTOR SHALL CONFINE ALL OF HIS ACTIVITIES TO THE AREAS AS SHOWN ON THESE PLANS UNLESS WRITTEN CONSENT IS PROVIDED IN ADVANCE BY THE AFFECTED PROPERTY OWNER.
 - SURPLUS AND ALL MATERIAL REMOVED WHICH IS NOT SUITABLE FOR USE IN THIS PROJECT SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN A MANNER OR AT A LOCATION ACCEPTABLE TO THE CITY OF LA VERGNE AND THE STATE OF TENNESSEE. NO WASTE MATERIAL SHALL BE PLACED IN A SINKHOLE WITHIN THE CITY LIMITS OF LA VERGNE.
 - NO MORE THAN 300 FEET OF UTILITY AND DRAINAGE PIPE TRENCH WILL BE ALLOWED AT TO BE OPEN AT ONE TIME.
 - IF PUBLIC SIDEWALKS ARE TO BE CLOSED BY CONSTRUCTION FOR MORE THAN TWENTY-FOUR HOURS, THEN A PROTECTION TRAFFIC RE-ROUTING PLAN WHICH PROVIDES AN ACCESSIBLE ROUTE OF TRAVEL FOR PEDESTRIANS MUST BE APPROVED AND IMPLEMENTED PRIOR TO CONSTRUCTION.



Site Data Chart

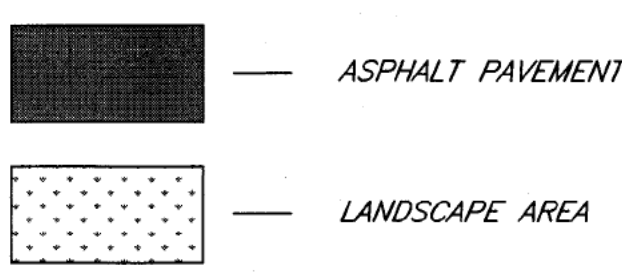
Zoning District: Interchange-District
Existing Use: Vacant
Proposed Use: Parking Lot
Existing Building: N/A
Acreage/square footage of lot: 2.51 Ac./109,301± SF.

Parking:
See Chart

Landscaping & Buffering:
Impermeable surface area: 83,704 SF.
Permeable surface area: 25,597 SF.
Landscaping area: 9,510 SF.

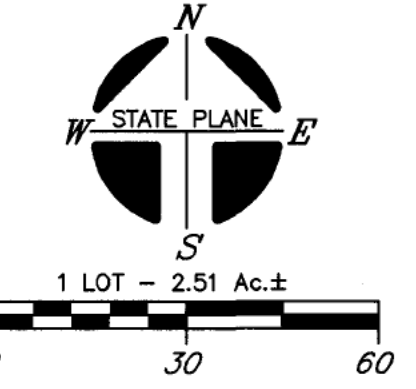
TRUCK PARKING STALLS	
# OF STALLS	SIZE
43	70'X12'
3	50'X12'
2	35'X12'
TOTAL: 48	

HATCH LEGEND



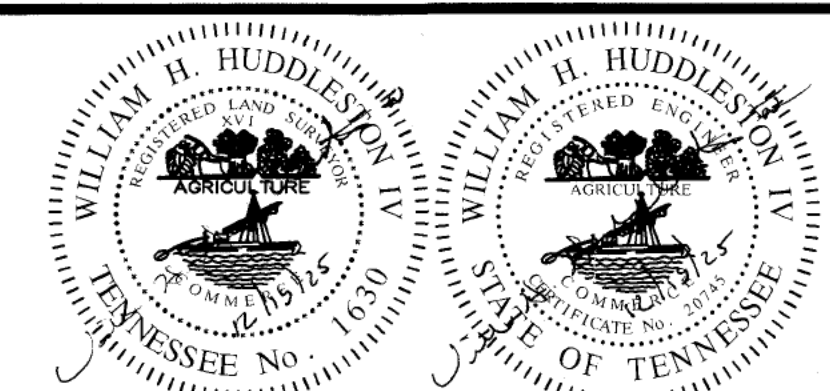
- LEGEND**
- Power Pole
 - Sign
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Reducer
 - Proposed Gate Valve & Box
 - Concrete Thrust Block
 - Existing Water Line
 - Proposed Water Line
 - Existing Sanitary Sewer Line
 - Proposed Sanitary Sewer Line
 - Existing Manhole
 - Proposed Manhole
 - Sewer Line Check Dam
 - Existing Contours
 - Proposed Contours
 - Existing Spot Elevations
 - Proposed Spot Elevations
 - Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
 - Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).



OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 47149C0015J
DATED: MAY 9, 2023 ZONE: X
NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



HUDDLESTON-STEELE
ENGINEERING, INC.

SITE LAYOUT PLAN
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: December, 2025 SCALE: 1"=30' SH. 2 OF 5

NOTES

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GLOBAL POSITION SYSTEM SURVEY NOTES

- For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
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- The date that fieldwork was performed for this survey was: 09/10/2025
- The datum(s) for the TDOT CORS Network Station 3A that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988

- Fixed Control Station designation with positional data:
TDOT CORS STATION—TN3A
STATE PLANE (TN 4100—US SURVEY FT.)— NORTHING: 553,312.4528
EASTING: 1,860,877.584
ELEVATION: 650.209 FT.

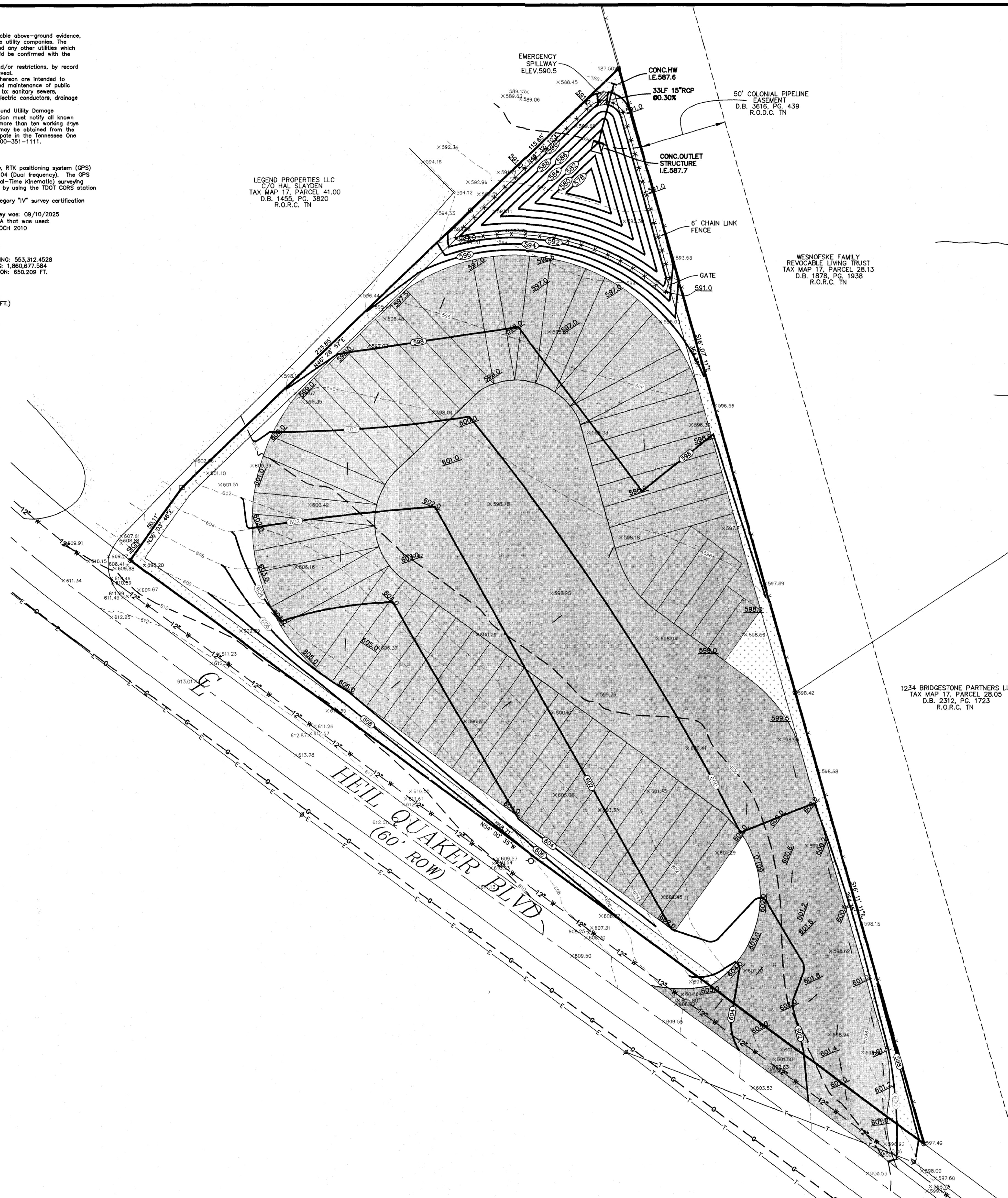
- Geoid model used— GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE—TN 4100—US SURVEY FT.)

- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
 - IPF ○ IRON PIN FND.
 - CMF □ CONCRETE MONUMENT FND.
 - X—X— EXISTING FENCE LINE
 - E—E— EXISTING ELECTRIC LINE
 - T—T— EXISTING TELEPHONE LINE
 - G—G— EXISTING GAS LINE

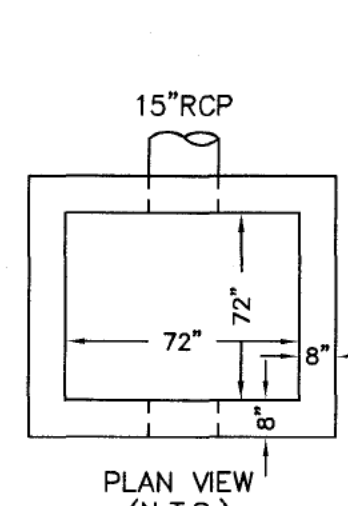
LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

WESNOSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

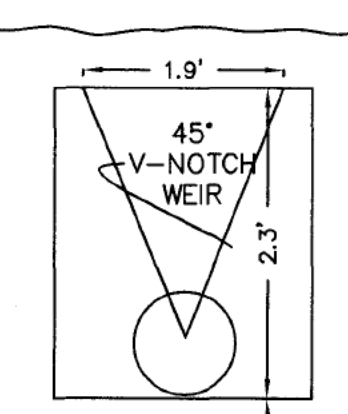
1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



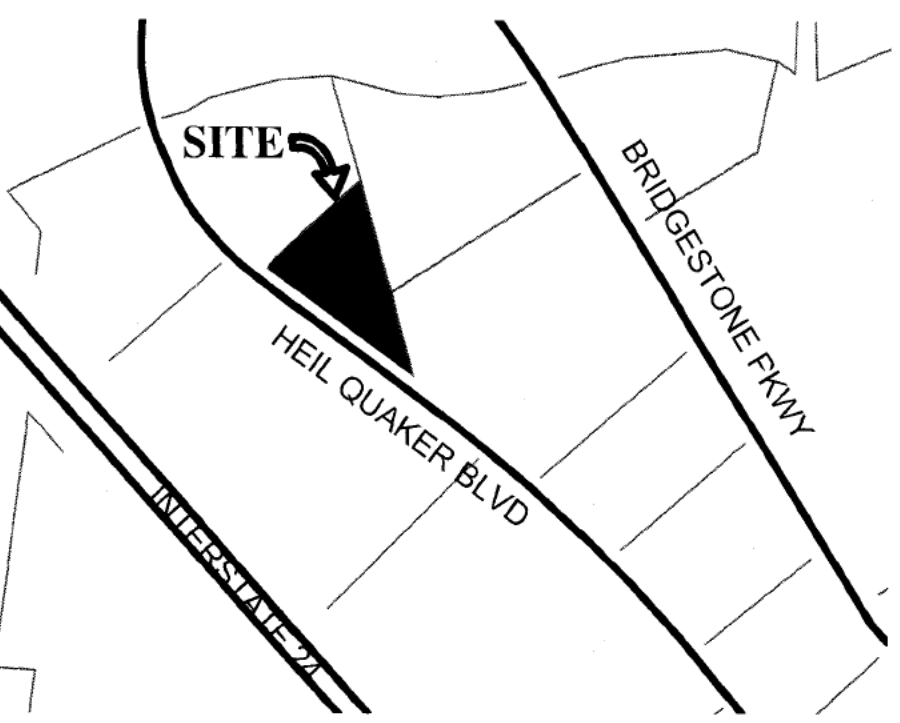
OUTLET STRUCTURE DETAIL



PLAN VIEW (N.T.S.)



FRONT VIEW (N.T.S.)



LOCATION MAP
N.T.S.

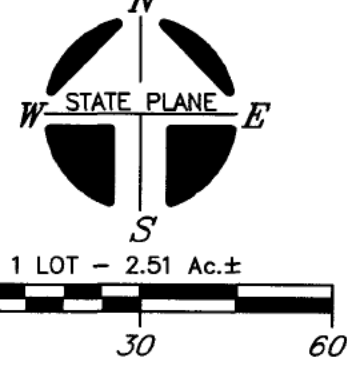
HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

- Power Pole
- ⊕ Sign
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
- Existing Sanitary Sewer Line
- Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- Sewer Line Check Dam
- Existing Contours
- Proposed Contours
- oo Existing Spot Elevations
- oo Proposed Spot Elevations
- Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

BEARINGS BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 83).

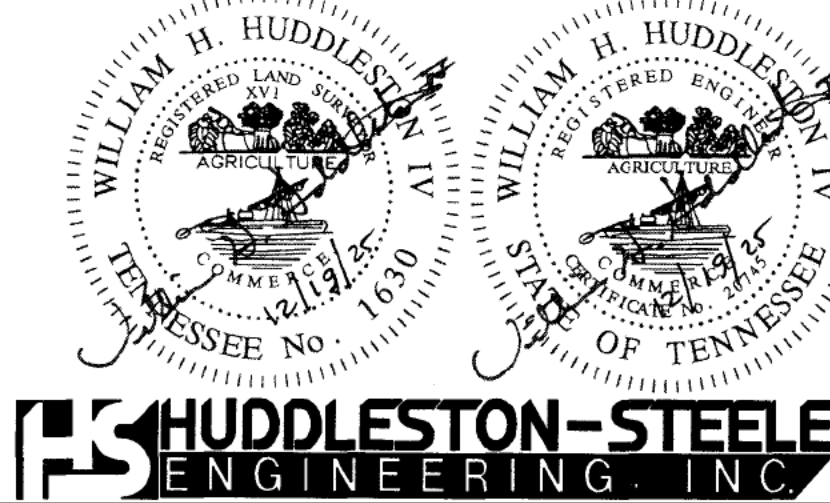


OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]

PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086

TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 170B
MAP NUMBER: 47149C0015J
DATE: MAY 9, 2023 ZONE: X
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HUDDLESTON-STEELE
ENGINEERING, INC.

GRADING AND DRAINAGE
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN
Date: December, 2025 SCALE: 1"=30' SH. 3 OF 5

NOTES

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VERT.: NAVD 1988
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TDOT CORS STATION-TN3A
STATE PLANE (TN 4100-US SURVEY FT.)- NORthing: 553,312.4528
EASTING: 1,860,677.584
ELEVATION: 450.209 FT.
- Geoid model used- GEOID03
- Combined grid factors for TDOT CORS Station TN3A:
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

LEGEND

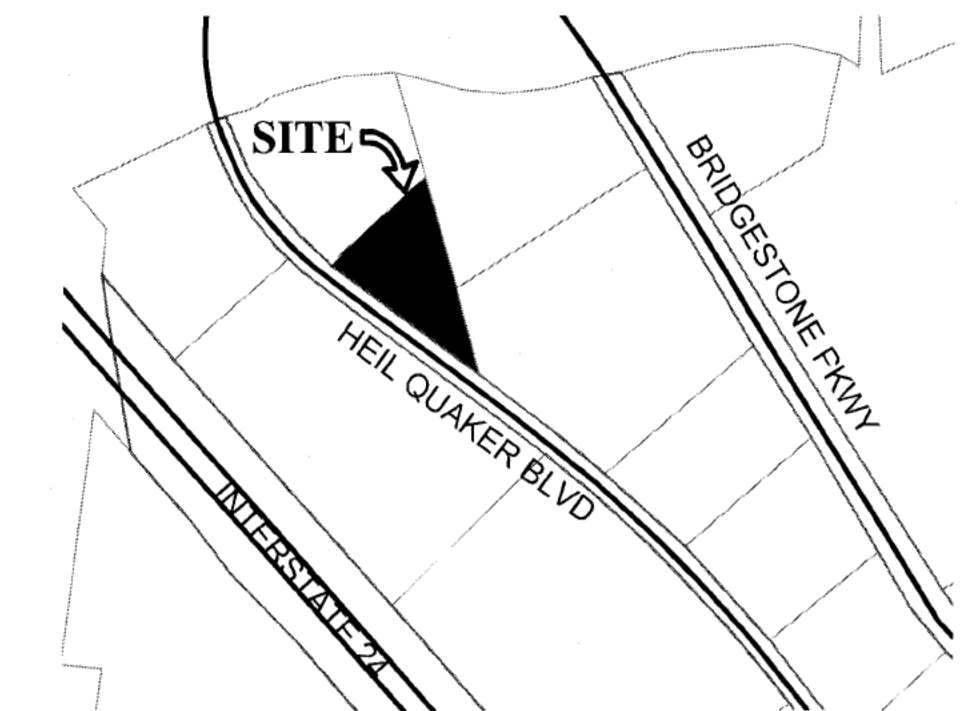
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X-X EXISTING FENCE LINE
- E-E EXISTING ELECTRIC LINE
- T-T EXISTING TELEPHONE LINE
- G-G EXISTING GAS LINE

LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3620
R.O.R.C. TN

50' COLONIAL PIPELINE
EASEMENT
D.B. 3616, PG. 439
R.O.R.C. TN

WESNOFSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
R.O.R.C. TN



LOCATION MAP
N.T.S.

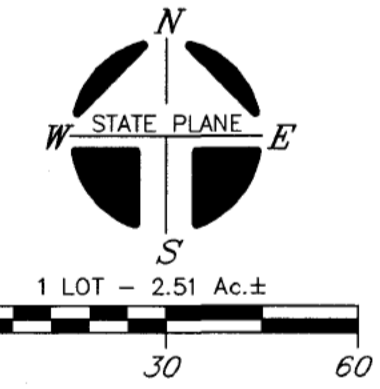
HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

LEGEND

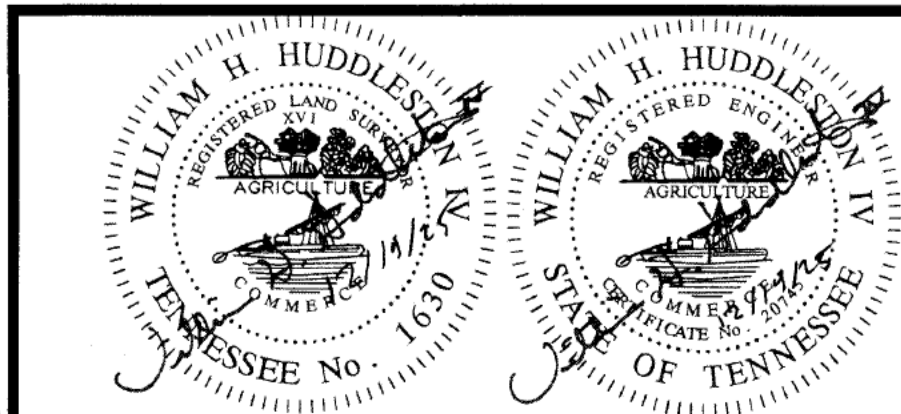
- ⊗ Power Pole
- ⊕ Sign
- ⊕ Existing Fire Hydrant
- ⊕ Proposed Fire Hydrant
- ⊕ Reducer
- ⊕ Proposed Gate Valve & Box
- ⊕ Concrete Thrust Block
- W— Existing Water Line
- W— Proposed Water Line
- S— Existing Sanitary Sewer Line
- S— Proposed Sanitary Sewer Line
- Existing Manhole
- Proposed Manhole
- CD— Sewer Line Check Dam
- ∞— Existing Contours
- ∞∞— Proposed Contours
- ∞∞ Existing Spot Elevations
- ∞∞∞ Proposed Spot Elevations
- S— Siltation Fence or Straw Bale Barrier (to be installed before grading and left in place until a good stand of grass is established over all disturbed areas.)
- ⊗ Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

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OWNER: HARSIMRANJEET KAUR
BALDEV SINGH
OWNER ADDRESS: [REDACTED]
PROPERTY ADDRESS: 1370 HEIL QUAKER BLVD
LA VERGNE, TN 37086
TAX MAP: 17, PARCEL: 28.01
PLAT BOOK: 47, PAGE: 176, LOT: 2
RECORD BOOK: 2200, PAGE: 1708
MAP NUMBER: 4714-00015J
DATED: MAY 9, 2023 ZONE: X
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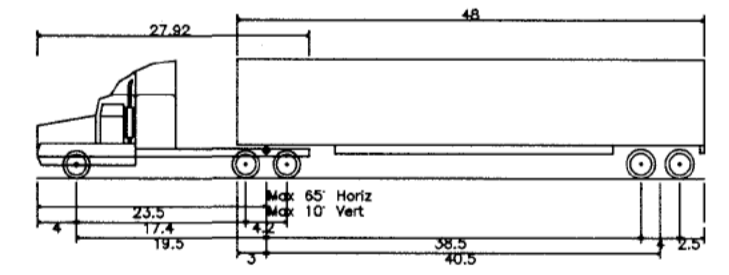
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W. H. HUDDLESTON-STEELE
ENGINEERING, INC.

TRUCK TEMPLATE
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
Date: December, 2025 SCALE: 1"=30' SH. 4 OF 5



WB-52 - Interstate Semi-Trailer
Overall Length 68.500ft
Overall Width 8.500ft
Overall Body Height 12.020ft
Min Body Ground Clearance 1.334ft
Max Truck Width 8.500ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 45.000ft

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EASTING: 1,860,677.584
ELEVATION: 650.209 FT.
- Geoid model used- GEOID03
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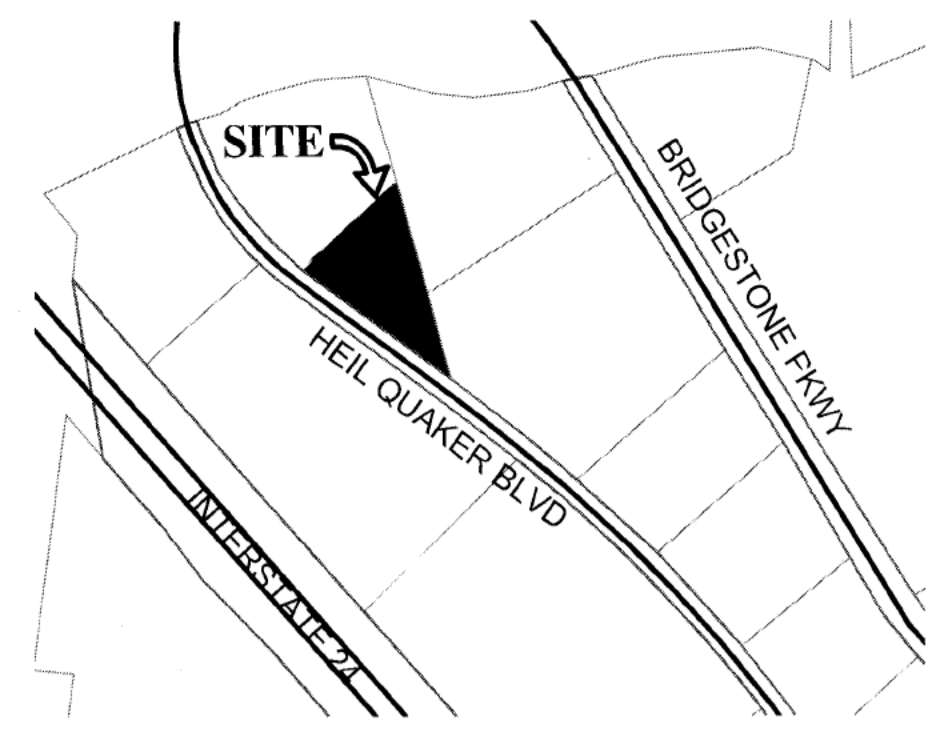
LEGEND

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- IPF ○ IRON PIN FND.
- CMF □ CONCRETE MONUMENT FND.
- X- EXISTING FENCE LINE
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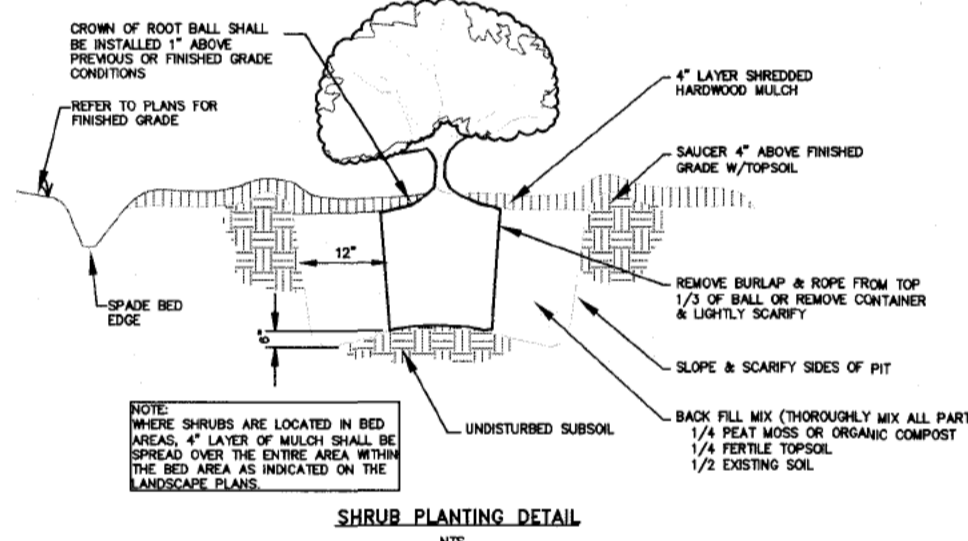
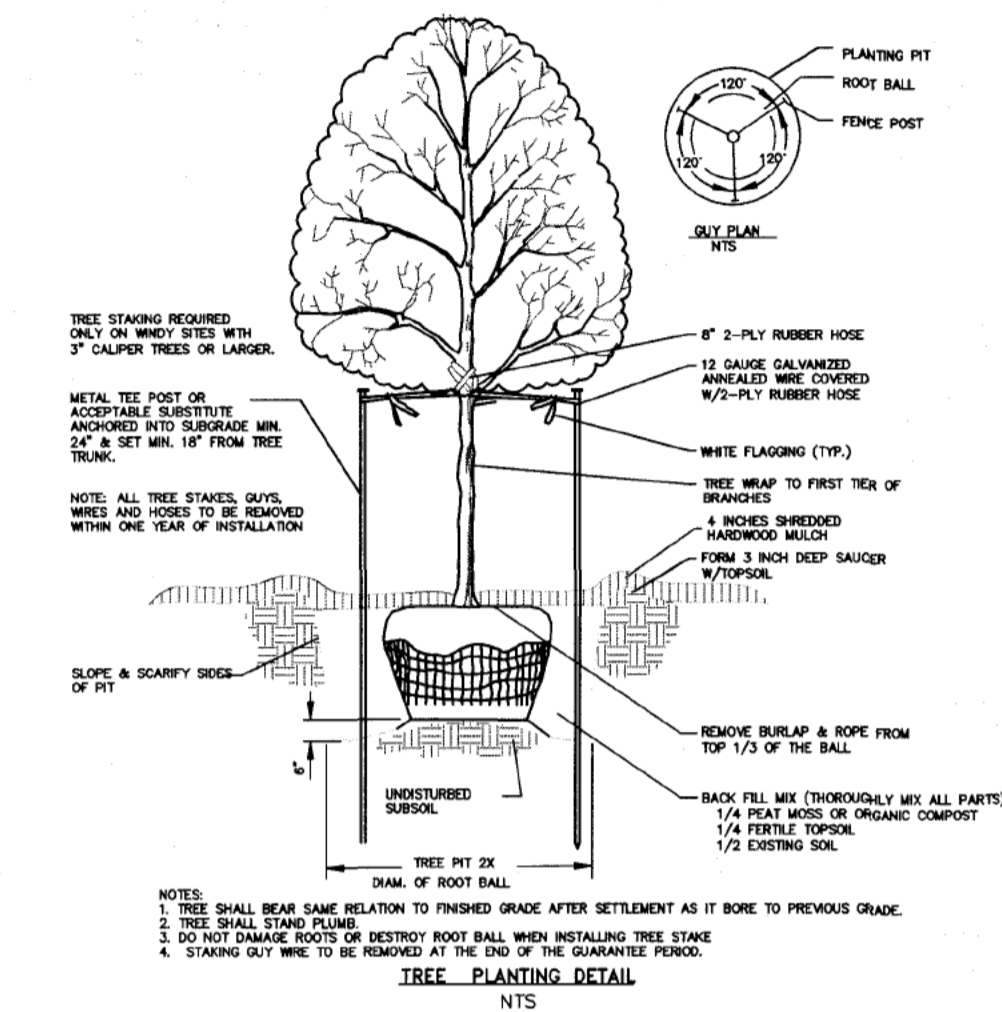
LEGEND PROPERTIES LLC
C/O HAL SLAYDEN
TAX MAP 17, PARCEL 41.00
D.B. 1455, PG. 3820
R.O.R.C. TN

WESNOFSKE FAMILY
REVOCABLE LIVING TRUST
TAX MAP 17, PARCEL 28.13
D.B. 1878, PG. 1938
R.O.R.C. TN

1234 BRIDGESTONE PARTNERS LLC
TAX MAP 17, PARCEL 28.05
D.B. 2312, PG. 1723
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LOCATION MAP
N.T.S.



HATCH LEGEND

- ASPHALT PAVEMENT
- LANDSCAPE AREA

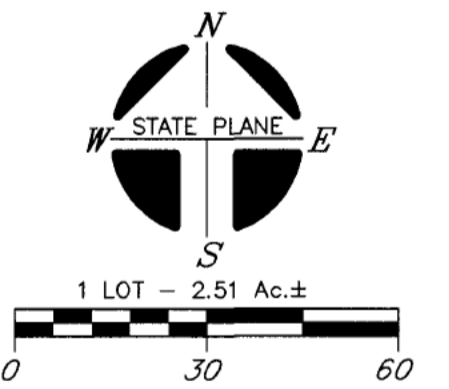
LEGEND

- Power Pole
- Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Reducer
- Proposed Gate Valve & Box
- Concrete Thrust Block
- Existing Water Line
- Proposed Water Line
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- Existing Spot Elevations
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- Rip-Rap (6" min. dia., 1' thick per TDOT Specifications) Item No. 709-05

PLANT MATERIALS SCHEDULE

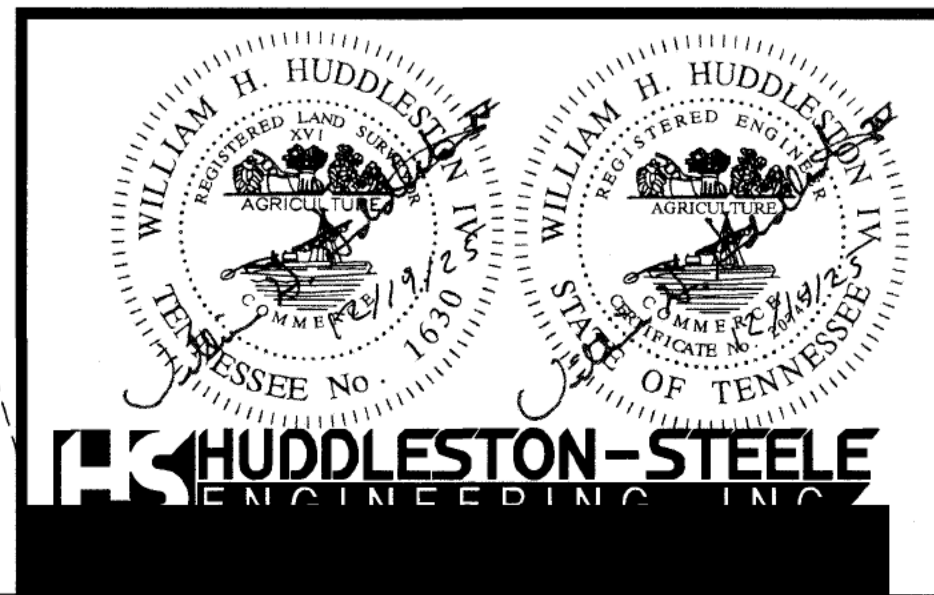
KEY	QUANTITY	SCIENTIFIC NAME/ COMMON NAME	TRUNK	HEIGHT	SPREAD	REMARKS
○	197	Buxus sempervirens/ Common Boxwood		30" MIN.		Double Staggered 3' on-center
○	21	Acer rubrum/ Red Maple	2.5" MIN.			

BEARINGS BASED ON
THE TENNESSEE STATE
PLANE COORDINATE
SYSTEM (NAD 83).



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OWNER ADDRESS: [REDACTED]
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LANDSCAPE PLAN
1370 HEIL QUAKER BLVD

15TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
Date: December, 2025 SCALE: 1"=30' SH. 5 OF 5



Item #: 4. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 11 of the La Vergne Zoning Ordinance Regarding Signs.

Reviewed By:
Bo Logan, City Planner

Summary:

This will be a discussion on the regulations of political signs on City owned property or on right-of-ways. The current version of the Sign Ordinance does not include any regulations for political signs, the previous version regulated:

- where and how many could be placed.
- when signs can go up and when they must be taken down.

At the PC workshop on March 17th the Planning Commission and legal counsel decided that Staff should research a good definition for the term civic sign. To help the Planning Commission formulate a definition of civic sign Staff has reviewed Murfreesboro. The City of Murfreesboro has a stand-alone sign ordinance **unlike La Vergne**. Although they do not use the word “civic” you will see below that they use words like “governmental” and “governmental agency”.

One can see in #2 below that Murfreesboro exempts their civic signs by...."Graphics or other materials placed on City-owned buildings or other buildings or structures on City-owned property, or other objects placed on City-owned property, provided that a building permit and/or electrical permit must be obtained if otherwise required. Therefore civic signs in Murfreesboro *are not subject to regulation by this [Chapter 25.2](#)*:"

Staff agrees that the best way to handle the issue of civic signs is to exempt them just like Murfreesboro does.

Section 25.2-23 - Exemptions.

(A) The following items that could be considered as coming within the definition of a "sign" are not subject to regulation by this [Chapter 25.2](#):

(1) Signs and other devices erected, posted or otherwise established by any governmental agency regulating traffic.

(2) Graphics or other materials placed on City-owned buildings or other buildings or structures on City-owned property, or other objects placed on City-owned property, provided that a building permit and/or electrical permit must be obtained if otherwise required.

(3) Scoreboards and related components at athletic fields if oriented towards the field of play, provided

that a building permit and/or electrical permit must be obtained for the structure if otherwise required.

(4) Informational, directional and other such signs at City parks if oriented internal to the park, provided that a building permit and/or electrical permit must be obtained for the structure if otherwise required.

(5) Public Art.

(6) Murals placed on a side or rear wall or elevation. Murals placed on front elevation are prohibited. See Code [§ 25.2-24](#).

(B) *The following signs are allowed without a sign permit or permit fees:*

(1) Flag signs of 24 square feet or less which are not mounted on or displayed from a flagpole as defined in Code [§ 25.2-2](#).

(2) Enter/Exit signs not exceeding 5 square feet and not more than four feet overall height. Illumination is allowed in accordance with Code [§ 25.2-26](#); an electrical permit is required with applicable fee. Must be at least 1 foot from R.O.W. and may be placed under power line or in an easement at sign owner's risk. May include a logo.

(3) Convenience signs not more than three square feet. Illumination is allowed in accordance with Code [§ 25.2-26](#); an electrical permit is required with applicable fee. Must be at least one foot from R.O.W. and may be placed under power line or in an easement at sign owner's risk. May include a logo.

(4) Temporary signs, except as otherwise provided in Code [§ 25.2-25](#).

(5) Governmental signs.

(6) Window signs that are in conformity with the provisions of subsection (C) of this Code [§ 25.2-23](#).

(7) Flagpoles to be erected, prepared, altered or relocated on a lot which is lawfully being used for either a single family or two family residential use, regardless of zoning district.

(8) Vehicle signs that are not prohibited by Code [§ 25.2-24](#) or [25.2-25](#).

(9) Equipment and machinery signs that do not exceed 2 square feet for each 1 linear foot of the side to which it is attached.

Staff Comments / Technical Items:

None.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

Definitions:

Political Signs. Signs erected by political candidates or groups, for the purpose of advertising a candidate or regarding an issue on which there will be a public vote.

Exempt Signs:

14. Political Signs.

a. There shall be a maximum of two (2) signs per property for a candidate on any individual parcel designated as a polling place. Signs shall not be displayed until two (2) months prior to the corresponding election day, and removed within one (1) month after the corresponding election day. Signs shall be a maximum of thirty-six (36) square feet each, and ten (10) feet in height.

b. Notwithstanding the foregoing provision (14. a.), no Political Signs may be placed on City of La Vergne property.



Item #: 5. Concept Plan - Emrose, Nine Lots on Two Acres. Property located at 111 Irvin Road (Tax Map 18P, Group A, Parcel 6). R-3 (High Density Residential) Zoning District. Property owned by Kepley Properties, LLC. Requested by SEC, Inc.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

On behalf of their client, SEC, Inc. is requesting approval of the final plat for Emrose located on 2 ± acres. The purpose of the plan is to create new single-family residential development. The property is currently zoned R-3.

The property is located off Irvin Road. The proposed layout shows 9 new lots with common areas. Also shown on the plan is the layout of a new street.

All streets should show sidewalks a minimum of 5 feet wide.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@laveragnetn.gov; and Jake Blair - jblair@laveragnetn.gov)

1) Sidewalks 5 feet wide will be required along all streets, even if older, existing streets.

Engineering (Gary Lide - glide@laveragnetn.gov)

(Technical items go here)

Utilities (Scott Tatalovich - statalovich@laveragnetn.gov)

1. For Your Information Only: A FH Flow Test request has been made to determine fire flow availability. Results will be provided to developer's engineer (SEC) upon completion.

Codes (Joe White - jwhite@laveragnetn.gov)

No comments.

Fire (Curtis Brinkley - cbrinkley@laveragnetn.gov)

No comments.

Police

No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

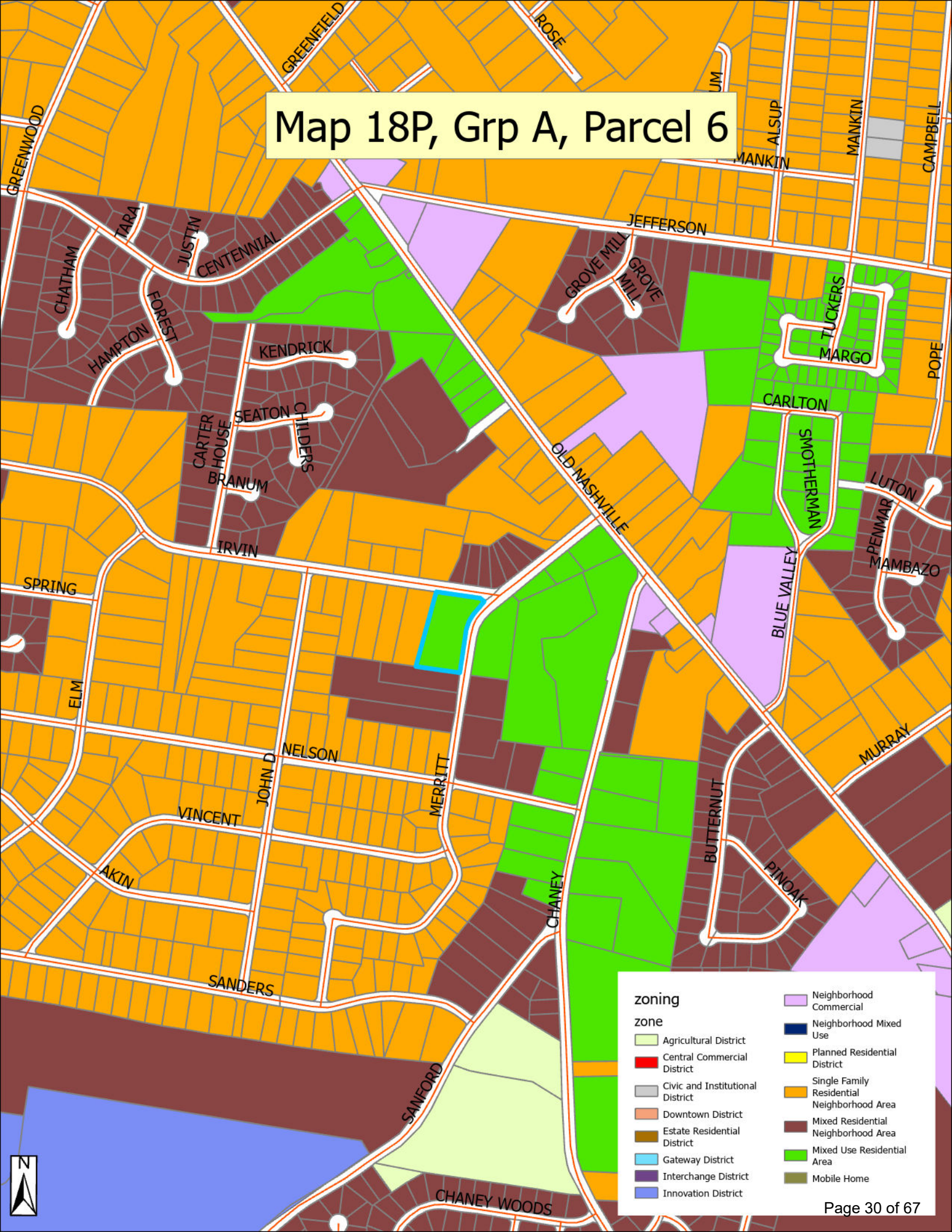
Map 18P, Group A, Parcel 6.00



Map 18P, Group A, Parcel 6.00



Map 18P, Grp A, Parcel 6



zoning

zone

- Agricultural District
- Central Commercial District
- Civic and Institutional District
- Downtown District
- Estate Residential District
- Gateway District
- Interchange District
- Innovation District
- Neighborhood Commercial
- Neighborhood Mixed Use
- Planned Residential District
- Single Family Residential Neighborhood Area
- Mixed Residential Neighborhood Area
- Mixed Use Residential Area
- Mobile Home







111 Irvin Road

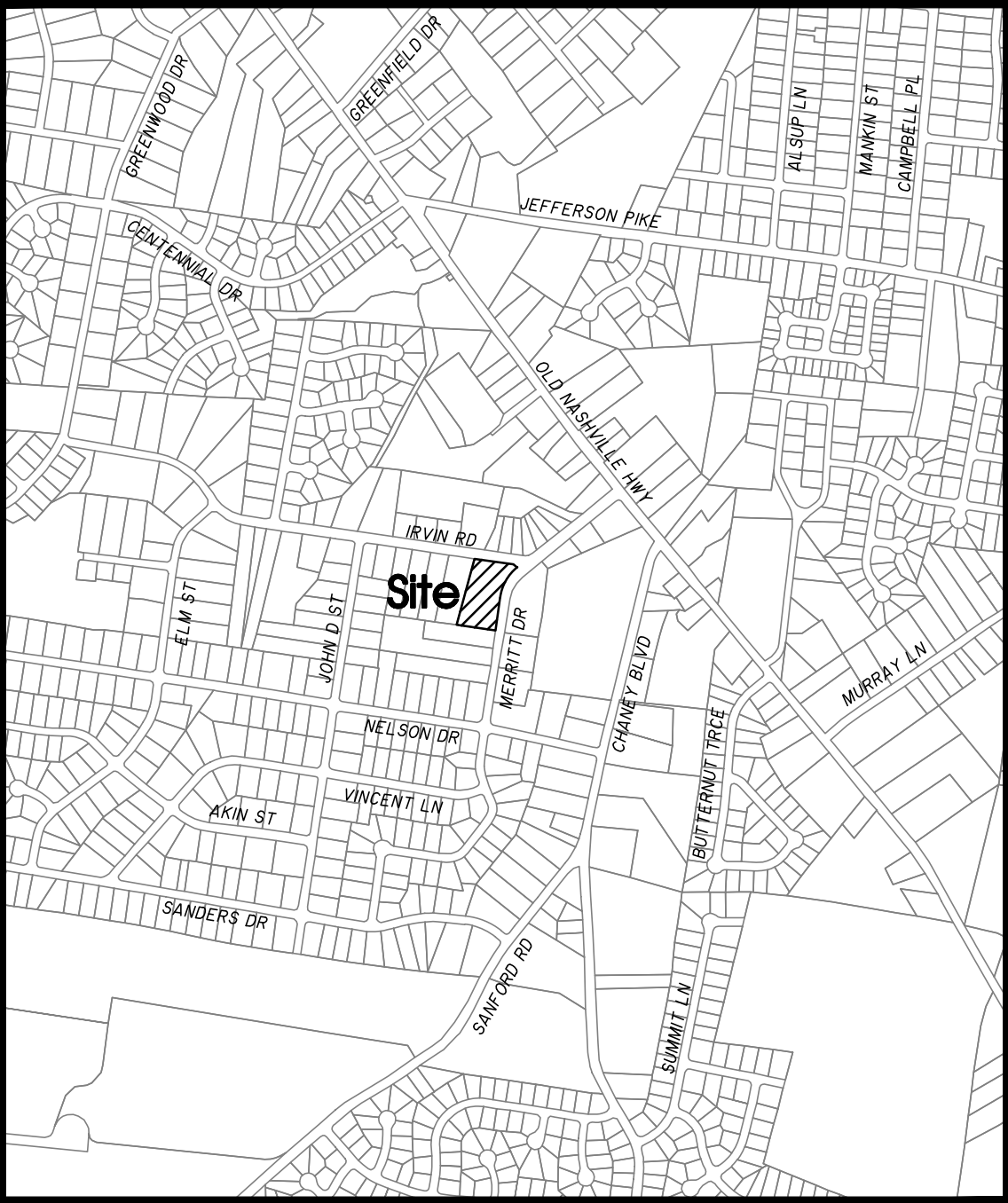
"Emrose Village"

La Vergne, Tennessee

Concept Plan & Construction Drawings

Drawing Index

Sheet No.	Title
C0.0	Cover Sheet
C0.1-0.2	General Notes
C1.0	Existing Conditions & Initial EPSC Plan
C2.0	Concept Plan
C2.1	Waterline Plan
C2.2	Sewer Plan
C3.0	Grading, Drainage & Final EPSC Plan
C4.0	SWPPP Details
C5.0-5.1	Details



Site Location Map
Not To Scale

Owner/Developer:
Kepley Properties LLC.
[Redacted]
Mt. Juliet, TN 37122

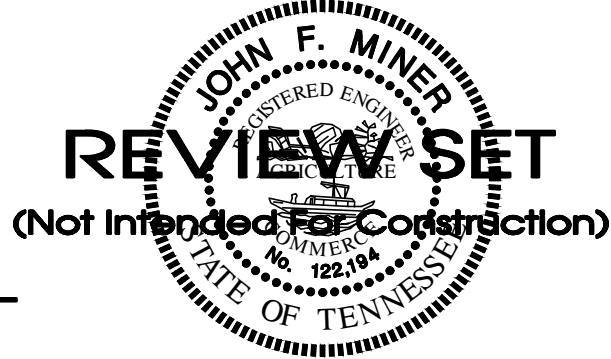
Deed Reference:
Tax Map 18P Group A, Parcel 6.00
R.BK. 2581, Page 3255

Yard Requirements:
Front: 15'
Side: 5'
Rear: 15'

Land Use Data:
Zoning: R3
9 Lots on 2.00± Acres
Min. Lot Size = 3,000 Sq.Ft.

Floodplain Note:
This site lies within Zone X, areas determined to be outside the 0.2% annual chance flood plain. FEMA FIRM map # 47149C0015J, Dated May 9, 2023.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.
COPYRIGHT SEC, INC. 2026



By: _____ Date: _____
John F. Miner, P.E. TN. Reg. #122194

Watershed: Finch Branch (Not Supporting)
EPsC: 5-yr, 24-hr Storm Event
Disturbed Area: 2.53 ± Ac.

Sheet C0.0
111 Irvin Road
S.E.C. Project #25364
Submitted: 3-2-2026
Revised:

- General Plan Notes:**
- Prior to starting construction, the Contractor shall be responsible for making sure that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
 - All work shall be performed in accordance with these plans, specifications, and the requirements and standards of the local governing authority. The soils report and recommendations set forth therein are a part of the required construction documents and take precedence, unless specifically noted otherwise on the plans. The Contractor shall notify the Construction/Project Manager and the Engineer of any discrepancy between the soils report, these plans, the specifications, etc. in writing.
 - Upon receipt of point coordinate data, the Contractor shall run an independent vertical control traverse to check benchmarks and a horizontal control traverse through given points to confirm geometric data and submit to the Engineer prior to any construction.
 - The locations of underground facilities shown on the plan are based on field surveys and City/County records. It shall be the Contractor's full responsibility to contact the various utility companies to locate their facilities prior to the starting construction. No additional compensation shall be paid to the contractor for work having to be redone due to information shown incorrectly on these plans if such notification has not been given.
 - All work within the right-of-way (ROW) shall be in accordance with the Authorities Having Jurisdiction (AHJ) and the specifications.
 - The Contractor shall coordinate any maintenance of traffic with the Owner's representative and the local jurisdiction prior to construction.
 - The Contractor shall at all times ensure that SWPPP measures protecting existing drainage facilities be in place prior to the commencement of any phase of the site construction or land alteration.
 - Upon completion of the project, the Contractor shall clean the paved areas prior to removal of temporary sediment controls, as directed by the City/County, the Engineer, and/or the Construction/Project Manager. If power washing is used, no sediment laden water shall be washed into the storm system. All sediment laden material on pavement or within the storm system shall be collected and legally removed from the site at the Contractor's expense.
 - Rock may be present requiring rock excavation for utility installation. No extra compensation shall be given for rock excavation.
 - These project construction documents shall not constitute a contractual relationship between the Engineer and the Contractor.
 - The Engineer shall not be responsible for construction of safety means, methods, techniques, sequences, or procedures utilized by the Contractor or his/her subcontractors.
 - The Contractor shall coordinate with the City/County Traffic Engineering Department prior to commencement of any work in the public right-of-way in this area to avoid damage to traffic signal devices.
 - A separate ROW Excavation Permit issued from the City/County Street Department shall be required for any excavation or construction in the public R.O.W.
 - Solid waste shall be provided by private collection services.
 - The soils survey information shown hereon is taken from the National Resources Conservation Service (NRCS) web soil survey.
 - A compaction letter will be required for lots in excess of two (2) feet of fill to be submitted to City/County Engineering Department prior to recording of the final plat.
 - As-Built surveys and certifications will be required for detention ponds, public storm infrastructure, and cut/fill on lots prior to release of building permits.
 - Any Mail Kiosk installed is required to be inspected for completion before building permits are issued in subsequent section(s)/phase(s).
 - Geotechnical reports are required for lots with sinkholes prior to the signing of the final plat.

- Storm Water Pollution Prevention Plan (SWPPP) Notes:**
- Before starting construction operations, refer to the Construction SWPPP.
- The Contractor is responsible for establishing and maintaining surface erosion protection and sediment control devices onsite during construction as required to prevent silt from leaving the site. Silt will not be allowed beyond construction limits.
 - Erosion protection and sediment control shall be provided for all cut and fill operations within the limits of the construction site, and throughout the construction period, to provide the site with maximum protection from erosion at all times.
 - Erosion protection and sediment control measures are to be installed prior to any demolition and/or grading onsite, and are to be maintained in place until stabilization of erodible soils has been accomplished.
 - The Contractor shall provide erosion protection and sediment control to minimize erosion in all areas being disturbed in accordance with the City/County regulations.
 - The Contractor is responsible for removing silt from the site if not reusable onsite and assuring plan alignment and grade in all ditches at completion of construction.

- The Storm Water Pollution Prevention Plan (SWPPP) is an integral part of the Erosion Prevention/Protection and Sediment Control (EPPSC) Plan, and should be followed during all phases of construction (bidding, site work, final stabilization, etc.).
- All graded or disturbed areas shall have a minimum of four (4") inches of topsoil, seed, mulch, fertilizer, and water applied until a healthy stand of grass is obtained unless otherwise noted on plans. The restoration shall closely follow construction.
- The construction drawings shall be made available onsite at all times and must be presented upon request. If unforeseen Storm Water Pollution Prevention is encountered, additional Storm Water Pollution Prevention (SWPP) measures may be requested by the Owner, City/County engineer, Engineer, or soil conservation service representative at anytime. Such requests shall be implemented immediately at the Contractor's expense.
- All Storm Water Pollution Prevention items shall be installed as shown or noted on this sheet.
- Apply temporary seeding and mulching in all areas that shall be inactive for 15 days or more. All disturbed and eroded earth shall be regraded and seeded within seven (7) days with seeding, as defined above and as shown on the table below to establish stability and provide sediment control.

Seeding Dates	Seed Type	Application Rate Per 1,000 Sq.Ft.
March 1 – August 15	Oats Perennial Rye Grass or Tall Fescue	3#
August 16 – November 1	Rye, Wheat or Perennial Rye Grass Tall Fescue	1#
After November 1	Straw or Hay Mulch	2-3 Bales
Seed Bed Preparation	Lime 10-10-10 or 12-12-12 Fertilizer	100# 12-15#

- Permanent vegetation shall be installed within seven (7) days at the completion of any graded area, weather permitting.
- At such time rough grading or the site grading is complete and drainage diversions to inlets, inlet sediment filters shall be installed at all inlet structures to keep piping systems free of obstruction.
- Silt barriers shall be installed around all existing or new storm inlets, catch basins, yard drains, etc. Install rock check dams for ditching and/or headwall inlets for storm water pollution prevention.
- Storm water pollution prevention measures shall be installed around all dirt or topsoil stockpiles and other temporarily disturbed areas.
- The Contractor shall inspect all SWPPP measures daily and repair as necessary to prevent erosion. Siltation shall be removed from areas where failures have occurred and corrective action taken within 24 hours to maintain all SWPPP items.
- Silt barriers, construction exits, and silt fences shall remain in place until a good stand of grass has been obtained and/or paving operations are complete. The Contractor shall keep silt from entering any storm drainage system. Once site has been completely stabilized, and silt in pipes and drainage swales shall be removed within ten (10) calendar days.
- Temporary sedimentation and storm water pollution prevention measures must be inspected and logged by the Contractor for inspection, lifting shall be at least weekly and after rain storms. Written reports shall be submitted to the Owner and the Engineer.
- Utility companies must comply with all storm water pollution prevention measures as defined on the storm water pollution prevention plans, details, permit, and notes.
- The total area of disturbance for this project is 2.53 Acres. All areas with over one (1) acre disturbed shall be permitted, and the permit shall be renewed until the project is completed and accepted.
- All storm water pollution prevention practices shall be installed before any other demolition and/or earth moving occurs.
- The Contractors shall use temporary sediment filter bags as necessary to control sediment runoff.
- The following storm water pollution prevention and erosion protection and sediment control measures will be used on this site:
 - Silt fence.
 - Filter fabric inlet protection.
 - Construction exit.
 - Check dams.
 - Temporary seeding.
 - Erosion control planknet.
 - Permanent seeding or sodding.
- Sediment shall be removed from the erosion protection and sediment control measures as necessary, but at least when the design capacity of the erosion protection and sediment control measures has been reduced by 50 percent.

- Site Clearing and Demolition Notes:**
- Before starting demolition operations, refer to at least the Existing Conditions, Demo, and Initial EPSC Plan(s).
 - Demolition includes the following within the property/boundary lines:
 - Transfer benchmark control(s) to new location(s) outside the disturbed area prior to commencing demolition operations (when applicable).
 - Install initial erosion protection and sediment control (EPSC) measures.
 - Provide temporary barricades and other forms of protection as required to protect Owner's personnel property and general public from injury due to the demolition work.
 - Demolition and removal of site improvements.
 - Disconnecting, capping or sealing, and abandoning/removing site utilities in place (whichever is applicable).
 - Promptly remove waste materials, unsuitable and/or excess topsoil, and other clearing debris from Owner's property and legally dispose of off-site.
 - Remove and legally dispose of items except those indicated to be reinstalled, salvaged, or to remain.
 - Existing foundations and utilities may be encountered across the site. If encountered, these items may require removal as indicated on the drawings. Resulting excavations should be backfilled with properly compacted select fill.
 - Removal includes digging out stumps and roots. Remove all stumps, roots over four (4") inches in diameter and matted roots within the limits of grubbing to the minimum depths below the bottom of the proposed feature(s) as follows:
 - Footings: 18 inches
 - Walks: 12 inches
 - Roads: 18 inches
 - Parking Areas: 12 inches
 - Lawn Areas: 18 inches
 - Fills: 12 inches
 - As noted, remove, salvage, reinstall, and relocate items indicated; clean, service, and otherwise prepare them for reuse; store and protect against damage salvaged and reinstalled items in locations out of harm's way.
 - Provide protection necessary to prevent damage to existing improvements indicated to remain in place. Protect benchmarks, existing structures, roads, sidewalks, paving, and curbs against damage from vehicular or foot traffic.
 - Protect improvements on adjoining properties and on the Owner's property.
 - Restore damaged improvements to their original condition, as acceptable to parties having jurisdiction, and at the Contractor's expense.
 - The Contractor shall schedule demolition activities with the Construction Project Manager.
 - Comply with applicable requirements of Federal, State, and local laws, regulations, and codes of the Authorities Having Jurisdiction (AHJ) for the legal disposal of trees, shrubs, and other cleared material.
 - Conduct site clearing operations to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities. Do NOT close or obstruct streets, walks, or other occupied or used facilities without permission from Authorities Having Jurisdiction (AHJ).
 - Obtain approved borrow soil materials off-site when sufficient satisfactory soil materials are not available onsite.
 - Maintain existing utilities indicated to remain in service and protect them against damage throughout construction operations.
 - Do NOT interrupt existing utilities serving occupied or operating facilities, except when authorized in writing by the Engineer and the Authorities Having Jurisdiction (AHJ). Provide temporary services during interruptions to existing utilities, as acceptable to the Owner and to the Authorities Having Jurisdiction (AHJ).
 - The Contractor shall coordinate with appropriate utility owner(s) when disconnecting, removing, or relocating existing utility services.
 - Conduct demolition operations to prevent injury to people and damage to adjacent buildings and facilities to remain. Ensure safe passage of people around demolition area.
 - Erect temporary protection, barricades, etc. as per local governing authorities.
 - Protect existing site improvements and appurtenances to remain.
 - Protect existing trees and other vegetation indicated to remain in place, against unnecessary cutting, breaking, or skimming of roots, skimming or bruising of bark, smothering of trees by stockpiling construction materials, or excavated materials within the drip line, excess foot or vehicular traffic or parking of vehicles within the drip line. Provide temporary guards to protect trees and vegetation to remain in place.
 - Protect tree root systems from damage due to deleterious materials caused by run-off or spillage during the mixing, use, or discarding of construction materials, or drainage from stored materials. Protect root systems from compaction, flooding, erosion, or excessive wetting.
 - Engage a qualified tree surgeon to remove branches and/or roots from trees, if required, to clear for new construction. Where cutting is required, this tree surgeon shall cut branches and roots with sharp pruning instruments; do NOT break or chop.
 - Explosives—Use of explosives will not be permitted.
 - Remove and legally transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
 - Clean adjacent buildings and improvement of dust, dirt, and debris caused by demolition and/or grading operations. Retain adjacent areas to at least the existing condition before the end of construction.
 - Damages: Promptly repair damages to adjacent facilities caused by demolition operations at the Contractor's expense.
 - Remove existing above-grade and below-grade improvements necessary to permit proposed construction and other work as indicated.
 - General: Promptly legally dispose of all demolished materials. Do NOT allow demolished materials to accumulate onsite.
 - Do NOT burn or bury materials onsite without the written approval of the Owner, the Engineer, and the Authorities Having Jurisdiction (AHJ).
 - The Contractor will fill depth sawcut existing pavement to remain prior to curb, gutter, pavement, etc. removal.
 - In Tennessee it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known utility owners, no less than three (3) nor more than ten (10) working days, prior to the intended excavation. A list of these utility owners may be obtained from the County Register of Deeds. These utility owners who participate in the Tennessee One Call System can be notified toll free at 1-800-351-1111, or 811.
 - Utilities shown are based on visual observations and utility markings. The Contractor shall call Tennessee One Call and confirm locations prior to starting work.

- City of La Vergne Standard Plat Notes:**
- Datum Notation:
This survey based on the North American Vertical Datum 88 (NAVD88) and North American Datum 83 (NAD83).
 - No portion of this site lies within a 100 year flood hazard area, as defined by F.E.M.A. Community Panel No. 47149C0106J dated May 9, 2023.
 - Call 811 before you dig.
 - Contact the City of La Vergne Public Utilities Department at 615-793-9891 prior to installing, modifying, tapping, or otherwise interfering with any existing or future public water or sewer service.
 - All public improvements (roadway, water, and sewer) shall be designed and constructed to the applicable City of La Vergne standards and specifications.
 - List provided utilities onsite with contact number, e.g. Onsite Utilities:
Natural Gas—Smyrna Gas 615-355-5740
Electric—Nashville Electric Service 615-736-6900
Water—City of La Vergne 615-793-9891
Sewer—City of La Vergne 615-793-9891
 - All commercial/industrial buildings over 5,000 square feet shall have integral fire suppression systems.
 - All facilities will be designed and constructed in accordance with the applicable Americans with Disabilities Act (ADA) standards and specifications.
 - Contact the City of La Vergne Fire Marshal at 615-287-5832 for fire code information and compliance.
 - All road construction will be in complete conformance to the City of La Vergne Public Works Specifications Manual (latest edition). These specifications give required standards and materials. The City of La Vergne reserves the right to require test results, mix designs, and other work associated with the specifications as a condition of City acceptance of the road.

- Electrical Notes:**
- Construction And Materials Provided By The Electric Company:
 - Connect to Main.
 - Furnish and install mainline extension, including transformer(s), pedestals, poles, guy wires, trenching and backfilling, etc.
 - Furnish and install meter.
 - Coordinate all work with Nashville Electric Service.
 - Construction and Materials Provided By The Contractor:
 - Furnish and install service lateral, including all trenching and backfilling.
 - The Contractor shall include all permits, fees, etc. required by the electric company to provide a complete working service.

- CITY OF LA VERGNE GENERAL NOTES (REVISED 10 JUNE 2025):**
- All work hereon shall conform to the city of La Vergne standard specifications and details. These are available on the city of La Vergne website.
 - A pre-construction conference and land disturbance permit is required prior to commencing work.
 - The contractor shall notify the city inspector at least 48 hours prior to any required or requested inspections.
 - Required city inspections for roads are as follows:
 - Proof roll of subgrade prior to placing aggregate
 - Proof roll of aggregate prior to placing binder course
 - Visual inspection of binder course (city inspectors will work with contractor's quality control representative to mark unacceptable areas that must be removed and reworked)
 - Final acceptance
 - City inspectors are not quality control; the contractor's quality control representative must be onsite during all required inspections; contractor's quality control must sign-off or approve each inspection; city inspectors will confirm that this is done but will not provide approvals.
 - Depth and location of existing underground facilities shall be determined by the contractor prior to excavation or trenching. Contact the Tennessee utility location service at 811 or 800-351-1111, 3-10 days before you dig, no exceptions.
 - All construction and operations by the contractor shall be in accordance with osha standards and recommended practices.
 - In residential areas, no construction work can be conducted outside of the following hours without a special permit:
 - Monday-friday, 7:00 am to 6:00 pm
 - Saturday-sunday, 8:00 am to 6:00 pm
 - The contractors shall maintain a set of redline drawings at the project site which shall be available for review by city inspectors. These redline drawings must be updated weekly.
 - As-built plans (record drawings) shall be provided to the city within 30-days of substantial completion of the project. Record drawings shall be provided by the engineer-of-record in three formats:
 - Paper (one set)
 - Pdf (thumb drive or e-mail)
 - Gis-compatible (one file)
 - Traffic control, signage, and construction related barriers are the responsibility of the contractor, and no trenches shall be left open overnight without proper safety measures such as barricades, piling, or other as agreed by the city.
 - Surface improvements damaged or removed as a result of the contractor's operations shall be reconstructed by the contractor to city of La Vergne requirements.
 - All revisions to these drawings must be approved by the city engineer.
 - It is the contractor's responsibility to protect any monuments in place; if any monument is disturbed or destroyed, the contractor will be required to contract with a registered land surveyor for the re-establishment and mapping of the destroyed monument.
 - All underground facilities with laterals shall be in place prior to final paving, including but not limited to drainage, sewer, water, telephone, electricity, gas, and cable.
 - All construction water taken from a city fire hydrant shall be from a city approved fire hydrant meter assembly, and contractor is responsible for protection of the public domestic water system at all times by maintaining proper cross connection control per the governing authority.
 - The contractor shall confine all of his activities to the areas as shown on these plans unless written consent is provided in advance by the affected property owner.
 - Where water and sewer lines cross other utilities a minimum of 12" clearance shall be maintained.
 - Pipe joints shall not be deflected at any angle greater than maximum angle recommended by the pipe manufacturer.
 - Vertical pipe bends shall be fully restrained by mechanical methods (joint restraint, tie-rods, etc), no credit shall be given for concrete thrust blocks, anchor block design will be considered on a case-by-case basis.
 - Mainline valves shall only be installed on slopes not to exceed 6 percent.
 - All buried bolts and nuts shall be type 316 stainless steel.
 - Combination air release and vacuum valves shall be installed at all local high points of pressurized utility lines.
 - Separation of water and sewer lines must comply with state of Tennessee requirements.
 - City sewer cleanouts shall be cut and capped below grade and covered with a box and lid per the city of La Vergne standard specifications.
 - Surplus and all material removed which is not suitable for use in this project shall be disposed of away from the job site in a manner or at a location acceptable to the city of la vergne and the state of Tennessee. no waste material shall be placed in a sinkhole within the city limits of La Vergne.
 - In the event that trench dewatering is required, a dewatering plan will be submitted to the city of La Vergne city engineer for approval prior to beginning dewatering operations.
 - No more than 500 feet of utility and drainage pipe trench will be allowed at to be open at one time.
 - All sewers are sufficiently deep to serve adjacent lots, buildings, and basements or other sources except where otherwise noted on the plans.
 - The city of La Vergne reserves the right to require test results, mix designs, and mix tickets which demonstrate compliance with the specifications as a condition of city acceptance of the road.
 - If public sidewalks are to be closed by construction for more than twenty-four hours, then a pedestrian traffic re-routing plan which provides an accessible route of travel for pedestrians must be approved and implemented prior to construction.

- Utility Providers:**
- SEWER: CITY OF LA VERGNE
- WATER: CITY OF LA VERGNE
- ELECTRIC: NASHVILLE ELECTRIC SERVICES

- Site Plan Notes:**
- The Contractor shall immediately notify the Engineer in writing of any discrepancies found between these plans, the architectural plans, and/or the field conditions prior to construction.
 - Apparent errors, discrepancies, or omissions on the drawings shall be brought to the attention of the Owner prior to any bid submittal. The Contractor may not use apparent errors, discrepancies, or omissions present on the drawings presented for bidding for additional charges after bids have been submitted. The Architect shall be permitted to make corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the contract documents.
 - The Contractor shall stake all improvements using the geometric data provided in the drawings. It is the sole responsibility of the Contractor to completely stake and check all improvements to ensure adequate positioning, both horizontal and vertical, prior to the installation of any improvements. A digital file shall be provided.
 - The notes and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The Contractor shall furnish and install the work complete and ready for operation.
 - After the completion of construction, the Contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other deleterious materials associated with construction. The Contractor is expressly responsible for ensuring the site is clean and in operable condition at the time of final acceptance.
 - The Contractor is responsible for the protection and replacement of all property pins on this site.
 - These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the Professional Engineer's seal. The Owner shall hold harmless and indemnify the Engineer and the Architect from and against any and all claims of any nature whatsoever arising from such use.
 - Coordinates referenced are for construction staking purposes only and are site assigned. They should be considered local coordinates for this project only.
 - All parking space striping and markings on site shall be four (4") inches wide white painted stripes. Other markings shall be as shown.
 - All dimensions and radii are given to the face of curbing, unless otherwise noted.
 - Asphalt paving: Do not apply prime and tack coats when temperature is below 50° F, or when the base is wet. Wet applying asphalt paving only when temperature is above 40° F and rising, and when the base is dry.
 - Materials:
 - Subgrade: Cohesive subgrade shall be compacted to a minimum of 96 percent compaction. Cohesion less subgrade shall be compacted to a minimum of 100 percent compaction.
 - Subbase: Unless otherwise noted on these plans, the subbase shall consist of water bonded limestone, crushed rock, or DGA (dense graded aggregate).
 - Asphalt: Bituminous concrete hot plant mix binder course and asphalt topping plant mix shall be applied over the base, with temperature time of placement shall be a minimum of 225° F.
 - Cost-in-place concrete: All concrete work shall conform to all requirements of the American Concrete Institute ACI 301 (latest edition) and applicable sections of ASTM C-94 (latest edition) for ready mixed concrete.
 - All concrete shall be in-transit mixed concrete, five (5%) percent air-entrained, and shall attain a minimum compression strength of 4,000 p.s.i. in twenty-eight (28) days.
 - Slump: Maximum allowable slump will be five (5") inches.
 - Concrete Materials:
 - Portland cement: Gray Portland cement, ASTM C-150 (latest edition) Type 1. All concrete shall contain not less than five (5) bags of cement per cubic yard.
 - Aggregates: ASTM C-33 (latest edition).
 - Sand: Hard, durable, clean, sharp, natural sand free from clay, loam, dust, or organic matter.
 - Water: Clean, potable, free from oil, acids, alkali, organic matter, and other deleterious substances.
 - Admixture: Air type to meet ASTM C-260 (latest edition).
 - Related Materials:
 - Curing Compound: "Horncrete 300" as manufactured by A.C. Horn Company, (800) 654-0402. This product is not to be used on the interior floor slab.
 - Reinforcing materials shall be uncoated and free from excessive rust, mill scale, oil, grease, and other deleterious matter, install to 6 Bars @ 16 inches O.C. both ways. Joints to be spaced at 15 foot centers for transverse and longitudinal joints, unless otherwise noted.
 - All above grade exterior concrete surfaces shall be cured with curing compound sprayed on in strict compliance with manufacturer's directions.
 - Weather Requirements:
 - Hot Weather Placing: No concrete shall be placed when the air temperature is greater than 90° F unless the following special procedures have been included in the contract and reviewed by the Engineer: temperature of the concrete when placed shall not be greater than 90° F. Procedures for cooling, retarding, and protecting in-place concrete during hot weather shall be in accordance with ACI 305 (latest edition). Provide special procedures required to control concrete temperature and to protect surfaces from drying out; mixing water may be chilled or chopped ice may be used to control temperature provided water equivalent of ice is calculated to total amount of mixing water, use of liquid nitrogen to cool concrete is the Contractor's option.
 - Cold Weather Placing: Do not mix or place concrete when the atmospheric temperature will fall below 40° F, or when conditions indicate the temperature will fall below 40° F within 72 hours. Concrete deposited shall have temperature not less than 60° F. Reinforcement, forms and ground which concrete will contact shall be completely free of frost. Keep concrete and form work at a temperature not less than 50° F for not less than 72 hours after pouring. Comply with requirements of ACI 305 (latest edition) for cold weather protection.
 - The Contractor shall not delay hot/cold weather placing. Hot/cold weather placing should not be considered an extra for the contract.
 - Concrete tests shall be authorized by the Owner, and on as needed basis.
 - All exterior curb shall have expansion joints at no more than 100'-0" O.C., and construction joints at no more than 10'-0" O.C. (unless otherwise specified on the Detail sheets).
 - All concrete shall have a medium transverse [broom] finish.
 - Subgrade shall be free of extraneous materials. Proof-roll soil subgrade with heavy, pneumatic tired equipment immediately prior to placing stone base. Any soft or unstable zones detected thereby shall be undercut to firm soil and backfilled with engineered earth fill compacted as specified. The subgrade for all pavements shall be uniformly stable before any stone base is installed. No base materials shall be placed if the subgrade indicates pumping.
 - Surface preparation, spreading and laying, and compacting and rolling operations shall conform with Asphalt Institute recommended specifications.
 - Inspect the area to be paved and ensure that all subgrade conditions are sufficiently carried out to ensure a good paving job. A finished surface shall not vary more than one-eighth (1/8") inch in ten (10') feet when tested with a straight edge applied parallel with, or at right angle, to the centerline of asphalt surface. Humps or depressions which exceed specified tolerances or which retain water shall be immediately corrected by removing the defective work and replacing it with new material at the Contractor's expense.
 - All sidewalk shall be five (5') feet wide with a two (2') foot grass strip behind the back of curbing, unless otherwise noted.
 - In residential developments, the sidewalk on each lot shall be constructed by the respective home builder; and the sidewalk along common areas shall be shall be constructed by the infrastructure contractor.

- Notes:**
- All road construction will be in complete conformance to the City of La Vergne Public Works Specifications Manual (latest edition). These Specifications give required standards and materials. The City of La Vergne reserves the right to require test results, mix designs, and tickets which demonstrate compliance with the specifications as a condition of City acceptance of the road.

UTILITY PROVIDERS:

SEWER: CITY OF LA VERGNE

WATER: CITY OF LA VERGNE

ELECTRIC: NASHVILLE ELECTRIC SERVICES

TN One Call 1-800-351-1111

Survey Datum Statement:

North American Vertical Datum of 1988 (NAVD88)
North American Horizontal Datum of 1983 (NAD83)

Legend:			
	EXISTING CONCRETE MONUMENT		BENCHMARK
	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
	IRON PIN FOUND (I.P.F.)		VAN ACCESSIBLE HANDICAP DESIGNATION
	EXISTING SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXISTING MANHOLE (SEWER AND PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXISTING WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXISTING GAS RISER		CURB AND GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXISTING WATER METER		TURN LANE ARROWS
	EXISTING UTILITY POLE		REVISION NUMBER
	EXISTING FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW-OFF VALVE		RIPRAP
	REDUCER		RUNOFF FLOW ARROW
	FIRE DEPARTMENT CONNECTION (FDC)		INLET FILTER PROTECTION
	REMOTE FIRE DEPT. CONNECTION		PROPOSED SPOT ELEVATION
	CONCRETE THRUST BLOCK		EXIST. SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE AND BOX		CURB INLET
	WATER METER		AREA DRAIN
	CHECK VALVE		HEADWALL
	MULTIPLE WATER METERS		WINGED HEADWALL
	GAS METER		CONCRETE SWALE
	GREASE TRAP		TYPE-X HEADWALL
	EXTERIOR CLEANOUT EOO		CONCRETE SWALE
	MANHOLE		ELECTRICAL MANHOLE
	PROPOSED LOT NUMBER		PRIMARY PULLBOX
	TRANSFORMER w/ TELECOM HANDHOLE		SINGLE PHASE TRANSFORMER
	ELECTRIC PULLBOX w/ TELECOM HANDHOLE		4x4" HANDHOLE (COMM., SIGNALS, ETC.)
	EXISTING STREET LIGHT		PROPOSED STREET LIGHT
	3 PHASE SECTOR CABINET		COMMERCIAL VAULT
	EXISTING PHONE		PH
	EXISTING ELECTRIC		OH
	PROPERTY LINE		EASEMENTS
	RIGHT OF WAY		ROW
	EROSION CONTROL SILT FENCE		SF
	EROSION EEL		E-E-E
	EXISTING TREELINE		MBSL
	EXISTING FENCELINE		PHASE BOUNDARY
	EXISTING GAS LINE		PROPOSED GAS LINE
	EXISTING STORM		PROPOSED STORM
	EXISTING CONTOUR LINES		PREVIOUS SECTION CONTOUR LINES
	PROPOSED CONTOUR LINES		EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER		EXISTING WATER
	EXISTING WATER		PROPOSED WATER
	LIMITS OF DISTURBANCE		FLOODWAY
	FLOODWAY		100-YR FLOOD ELEVATION
	100-YR FLOOD ELEVATION		BASE FLOOD ELEVATION
	ELECTRICAL CONDUIT - SEE UTILITY PLAN NOTES		EROSION BLANKET

SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

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REVIEW SET
(Not intended for construction)

111 Irvin Road
Emrose Village
La Vergne, Tennessee

General Notes

DRAWN: SJA/CFB3
DATE: 3-2-2026
CHECKED: MAT
FILE NAME: 25364project
SCALE: None
JOB NO. 25364
SHEET: C0.1

Sanitary Sewer Notes:

- The contractor must notify City of LaVergne for sewer inspection prior to starting work.
- The owner/developer for budget purposes, should check with the City of LaVergne for connection fees which may be substantial.
- Contractors for sewer work must be approved by the City of LaVergne Water and Sewer Department.
- Coordinates or dimensions shown are to centerline of pipe or fitting or to centerline of manhole.
- The top elevation of all manholes in paved areas shall match finish grade. The top elevation of all manholes in grassed areas shall be 6" above finished grade.
- The minimum horizontal separation between the closest two points of the water and sewer line is ten (10) feet. The minimum vertical separation between the closest two points of the water and sewer line shall be 18 inches.
- Contractor shall comply with all requirements of the latest edition of the "Standard Technical Specifications and Detail Drawings for the Installation of Sanitary Sewer Mains and Appurtenances" of the City of LaVergne.
- Sanitary sewer wyes and 45° bends are to be the same material and class/wall thickness as the mainline pipe.
- Sewer construction must be in accordance with all City of LaVergne Public Works specifications and drawings.
- Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
- The existing sewer main and/or manholes utilized or altered by this project must be tested before and after construction. Should the sewer not be tested prior to construction and defects found after construction will be the responsibility of the contractor to repair at his or her expense.
- A maximum of 2-6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2-6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
- All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via in-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Company's (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.
- No more than 500 linear feet of open utility or stormwater pipe trench will be allowed at one time.

Waterline Notes:

- Restraints such as kickers and rods shall be installed at changes in direction where fittings are required and dead ends at the discretion of the City of LaVergne Utilities Department.
- Thrust blocks shall be provided at all horizontal bends, tees, and fire hydrants.
- The minimum cover on water mains shall be 30".
- All water mains shall be hydrostatically tested and disinfected before acceptance.
- All trenches, pipe laying, and backfilling shall be in accordance with federal O.S.H.A. regulations.
- Utility contractor shall have approval of all governing agencies having jurisdiction over this system prior to installation.
- Contractor shall comply with the most current requirements of the "Waterline Specifications" of the City of LaVergne.
- Contractor shall coordinate installation of waterline with the installation of the storm drainage system. Field adjustment of the waterline may be necessary to avoid conflicts.
- No more than 500 linear feet of open utility or stormwater pipe trench will be allowed at one time.

General Utility Notes:

- The Contractor shall contact all utility companies immediately after the bid is awarded and ensure the utility companies have the essentials required for complete service installation. The Contractor shall notify the Construction Manager and the Engineer of any time frames established by utility companies which will not meet the milestone and/or the opening date.
- Existing utility lines shown are approximate locations only. The Contractor shall verify the size, location, invert elevation, and condition of existing utilities which are intended to be utilized as a connection point for all proposed utilities (see Utility Plan(s)), prior to any construction. The Contractor will ensure existing utilities are in good condition and free flowing (if applicable). Any deviations from the design locations of at least elevations, size, or location differ from what is shown on sheet, the Contractor shall notify the Engineer immediately, and in writing.
- The Contractor shall provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the Contractor shall be required to furnish such equipment, shoring, etc. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
- The Contractor shall notify each individual utility owner of his/her plan of operation in the area of the utilities. Prior to commencing work, the Contractor shall contact the utility owner(s) and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of any operations around the utility.
- The Contractor shall coordinate installation of utilities in such a manner as to avoid conflicts and assure proper depths are achieved as well as coordinating with the regulatory agency as to location and scheduling of tie-ins/connections to their facilities.
- All underground utilities (water, sanitary sewer, storm sewer, electrical conduit, gas, irrigation sleeves, and any other miscellaneous utility), shall be in-place prior to the placement of base course material.
- The utility contractor shall be responsible for all top and tie on fees required, as well as the cost of underground service connections.
- No more than 25 percent of the dollar amount of the contract may be awarded to subcontractors.
- The Contractor shall provide a suitable office near the site for his/her use, and at which copies of the specifications and drawings shall be kept. The Contractor shall also designate to the Owner a person to be notified in case of emergencies other than during working hours and on holidays and weekends.
- The site shall be graded to the subgrade before water lines and sanitary sewers are installed.
- The Contractor shall comply with all requirements of the latest edition of Consolidated Utility District's (CUD's) specifications.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known utility owners, no less than three (3) nor more than ten (10) working days, prior to their intended excavation. A list of these utility owners may be obtained from the County Register of Deeds. Those utility owners who participate in the Tennessee One Call System can be notified toll free at 1-800-351-1111, or 811.
- Where cleanouts, castings, valve boxes, fire hydrants, etc. are encountered and are to remain in use, in areas where elevations are to change or be paved, those features are to be adjusted to match proposed finished grades.
- The Developer is responsible for the installation of street lights, unless otherwise noted. Street lights shall be located no more than 300 feet apart.


Grading And Drainage Plan Notes:

- The Contractor shall coordinate the installation of all underground utilities with his/her work. All underground utilities (water, sanitary sewer, storm sewer, electrical conduit, irrigation sleeves, and any other miscellaneous underground utilities, devices, or structures), shall be in-place prior to the placement of base course material.
- The Contractor shall full depth sawcut existing pavement as necessary to assure a smooth fit and continuous grade.
- The Contractor shall verify the horizontal and vertical locations of all existing sewer and water structures, pipes, and all utilities prior to construction.
- Clearing and grubbing limits shall include all areas disturbed by grading operations.
- The soil materials shown hereon may be disturbed by cutting or filling operations performed during or before development. Therefore, the builder of any proposed structure shall investigate the current conditions and consult with a geotechnical expert or other qualified person as he/she deems appropriate to assure himself/herself that the design of the proposed foundation, slabs, pavement, etc. is adequate.
- This site lies within Zone X, area determined to be outside the 0.2% annual chance flood plain. F.E.M.A. FIRM map No. 47149C0015J Dated May 9, 2023.
- Before starting grading operations, see at least Sheet C1.0 Existing Conditions, Demo, and Initial EPSC plan notes and details.
- Before starting grading operations, see the Landscape Plan and the Geotechnical Engineering report for treatment of existing grade.
- The Contractor is responsible for removing silt from the site if not reusable onsite and assuring plan alignment and grade in all ditches at completion of construction.
- The Contractor is responsible for cleaning out all storm drainage structures, including flumes, pipes, etc. prior to the completion of this project, and/or the individual lots.
- Prior to site construction activity, the Contractor shall install all SWPPP measures to protect existing drainage facilities. The Contractor shall prevent siltation from leaving the site at all times.
- Strip building and pavement areas of all organic topsoils. Stockpile suitable topsoils for respreading onto landscape areas. All excess excavated materials shall be legally removed from the site at the Contractor's expense. See Geotechnical Engineering report for stripping and topsoil requirements.
- Topsoil stockpile location may change, however the stockpile must be wrapped in silt fence at end of each construction day.
- It is the responsibility of each [residential] builder to design and construct in accordance with a suitable grading and drainage plan which will convey surface water, without ponding in the lot or under the building, from his/her building site to the drainage system constructed by the subdivision developer.
- The proposed contours are shown to indicate the general intention of the grading. All lots shall have at least 1500 square feet of the lot above the 100-year flood elevation for that lot. Each lot shall be sloped to drain at one (1%) percent minimum slope.
- Site grading shall be performed in accordance with these plans and specifications and the recommendations set forth in the Geotechnical Engineering report referenced in this plan set. The Contractor shall be responsible for removing all soft, yielding, or unsuitable materials and replacing with suitable materials as specified by the Geotechnical Engineer.
- The Contractor shall submit a compaction report prepared by a Licensed Geotechnical Engineer, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans and specifications and the recommendations set forth in the Geotechnical Engineering report. Notify the Project Engineer, in writing, if any unsuitable soils are found.
- Compaction testing is mandatory for at least the subgrade under paved areas, building slabs, and foundations.
- Fill under paved areas and slabs on grade shall be compacted per the specifications and Geotechnical Engineering report. Deposit fill material in horizontal layers as recommended by Geotechnical Engineer and compact each layer with a mechanical tamper. Base course pavement shall be compacted to 100 percent standard proctor.
- It is the Contractor's responsibility to maintain the site soils and engineered fills with a workable moisture content range to obtain the required in-place density. Scarifying and drying operations should be included in the Contractor's price and should not be considered extra for the contract. The Contractor shall review the Geotechnical Engineering report and be aware of all moisture concerns and soil remediation requirements.
- Any graded or disturbed areas shall have a minimum of four (4") inches of topsoil, seed, mulch, fertilizer, and water applied until a healthy stand of grass is obtained. The restoration shall closely follow construction.
- Following grading of subsoil to subgrade elevations The Contractor shall place topsoil to a depth as specified on the Landscaping Plans in all disturbed areas which are not to be paved. Smoothly finish grade to meet surrounding lawn areas and ensure positive drainage. Stockpiled topsoil shall be screened prior to respreading. Topsoils shall be free of subsoil, debris, brush and stones larger than one (1") inch in any dimension. Rock hounding in place will not be permitted. All excess topsoil shall be legally disposed of off-site.
- After fine grading topsoil, the Contractor shall stabilize per the Landscaping Plans, mulch, fertilize and water until a healthy stand of grass is obtained. The restoration shall closely follow construction.
- Elevations given are at the bottom face of curb and/or finished pavement grade, unless otherwise specified on the Grading Plan(s). All pavement shall be laid on a straight, even, and uniform grade with a minimum of one (1%) percent slope toward the collection points unless otherwise specified on the grading plan. Do not allow negative grades or ponding of water. Ensure positive drainage away from all buildings.
- The Contractor shall provide butt end joints to meet existing pavement in elevation and alignment at drive returns, street connections, etc. and ensure positive drainage.
- NO fill shall be allowed within any floodway. Compensatory storage may be required.
- All cut and fill work shown on lots must be completed prior to issuance of any building permits.
- Grading on any lots which have fill material over two (2') feet in depth must be completed and compaction reports must be submitted on each of these lots prior to the issuance of any building permits.
- A compaction letter will be required for lots in excess of two (2') feet of fill to be submitted to the City/County Engineering Department. Prior to recording of final plat.
- The Lots must be stabilized or EPSC (Erosion Protection Sediment Control) protected along with public infrastructure prior to the final plat being signed.
- Minimum Pad Elevations (MPE's) are due to Local Drainage.
- As-built surveys and certifications shall be required for detection ponds, public storm infrastructure, and cut/fill on lots prior to release of building permits.

Survey Datum Statement:

North American Vertical Datum of 1988 (NAVD88)
North American Horizontal Datum of 1983 (NAD83)

TN One Call 1-800-351-1111



Legend:			
	EXISTING CONCRETE MONUMENT		BENCHMARK
	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
	IRON PIN FOUND (I.P.F.)		VAN ACCESSIBLE HANDICAP DESIGNATION
	EXISTING SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXISTING MANHOLE (SEWER AND PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXISTING WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXISTING GAS RISER		CURB AND GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXISTING WATER METER		TURN LANE ARROWS
	EXISTING UTILITY POLE		REVISION NUMBER
	EXISTING FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW-OFF VALVE		RIPRAP
	REDUCER		RUNOFF FLOW ARROW
	FIRE DEPARTMENT CONNECTION (FDC)		INLET FILTER PROTECTION
	REMOTE FIRE DEPT. CONNECTION		PROPOSED SPOT ELEVATION
	CONCRETE THRUST BLOCK		EXIST. SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE AND BOX		CURB INLET
	WATER METER		AREA DRAIN
	CHECK VALVE		HEADWALL
	MULTIPLE WATER METERS		WINGED HEADWALL
	GAS METER		CONCRETE SWALE
	GREASE TRAP		TYPE-X HEADWALL
	EXTERIOR CLEANOUT EOO		CONCRETE SWALE
	MANHOLE		ELECTRICAL MANHOLE
	PROPOSED LOT NUMBER		PRIMARY PULLBOX
	TRANSFORMER w/ TELECOM HANDHOLE		SINGLE PHASE TRANSFORMER
	ELECTRIC PULLBOX w/ TELECOM HANDHOLE		#x# HANDHOLE (COMM., SIGNALS, ETC.)
	EXISTING STREET LIGHT		PROPOSED STREET LIGHT
	3 PHASE SECTOR CABINET		COMMERCIAL VAULT
	EXISTING PHONE		PH
	EXISTING ELECTRIC		OH
	PROPERTY LINE		EASEMENTS
	RIGHT OF WAY		ROW
	EROSION CONTROL SILT FENCE		SF
	EROSION EEL		E
	EXISTING TREELINE		MBSL
	EXISTING FENCELINE		PHASE BOUNDARY
	MINIMUM BUILDING SETBACK LINE		EXISTING GAS LINE
	PROPOSED GAS LINE		EXISTING STORM
	PROPOSED STORM		PROPOSED STORM
	EXISTING CONTOUR LINES		PREVIOUS SECTION CONTOUR LINES
	PROPOSED CONTOUR LINES		EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER		EXISTING WATER
	PROPOSED WATER		LIMITS OF DISTURBANCE
	FLOODWAY		100-YR FLOOD ELEVATION
	BASE FLOOD ELEVATION		ELECTRICAL CONDUIT - SEE UTILITY PLAN NOTES
	EROSION BLANKET		EROSION BLANKET

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF
EROSION EEL	E
EXISTING TREELINE	
EXISTING FENCELINE	X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	###
PREVIOUS SECTION CONTOUR LINES	##
PROPOSED CONTOUR LINES	##
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W
LIMITS OF DISTURBANCE	
FLOODWAY	FW
100-YR FLOOD ELEVATION	100YR
BASE FLOOD ELEVATION	
ELECTRICAL CONDUIT - SEE UTILITY PLAN NOTES	UGE
EROSION BLANKET	

SEC, Inc.
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LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD, MURFREESBORO, TENNESSEE 37129
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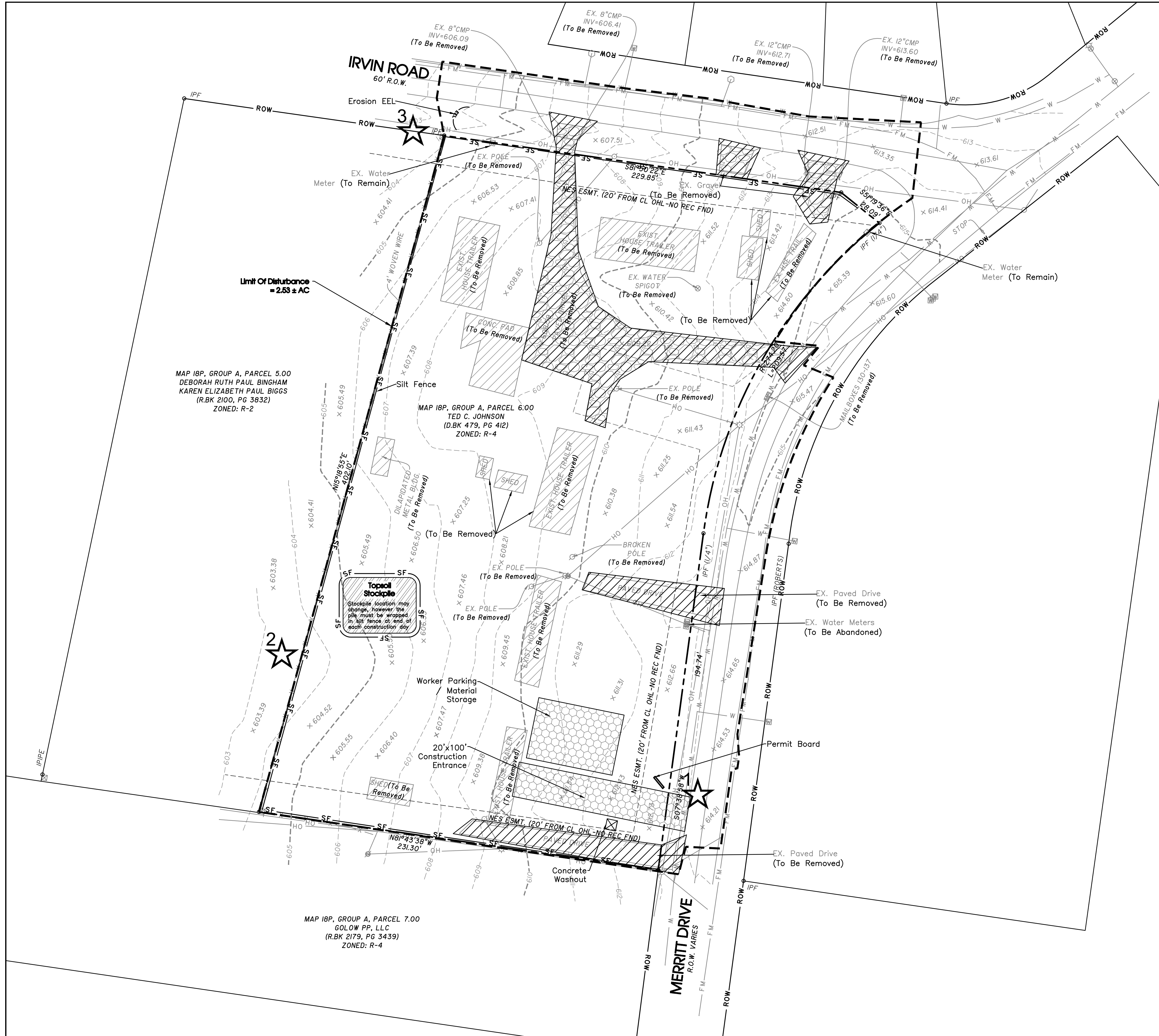
111 Irvin Road
Emrose Village
La Vergne, Tennessee

REVIEW SET
(Not intended for construction)

REVISIONS:

DATE:	3-2-2026
CHECKED:	MAT
FILE NAME:	25364project
SCALE:	None
JOB NO.	25364
SHEET:	C0.2

General Notes

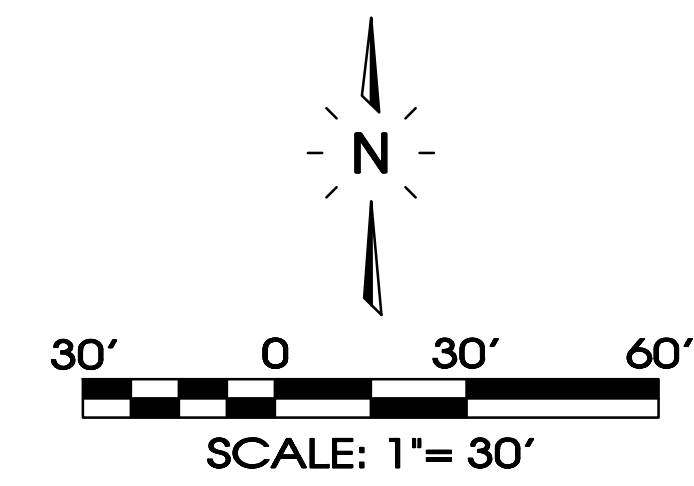


MAP IBP, GROUP A, PARCEL 5.00
DEBORAH RUTH PAUL BINGHAM
KAREN ELIZABETH PAUL BIGGS
(R.BK 2100, PG 3832)
ZONED: R-2

MAP IBP, GROUP A, PARCEL 6.00
TED C. JOHNSON
(D.BK 479, PG 412)
ZONED: R-4

MAP IBP, GROUP A, PARCEL 7.00
GOLOW PP, LLC
(R.BK 2179, PG 3439)
ZONED: R-4

General Contractor Shall Install All Initial EPSC Measures And All Such Measures Must Be Inspected And Approved Prior To Any Earthwork Beginning.



SWPPP Narrative:

During demolition and mobilization, the sediment and stormwater runoff will be controlled with certain Best Management Practices (BMPs). A stone construction exit will be installed upon mobilization of site to limit the tracking of mud and sediment onto the adjacent pavements and roadways. Silt fence will be installed on the downgradient sides of the site. The storm inlets will be protected with inlet protection until the stone base and pavements can be installed. Covered dumpsters will be on site for disposal of trash and other debris. Paint and other potentially hazardous chemicals will be stored inside the building or otherwise approved weatherproof container. The Contractor purchasing the materials will be responsible for legally disposing of the containers and excess materials in accordance with the manufacturers' recommendations. A concrete washout area will be provided for the concrete trucks as required.

It is the Contractor's responsibility during construction to install and maintain all sedimentation and storm water pollution prevention BMPs described herein and detailed within the plans at all times, which includes regular removal and disposal of accumulated debris. All erosion and sediment controls must be maintained properly until the site is stabilized and accepted. Maintenance must include inspections of all erosion and sediment controls after each runoff event and on at least a weekly basis. All preventative and remedial maintenance work, including clean out, replacement, regrading, reseed, and restocking must be performed immediately. The Developer will own and maintain the site after construction has been completed.

Initial EPSC Construction Sequence:

1. Stake and/or flag limits of clearing.
2. During preconstruction meeting all erosion and sediment control facilities and procedures shall be discussed.
3. Clear and grub, as necessary, for installation of perimeter controls.
4. Install erosion eel perimeter controls as shown on plans.
5. Initial construction exit and concrete washout facility, if conditions are such that mud is collecting on vehicle tires, the tires must be cleaned before the vehicles enter the public roadway. The site entrance shall be maintained in a condition that will prevent the tracking or flow of mud onto the public right-of-way. All materials spilled, dropped, washed or tracked from vehicles onto the roadway must be removed promptly.
6. Clear and grub the remaining site as necessary.
7. Refer to the Construction SWPPP.

Initial EPSC Notes:

1. All Measures Shown Here On Shall Be Constructed Immediately Upon Construction Beginning. No Other Disturbance Activities Shall Occur Until These Are Completed.
2. Staging Area, Worker Parking, and Adjoining Drive Will Be Constructed Of Stone Over Engineering Fabric.
3. Staging Area Shall Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are Will Be Kept In Organized and Stacked Fashion. An Unleveled Site Will Not Be Permitted, and If Debris Is Stored In Areas Outside of the Designated Storage Area, City Staff Will Shut Down The Job Site.
4. All Construction Signage Will Be Constructed Of 2-4"x4" Pointed Posts.
5. Sign #1 - Display Surface Can Be No More Than 32 Square Feet, and Must Be Less Than Nine (9') Feet Tall.

Outfall

INITIAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	CONSTRUCTION EXIT	0.10	1%	35.9995	-86.5647
2	S.W. LIMITS OF DISTURBANCE	1.38	2-7%	35.9997	-86.5655
3	N.W. LIMITS OF DISTURBANCE	1.05	2-7%	36.0006	-86.5652

EXISTING ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
BUILDING, PAVEMENT	PAVED PARKING LOTS, ROOFS, ETC C/D-SOILS, CN=98	0.77
GRASS	OPEN SPACE: GOOD CONDITION C-SOILS, CN=74	1.55
GRASS	OPEN SPACE: GOOD CONDITION D-SOILS, CN=80	0.21
COMPOSITE CN=82		

PROPOSED ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
PAVEMENT	PAVED PARKING LOTS, ROOFS, ETC. C/D-SOILS, CN=98	0.27
BUILDING, DRIVEWAY	1/8 AC. LOTS: 65% AVG. IMP. AREA C-SOILS, CN=90	1.40
BUILDING, DRIVEWAY	1/8 AC. LOTS: 65% AVG. IMP. AREA D-SOILS, CN=92	0.24
GRASS / LANDSCAPING	OPEN SPACE: GOOD CONDITION C-SOILS, CN=74	0.62
COMPOSITE CN=87		

PROPOSED BMP'S

BMP	TYPE
SEDIMENT CONTROL BARRIER	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

DUST CONTROL NOTES:

On an As-Needed Basis or as directed by the City, the Engineer, or the Owner, the Contractor shall utilize one (1) of the following methods to control dust:

A. **WATER:** The exposed soil surface should be moistened periodically with adequate water to control dust.

B. **CALCIUM CHLORIDE:** Should be either loose dry granules or flakes fine enough to feed through a spreader at a rate that will keep surface moist but not cause pollution or plant damage.

The same method should be repeated as needed and/or directed; and special attention must be given to the access drives.

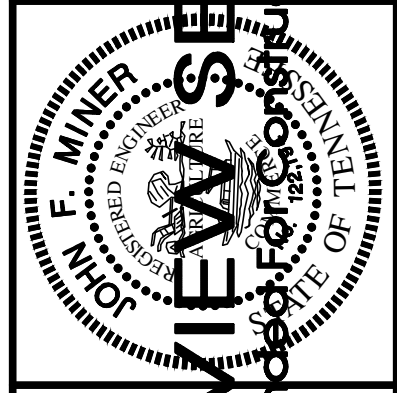
EPSC Phasing

Initial: Silt Fence Along Downgradient Perimeter. Construction Exit. Concrete Washout. Sediment Basin(s), As Prescribed.

Intermediate: Filter Fabric Inlet Protection. Protection Silt Fence To Protect Ditches. Check Dams, As Prescribed. Temporary Seeding and Mulching, As Prescribed and/or as Needed. Erosion Control Blanket, or Sodding, As Prescribed.

Final: Landscaping (See Landscaping Plans). Seeding And Mulching Of Pervious Areas (See Landscaping Plans). Sod Of Pervious Areas, As Prescribed (See Landscaping Plans).

SITE ENGINEERING CONSULTANTS
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PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567
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I, the undersigned, being a duly Licensed Professional Engineer in the State of Tennessee, do hereby certify that I am the author of the design shown on these drawings, and that I am a duly Licensed Professional Engineer in the State of Tennessee. I am in full compliance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that the site is constructed in accordance with the construction plans.

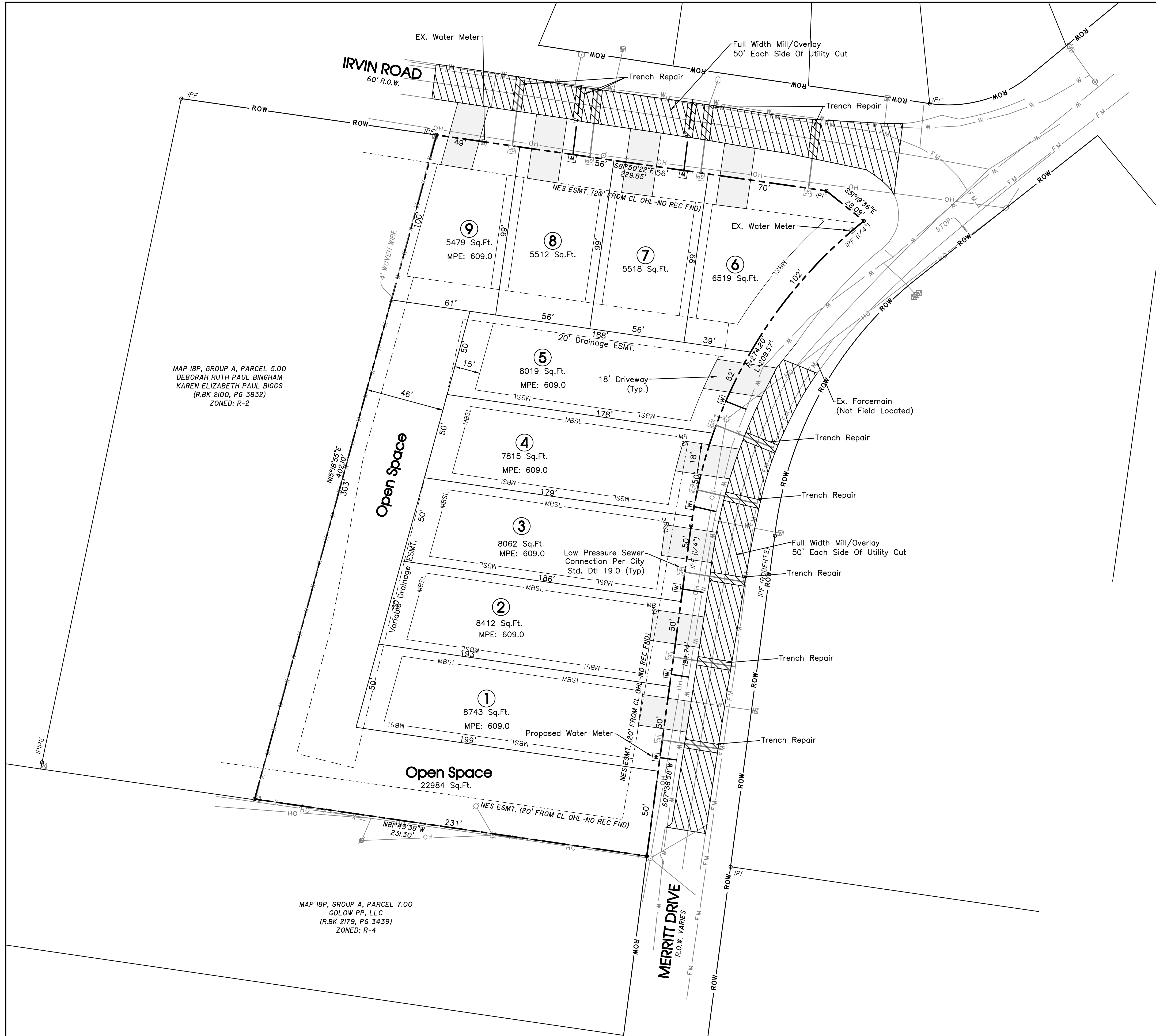


REVIEW SET
(Not intended for construction)

111 Irvin Road
Emrose Village
La Vergne, Tennessee

REVISIONS:
DRAWN: SJA/CFB3
DATE: 3-2-2026
CHECKED:
MAT
FILE NAME:
25364project
SCALE:
1"=30'
JOB NO.
25364
SHEET:
C1.0

TN One Call #

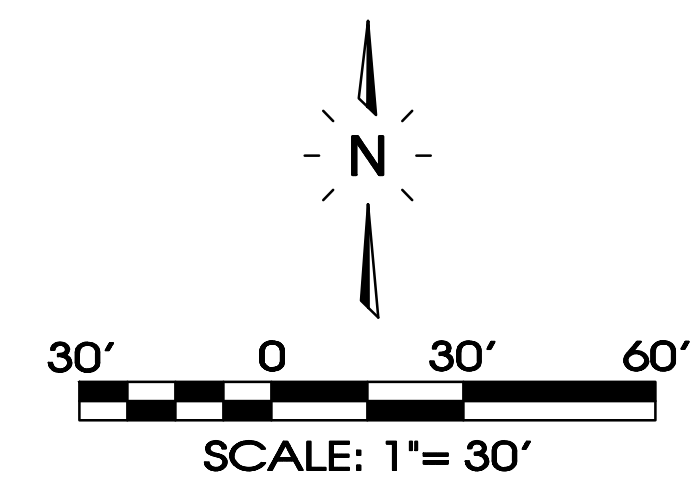


MAP IBP, GROUP A, PARCEL 5.00
 DEBORAH RUTH PAUL BINGHAM
 KAREN ELIZABETH PAUL BIGGS
 (R.BK 2100, PG 3832)
 ZONED: R-2

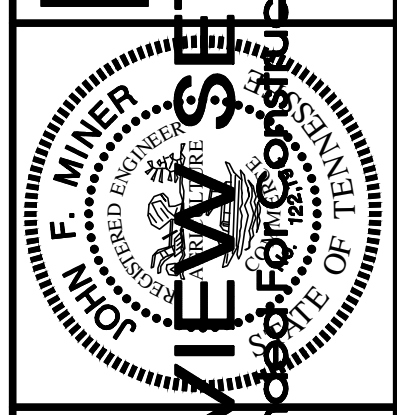
MAP IBP, GROUP A, PARCEL 7.00
 GOLOW PP, LLC
 (R.BK 2179, PG 3439)
 ZONED: R-4

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information

UTILITY PROVIDERS:
 SEWER: CITY OF LA VERGNE
 WATER: CITY OF LA VERGNE
 ELECTRIC: NASHVILLE ELECTRIC SERVICES



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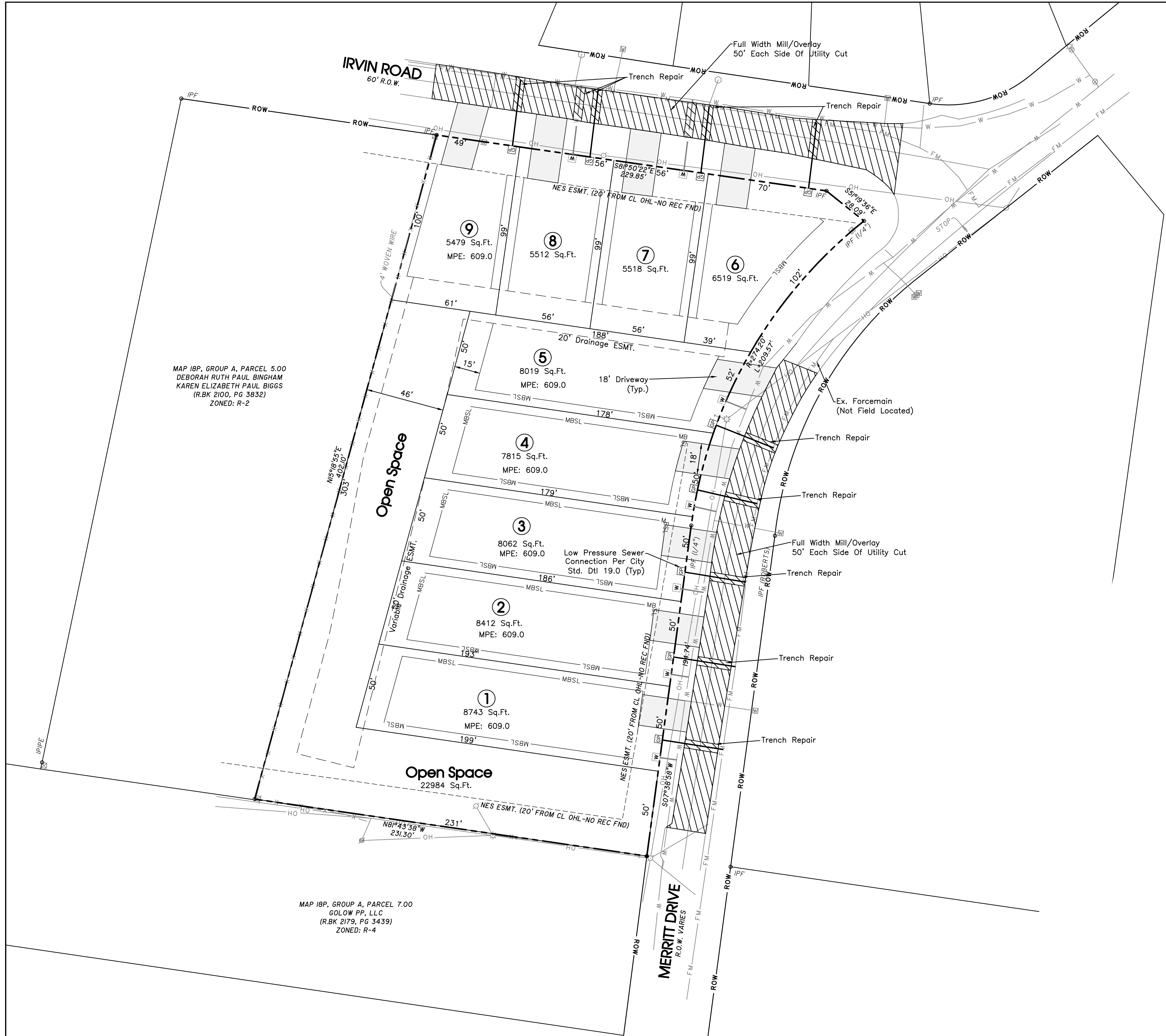


REVIEW SET
 (Not Intended for Construction)

111 Irvin Road
 Emrose Village
 La Vergne, Tennessee

REVISED:	
DRAWN: SJA/CFB3	
DATE: 3-2-2026	
CHECKED:	
MAT	
FILE NAME:	
25364project	
SCALE:	
1"=30'	
JOB NO.	
25364	
SHEET:	
C2.1	

Waterline Plan

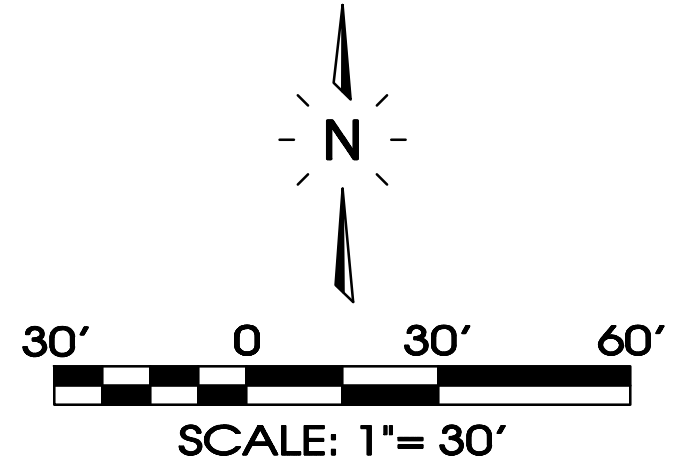


MAP IBP, GROUP A, PARCEL 5.00
 DEBORAH RUTH PAUL BINGHAM
 KAREN ELIZABETH PAUL BIGGS
 (R.BK 2100, PG 3832)
 ZONED: R-2

MAP IBP, GROUP A, PARCEL 7.00
 GOLOW PP, LLC
 (R.BK 2179, PG 3439)
 ZONED: R-4

UTILITY PROVIDERS:
 SEWER: CITY OF LA VERGNE
 WATER: CITY OF LA VERGNE
 ELECTRIC: NASHVILLE ELECTRIC SERVICES

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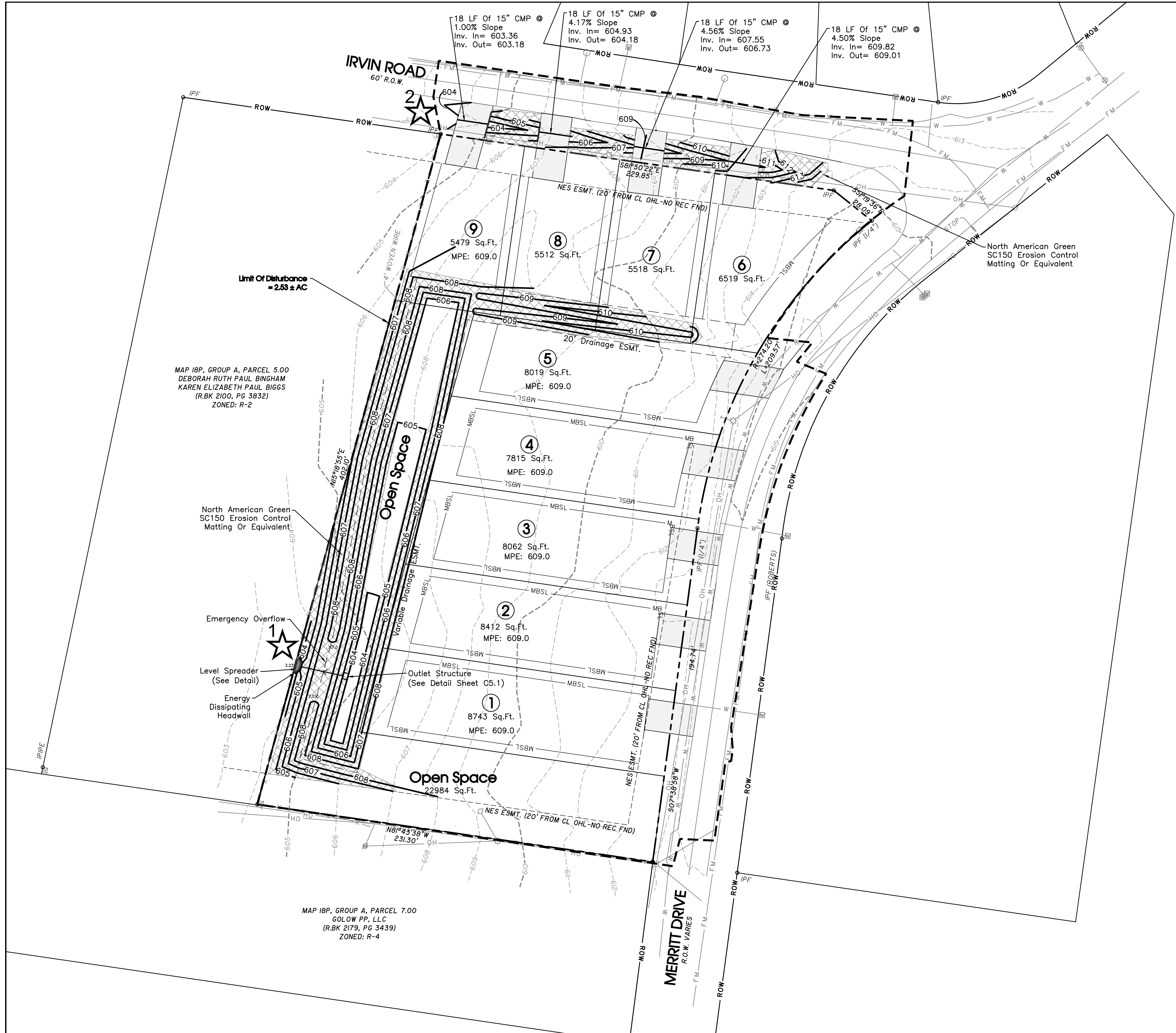


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REVIEW SET
 (Not Intended for Construction)

111 Irvin Road
 Emrose Village
 La Vergne, Tennessee

REVISED:	
DRAWN: SJA/CFB3	
DATE: 3-2-2026	
CHECKED:	
MAT	
FILE NAME:	25364project
SCALE:	1" = 30'
JOB NO.	25364
SHEET:	C2.2



MAP 18P, GROUP A, PARCEL 5.00
 DEBORAH RUTH PAUL BINGHAM
 KAREN ELIZABETH PAUL BIGGS
 (R.B.K 2100, PG 3832)
 ZONED: R-2

North American Green
 SC150 Erosion Control
 Matting Or Equivalent

Emergency Overflow

Level Spreader
 (See Detail)

Energy
 Dissipating
 Headwall

MAP 18P, GROUP A, PARCEL 7.00
 GOLOW PP, LLC
 (R.B.K 2179, PG 3439)
 ZONED: R-4

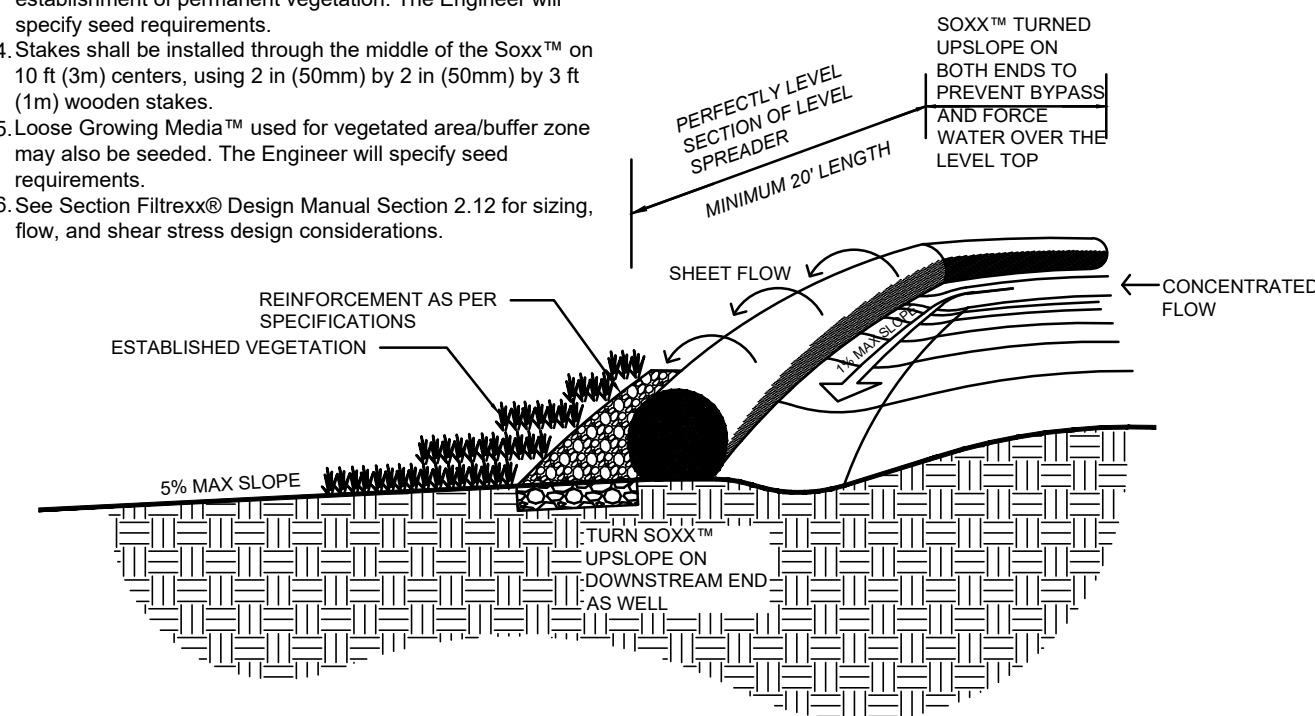
★ Outfall FINAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	S.W. LIMITS OF DISTURBANCE	1.83	2-7%	35.9997	-86.5655
2	N.W. LIMITS OF DISTURBANCE	0.70	2-7%	36.0006	-86.5652

FINAL EPSC NOTES:

- Final EPSC Measures Shown Here On Shall Be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established In The SWPPP And The TNCGP (Tennessee Construction General Permit).
- Inlet Protection, Erosion Blanket, and Temporary Stabilization (I.E. Seed and Mulch) Will Be Removed By The General Contractor.
- Permanent Stabilization Measures (I.E. Sod, Landscape,Pavement) Will Be Installed By The Landscaping Contractor and/or the Owner - see the Landscaping Plans.
- The Contractor shall Stabilize All Disturbed Areas After Construction.

- NOTES
- Soxx™ used for storm water flow control shall meet Filtrexx® Soxx™ Material Specifications and use Filtrexx® GrowingMedia™.
 - Contractor is required to be a Filtrexx® Certified Installer™ as determined by Filtrexx International®.
 - The Soxx™ is to be seeded at time of installation for establishment of permanent vegetation. The Engineer will specify seed requirements.
 - Stakes shall be installed through the middle of the Soxx™ on 10 ft (3m) centers, using 2 in (50mm) by 2 in (50mm) by 3 ft (1m) wooden stakes.
 - Loose Growing Media™ used for vegetated area/buffer zone may also be seeded. The Engineer will specify seed requirements.
 - See Section Filtrexx® Design Manual Section 2.12 for sizing, flow, and shear stress design considerations.

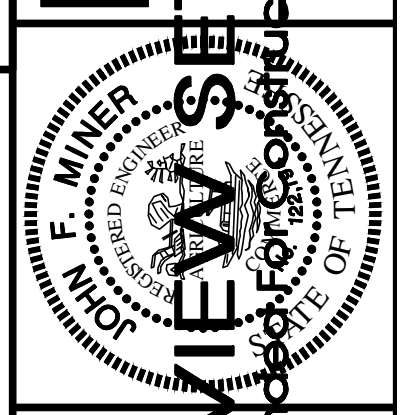


FILTREXX® LEVEL SPREADER
 NTS

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 30'

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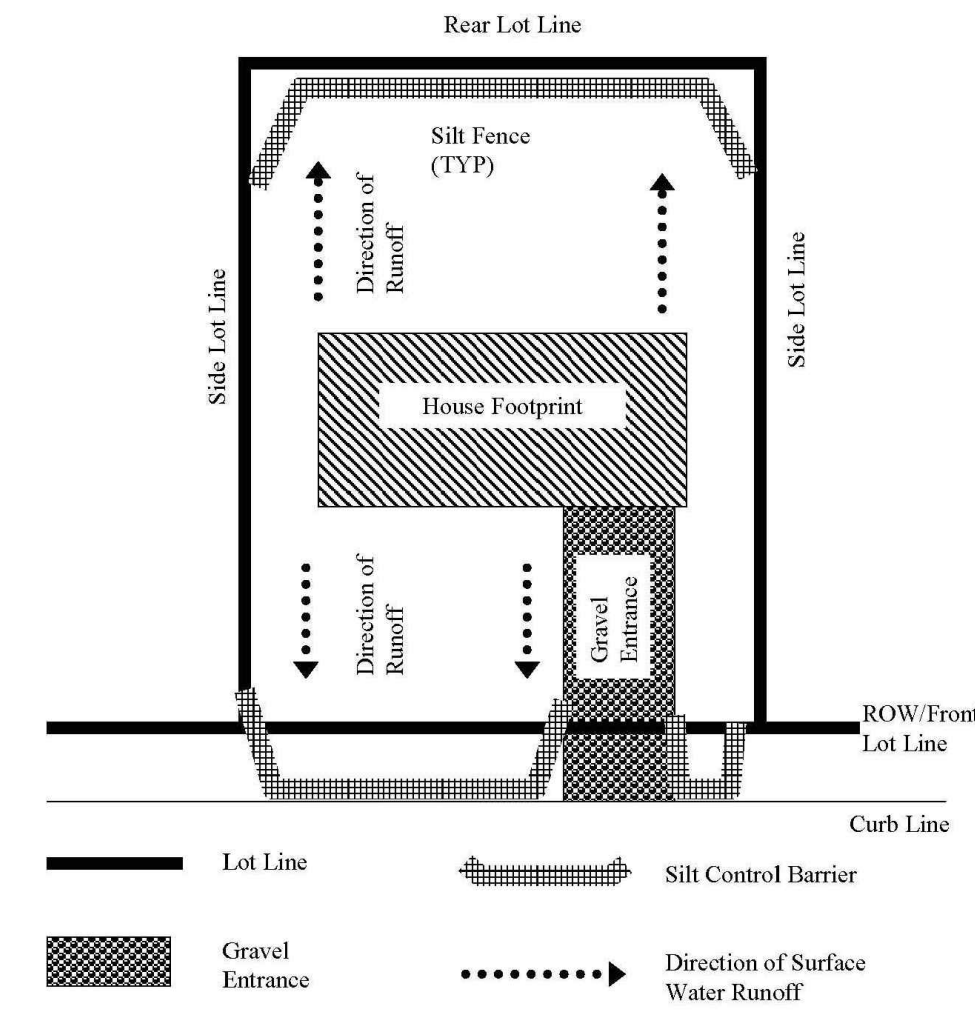
**111 Irvin Road
 Emrose Village
 La Vergne, Tennessee**

Grading, Drainage,
 & Final EPSC Plan

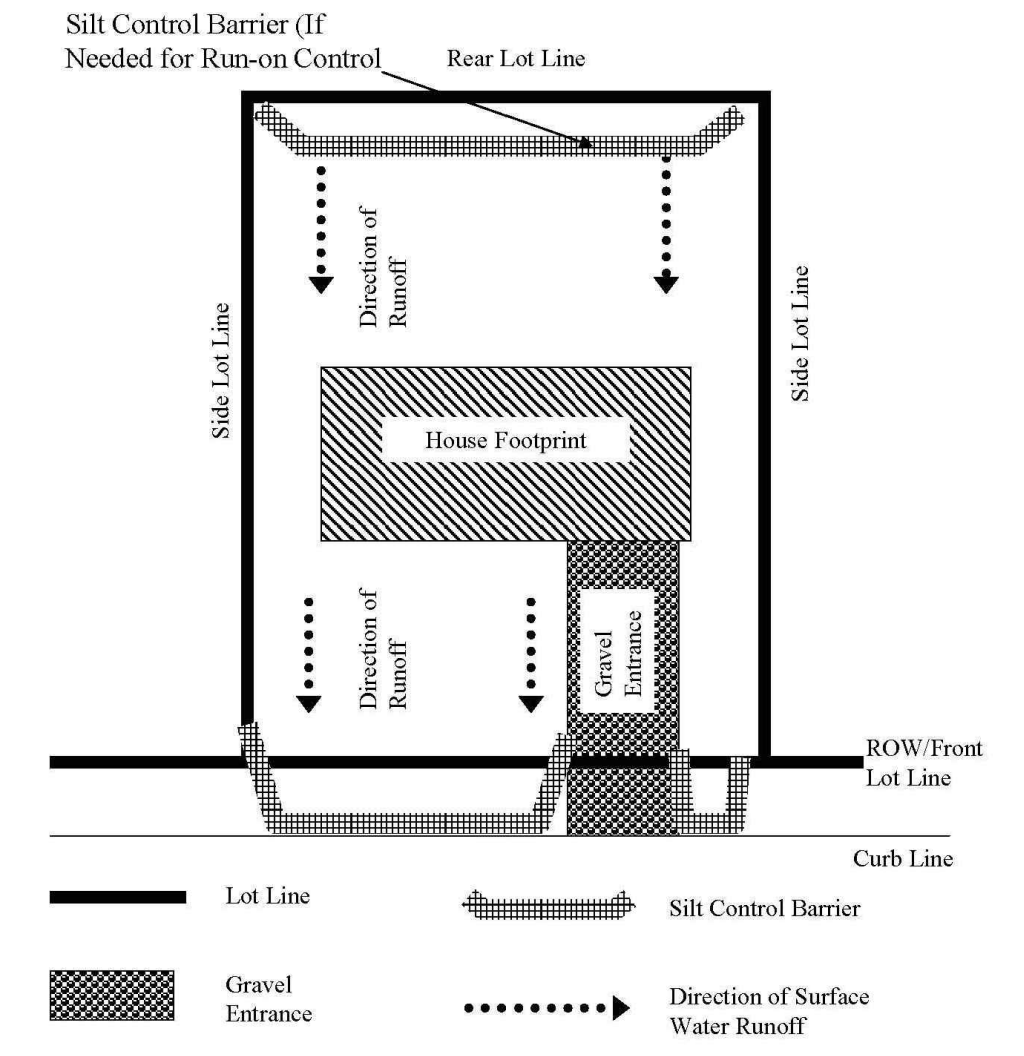
REVISIONS:

DRAWN: SJA/CFB3
DATE: 3-2-2026
CHECKED: MAT
FILE NAME: 25364project
SCALE: 1"=30'
JOB NO. 25364
SHEET: C3.0

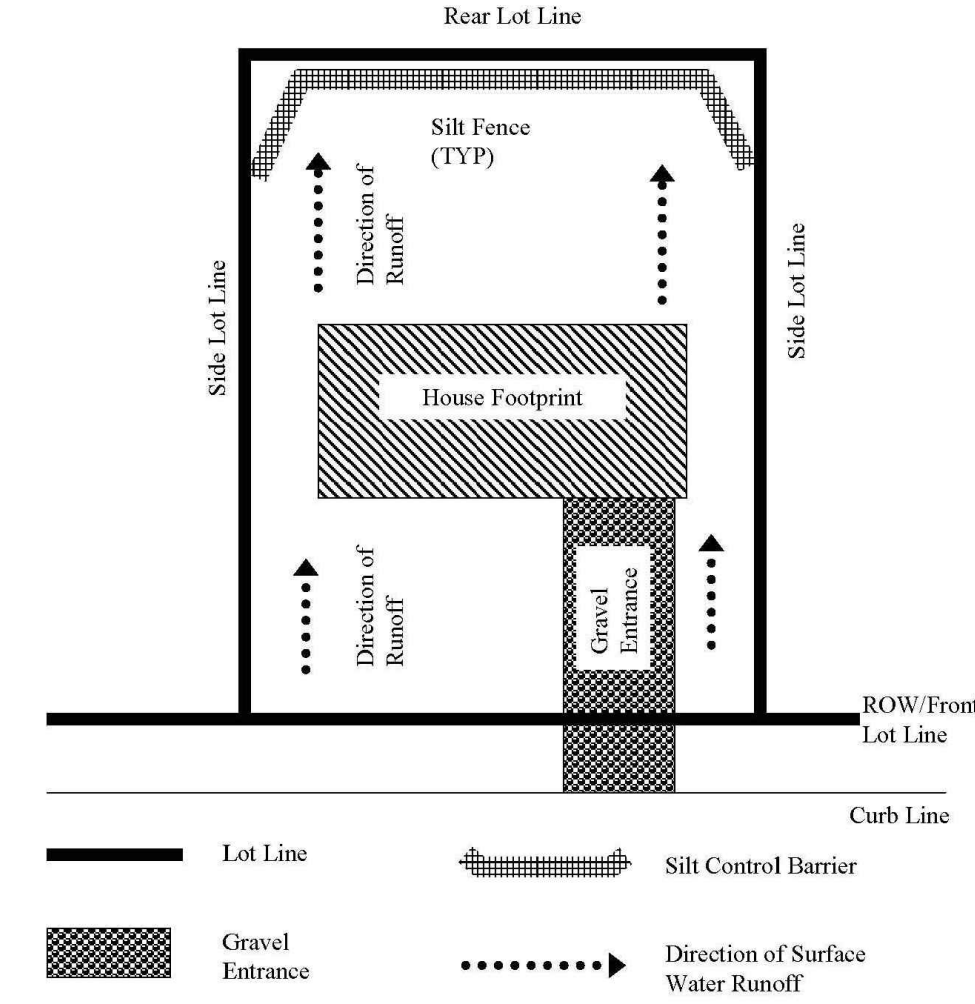
One and Two Family Erosion Prevention and Sediment Control Plan
Type A (Lot Slopes to Rear and Street)



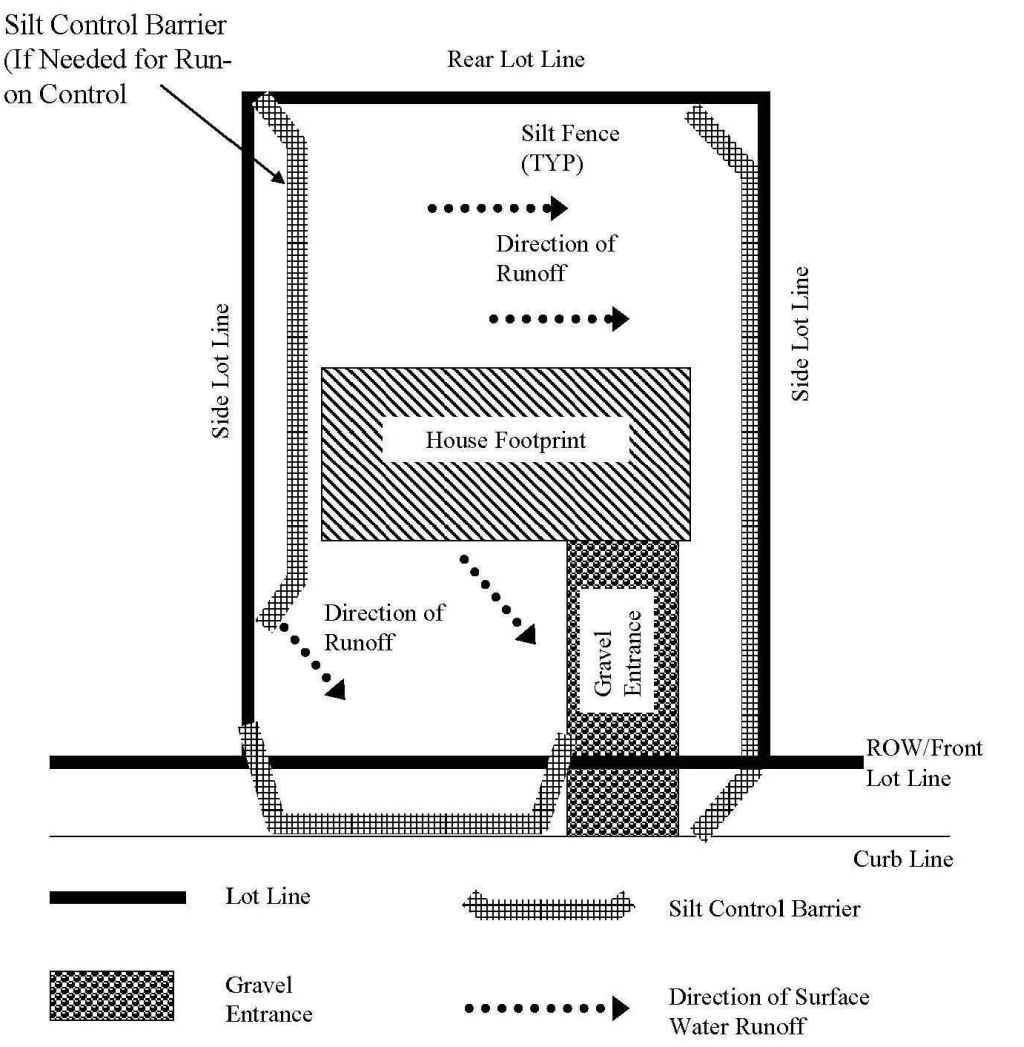
One and Two Family Erosion Prevention and Sediment Control Plan
Type B (Lot Slopes Street)



One and Two Family Erosion Prevention and Sediment Control Plan
Type C (Lot Slopes to Rear)

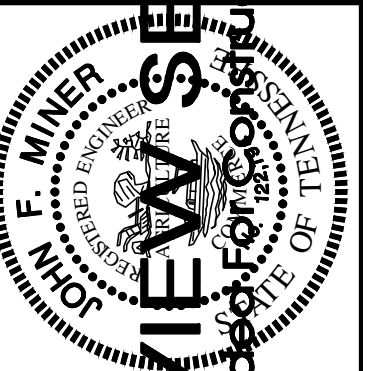


One and Two Family Erosion Prevention and Sediment Control Plan
Type D (Lot Slopes to Side)



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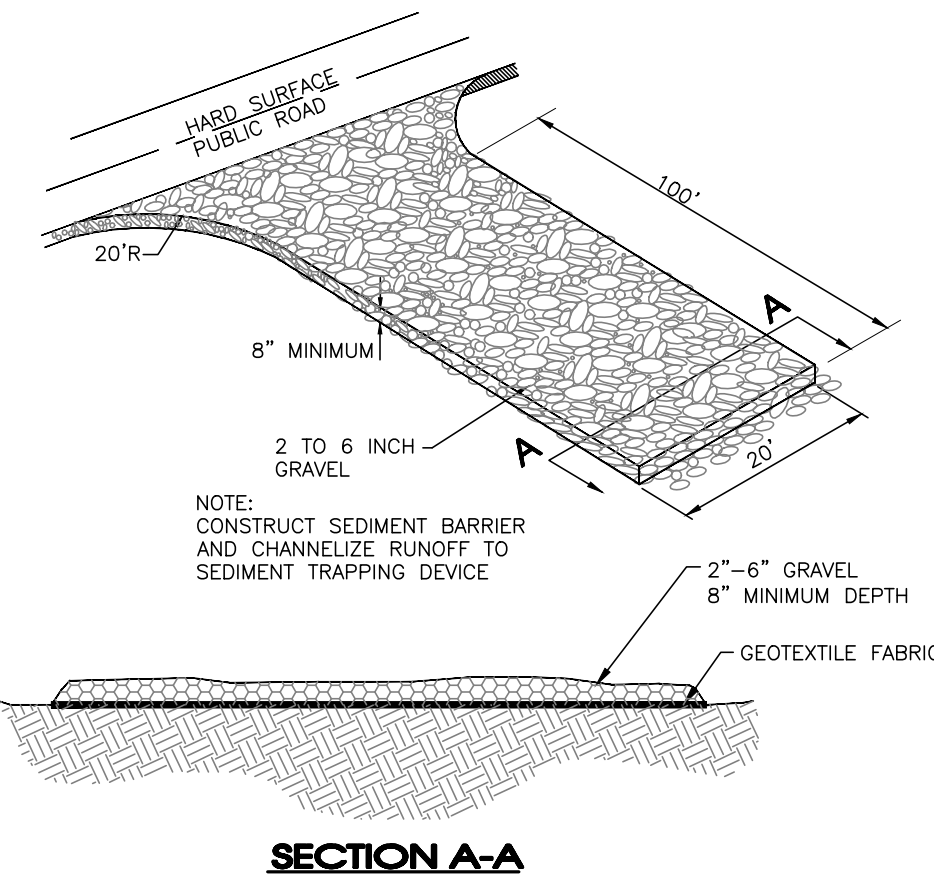
REVIEW SET
 (Not Intended for Construction)

111 Ivin Road
 Emrose Village
 La Vergne, Tennessee

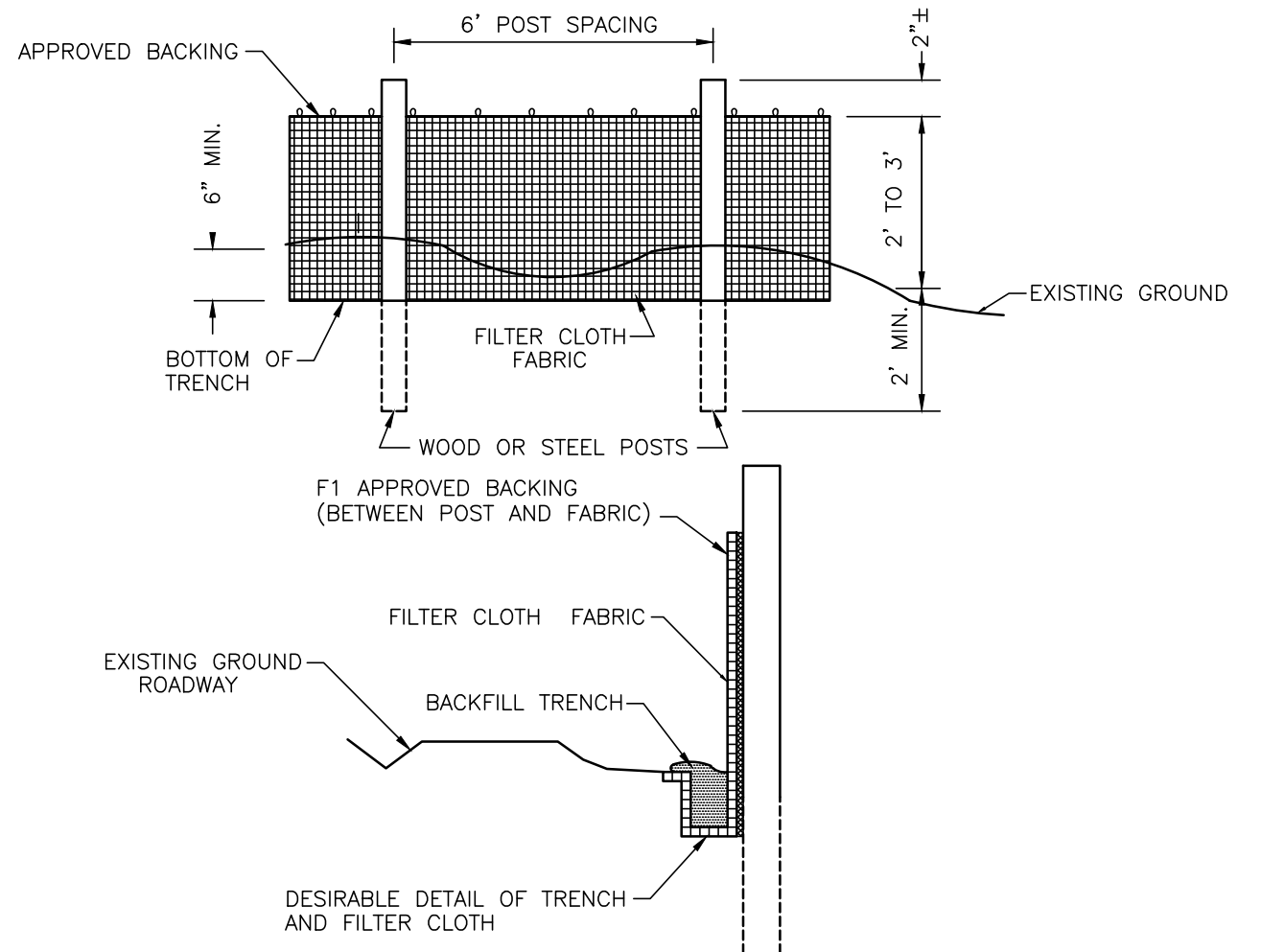
REVISIONS:	
DRAWN: SJA/CFB3	
DATE: 3-2-2026	
CHECKED:	
MAT	
FILE NAME:	
25364project	
SCALE:	
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JOB NO.	
25364	
SHEET:	

C4.0

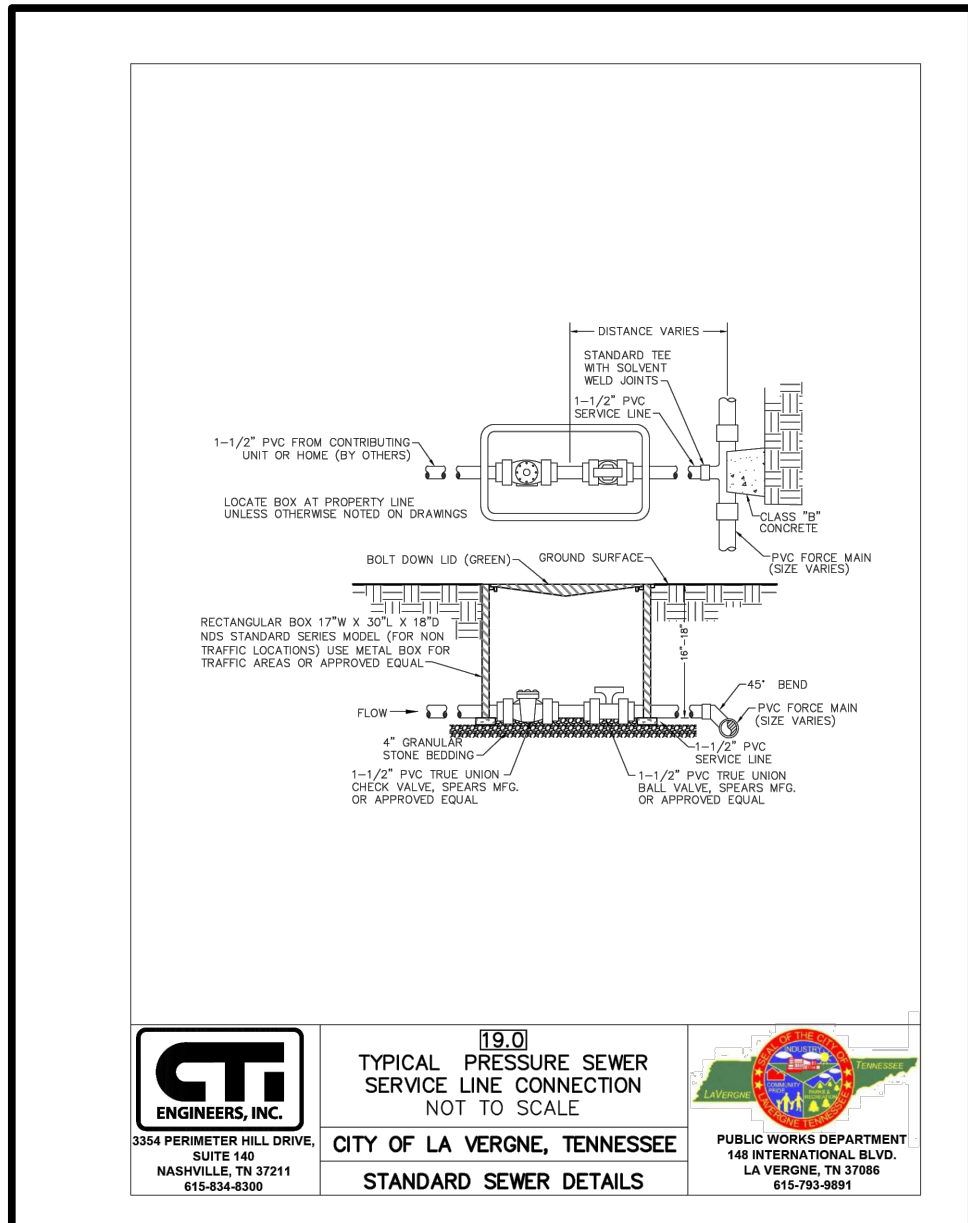
SWPPP Details



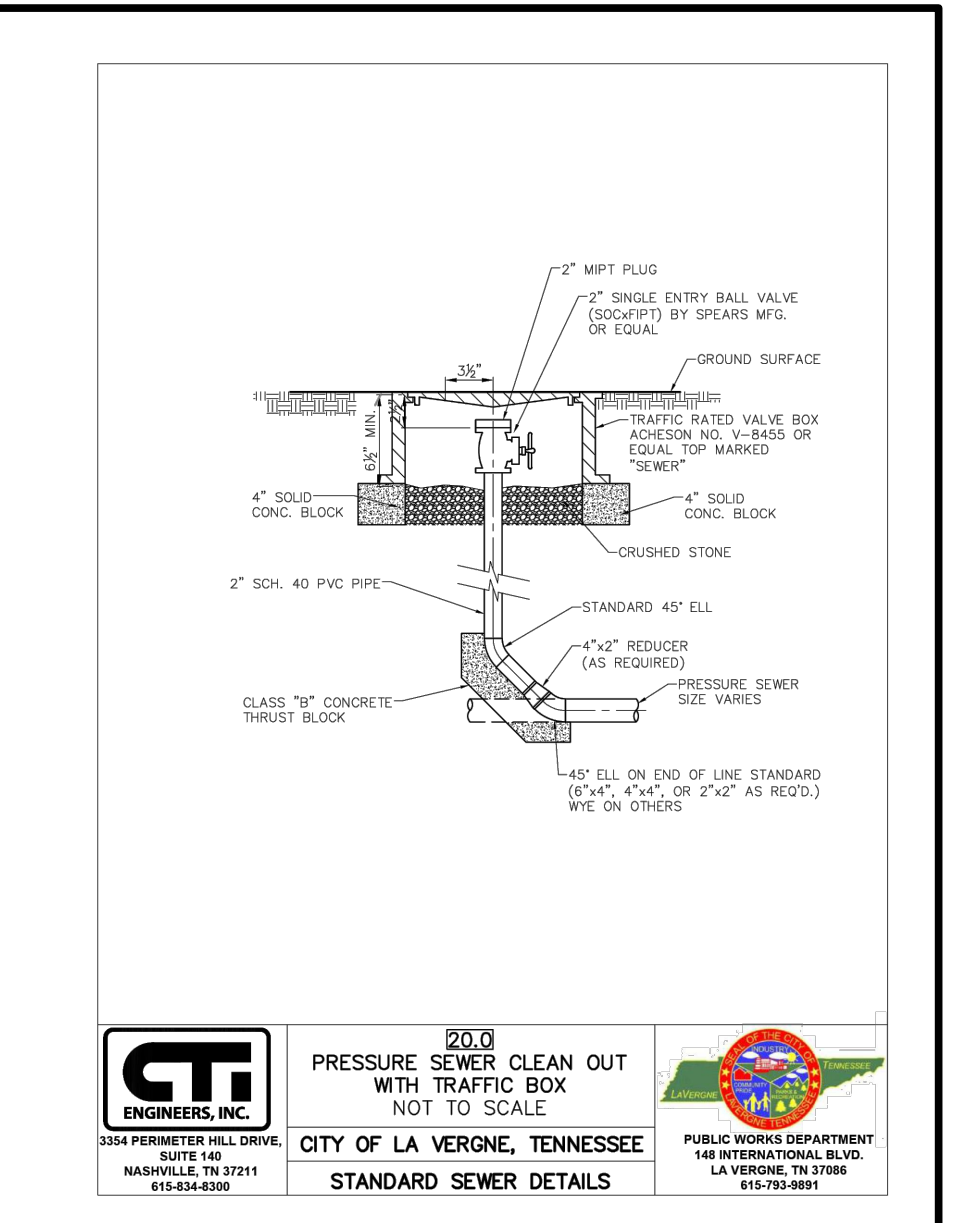
GRAVEL CONSTRUCTION ENTRANCE
SCALE: NONE



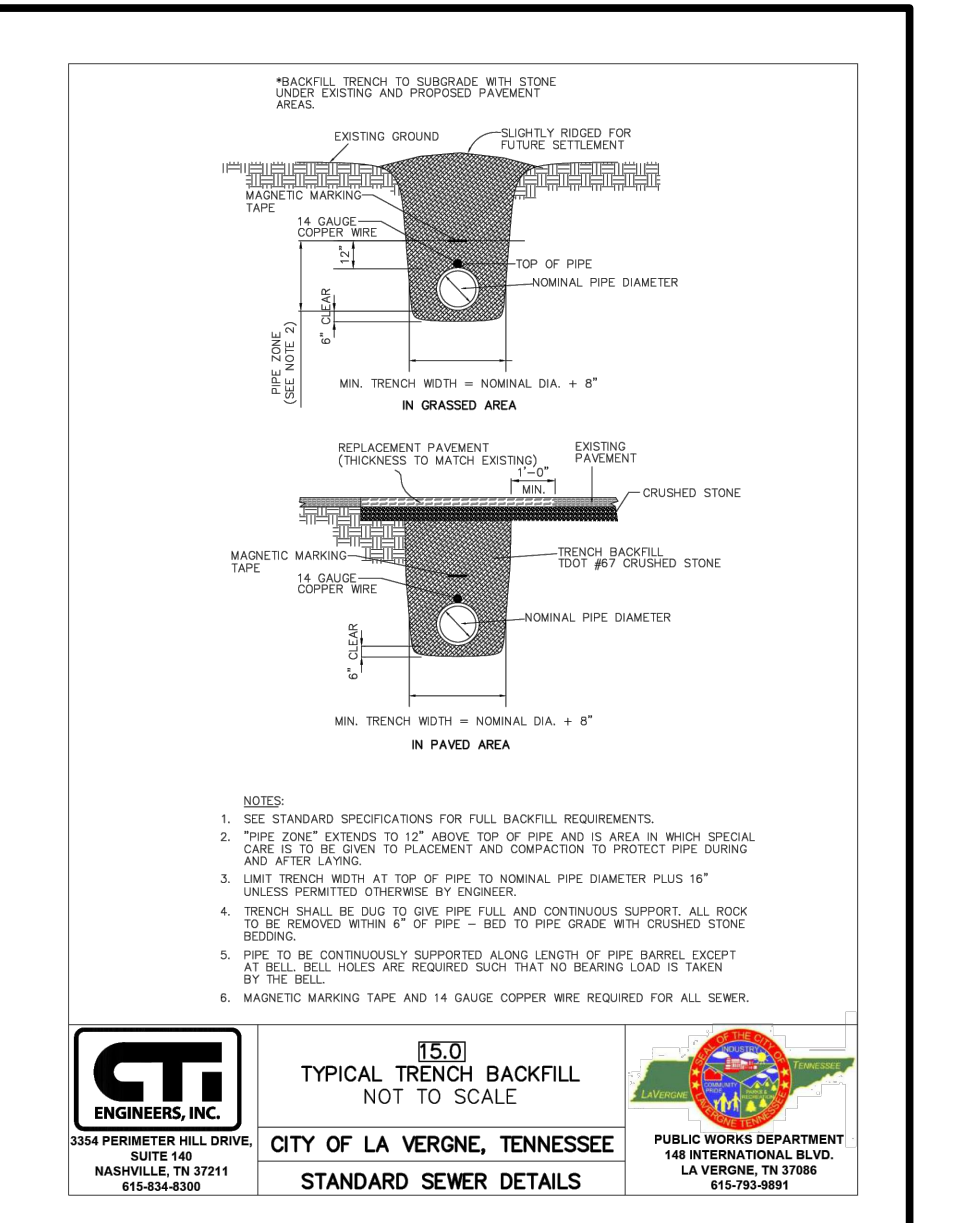
SILT FENCE DETAIL
SCALE: NONE



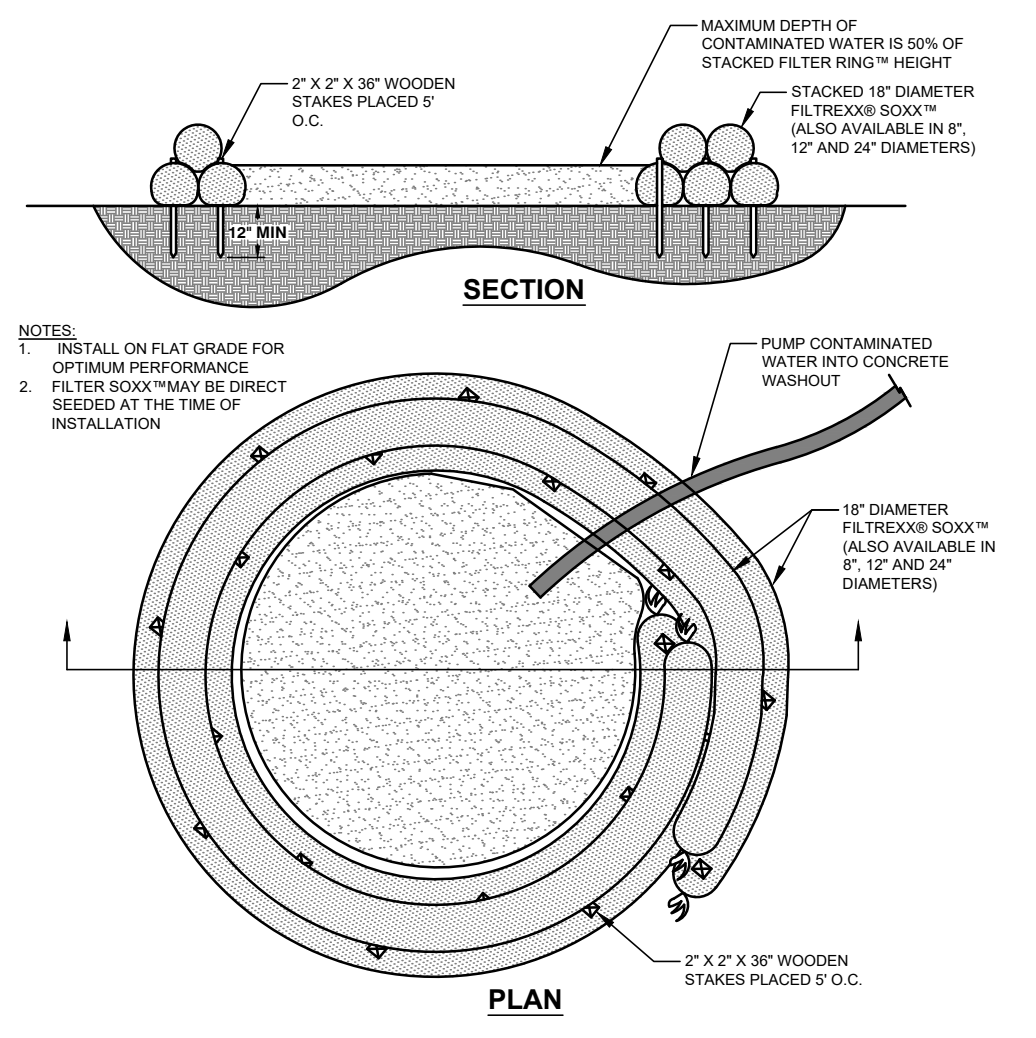
STANDARD SEWER DETAILS
CITY OF LA VERGNE, TENNESSEE



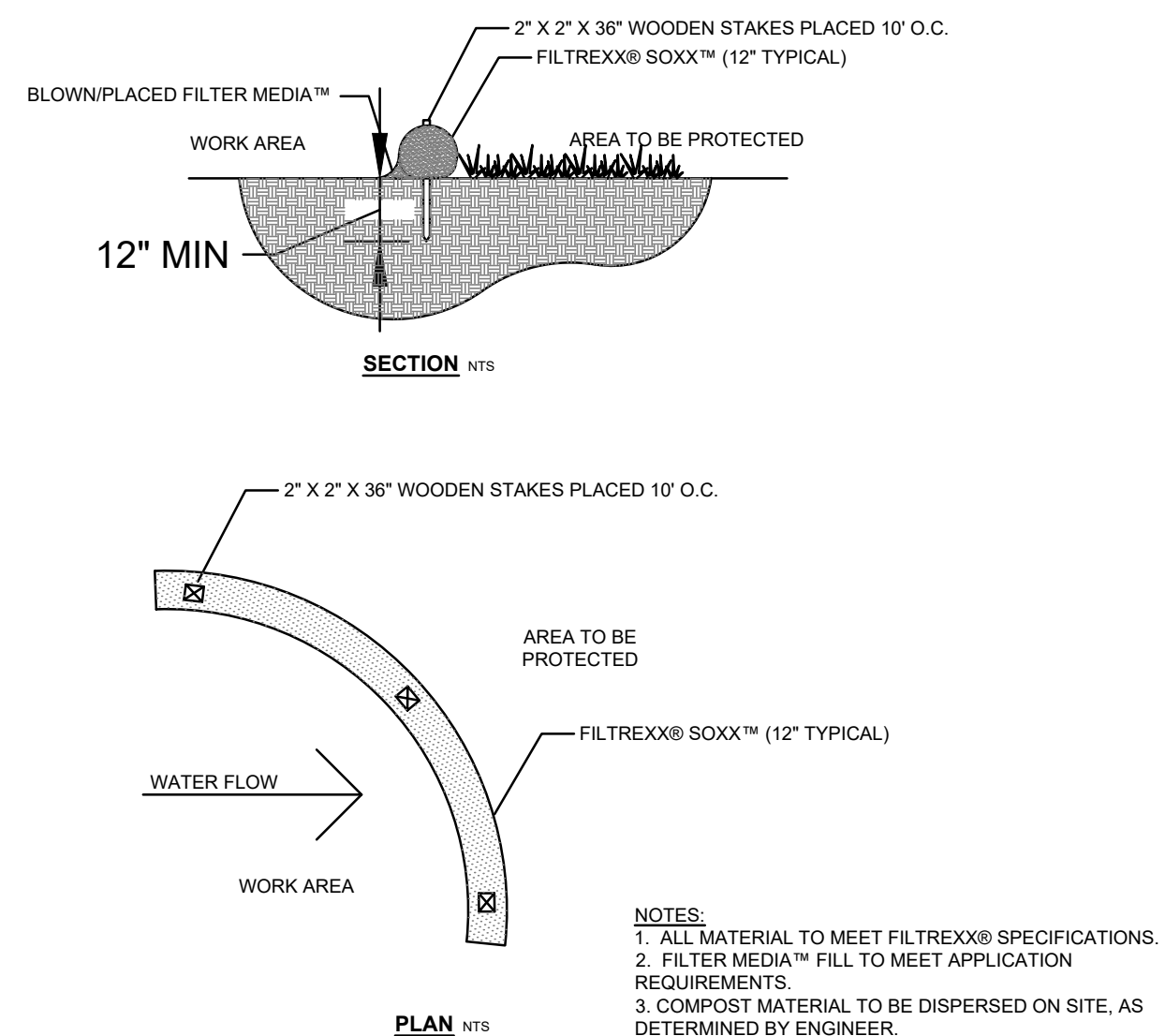
STANDARD SEWER DETAILS
CITY OF LA VERGNE, TENNESSEE



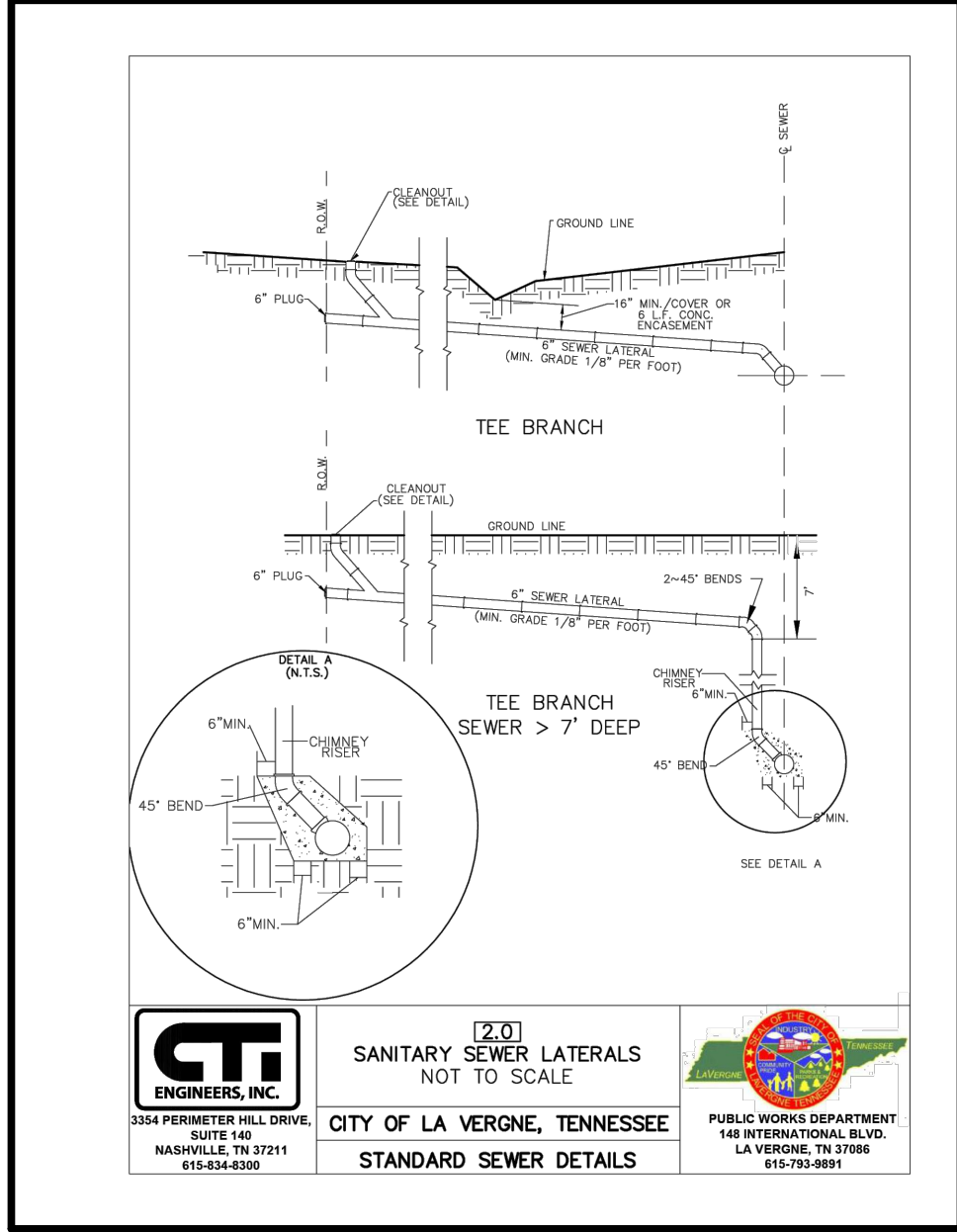
STANDARD SEWER DETAILS
CITY OF LA VERGNE, TENNESSEE



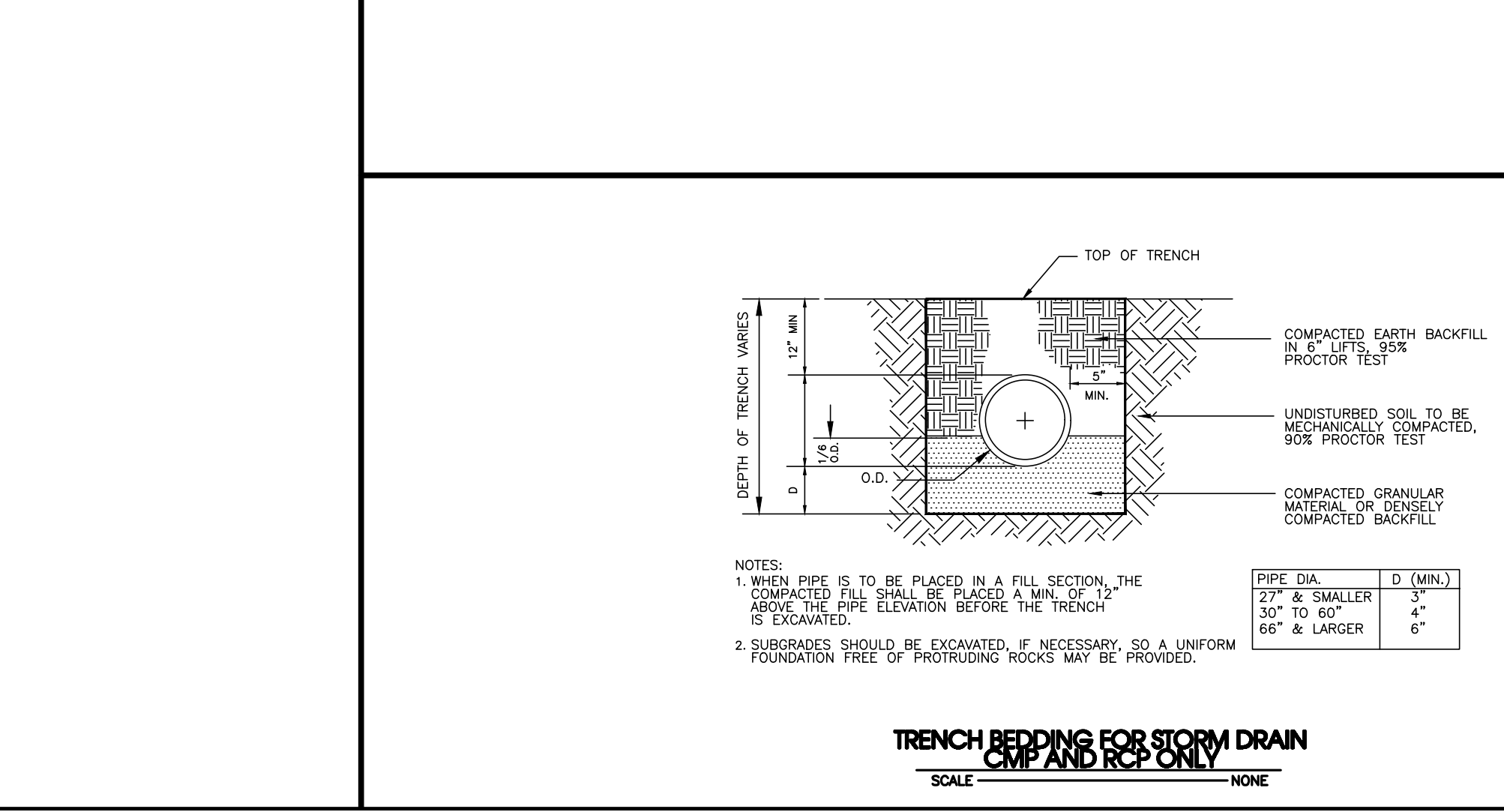
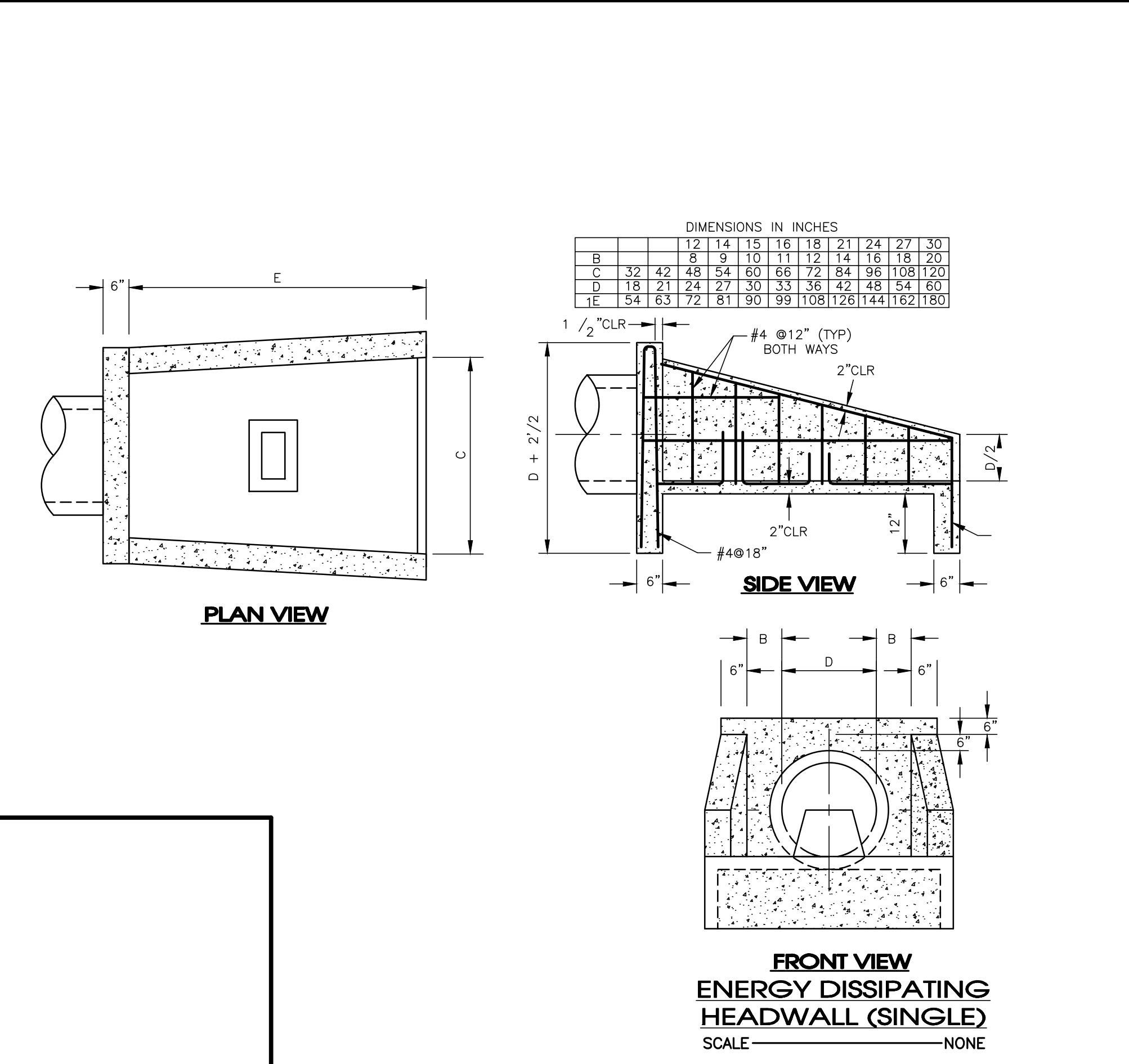
FILTREXX CONCRETE WASHOUT
SCALE: NONE



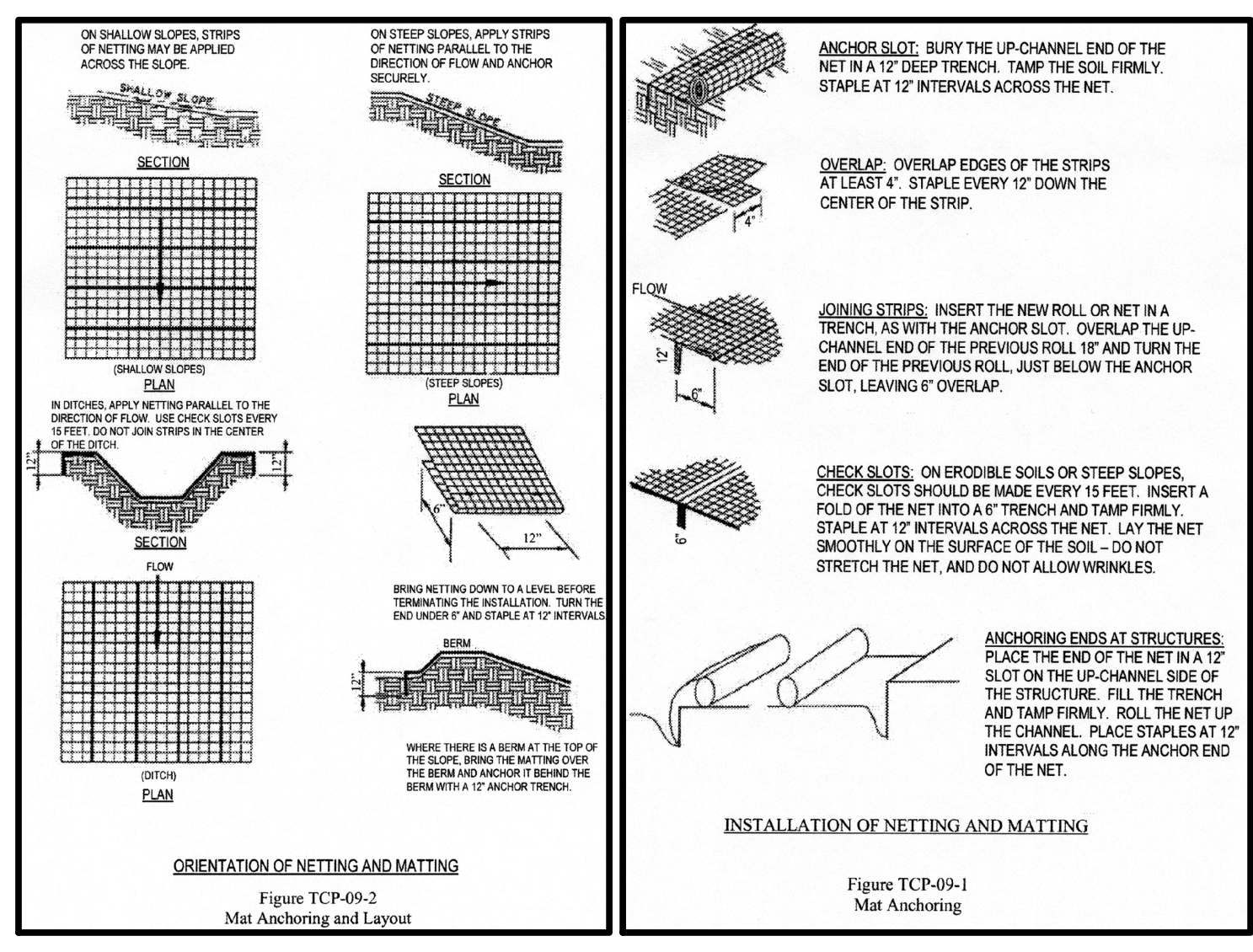
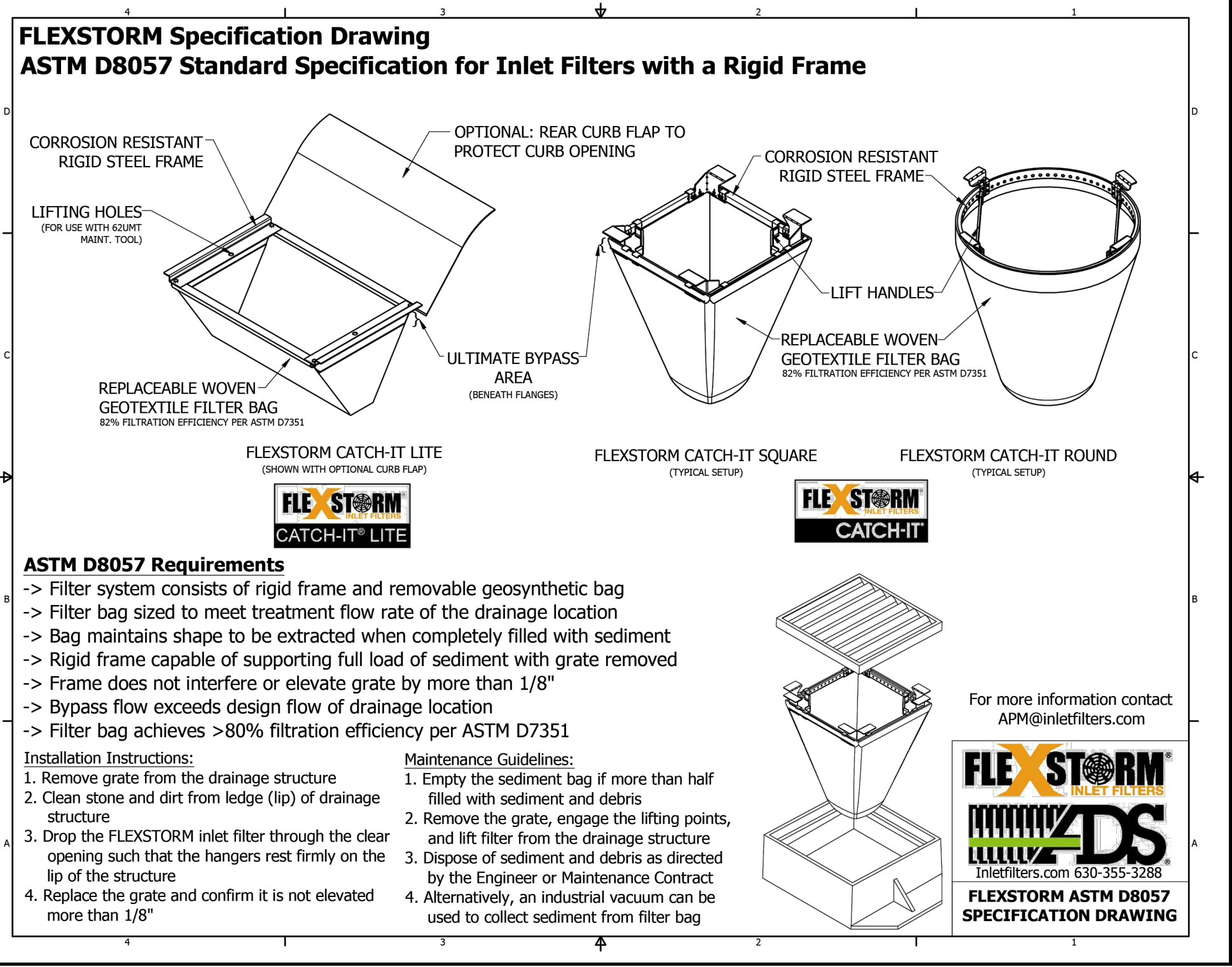
FILTREXX SEDIMENT CONTROL
SCALE: NONE



STANDARD SEWER DETAILS
CITY OF LA VERGNE, TENNESSEE

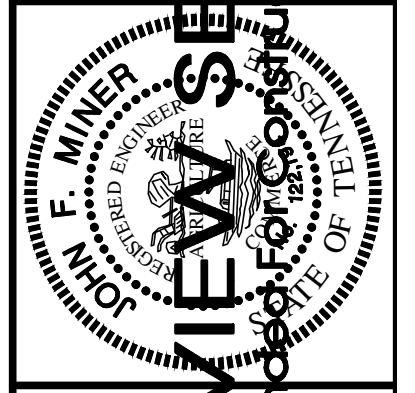


TRENCH BEDDING FOR STORM DRAIN
SCALE: NONE



INSTALLATION OF NETTING AND MATTING
SCALE: NONE

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REVIEW SET
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111 Irvin Road
Emrose Village
La Vergne, Tennessee

REVISED:	DRAWN: SJA/CFB3
DATE: 3-2-2026	CHECKED:
FILE NAME:	25364project
SCALE:	None
JOB NO.	25364
SHEET:	C5.0



Item #: 6. Site Plan - 425 Industrial Boulevard - New Building Consisting of 10,800 Square Feet on 4.14 Acres. Property located at 425 Industrial Blvd. (Tax Map 29, Parcel 7.01). GD (Gateway District) Zoning District. Property owned by Sitepro Rentals, Inc. Requested by Dewey Engineering.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

IN THE NEW ZONING:

Point #1 - Gateway District allows Industrial Services (GD actually functions like a light industrial zone)

Industrial Services means: An establishment engaged in the repair, servicing, or contracting of industrial, business, or consumer machinery, equipment, products, or by-products. These establishments may service consumer goods by providing centralized services for other businesses. Examples include building maintenance services, construction contractors, landscape services, and similar establishments engaged in performance of services off-site. Therefore staff recommendation is that **this bus company falls under "and similar establishments engaged in performance of services off-site."** Naturally nearly all of this bus company's services are off-site so it fits well in GD.

Point #2 - Gateway District allows Industrial Sales

Industrial Sales means: Retail or wholesale sales of bulk materials used for manufacturing, construction, machinery and equipment, or landscape materials, such as mulch or stone.

Staff Interpretation: Buses parked here could not be more intrusive than "bulk materials used for manufacturing, construction, machinery and equipment, or landscape materials, such as mulch or stone.

NOTE ON OUTDOOR STORAGE VS. DISPLAY

1. The display of equipment which is for sale **or rental** such as the Wise coaches and school buses is an integral part of their business, PLUS the new ord says display such as this is NOT included in outdoor storage definition.

Because the Gateway District (GD) actually functions like a light industrial zone that means no architectural standards apply. See page 159.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergetn.gov; and Jake Blair - jblair@lavergetn.gov)

1) The question of whether a sidewalk will be built needs to be discussed. If built, the sidewalk shall span the entire road frontage.

Engineering (Gary Lide - glide@lavergn.net)

No comments.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

1. City believes existing private grinder pump tank condition is unusable.
2. New private grinder pump and control panel is required.
3. Existing low-pressure sewer force main is 3-inch diameter and likely too large to provide at least 2 fps velocity. The City typically uses WH101, E-One grinder pumps, 240V, in our networked low-pressure sewer systems, which pump at around 8-14 gpm.
4. Existing 3-inch low-pressure force main only serves this property and discharges to a city gravity sewer manhole located at the very southwest corner of the property at 501 Mason Rd (adjacent Mason Rd). Developer will likely need survey and a design to replace the 3" force main to this manhole with a properly sized sewer forcemain for this development.
5. Existing 3-inch low-pressure force main is currently routed in TDOT ROW within Industrial Blvd, and will require a Utility Use Agreement between developer and the City. Scott Tatalovich, City Utility Engineer, will email a copy of the required agreement to the developer's engineer.
6. Existing Sewer cleanout shown on the plans just southeast of the existing grinder pump tank location has other text written over the top of the "Existing Cleanout" text.
7. Per investigation by City Public Works staff, the existing 2" Water service appears to be abandoned. The City looked and cannot find a box with meter and setter. Abandoned water services are cut and disconnected at the mainline, and the corp stop is turned off. No spliced water services are allowed, therefore, a new irrigation service line will be required. It may be tapped off the proposed 6-inch combined fire and domestic water service line on the development's side of the property, prior to the fire and domestic water meter.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

No comments.

Police

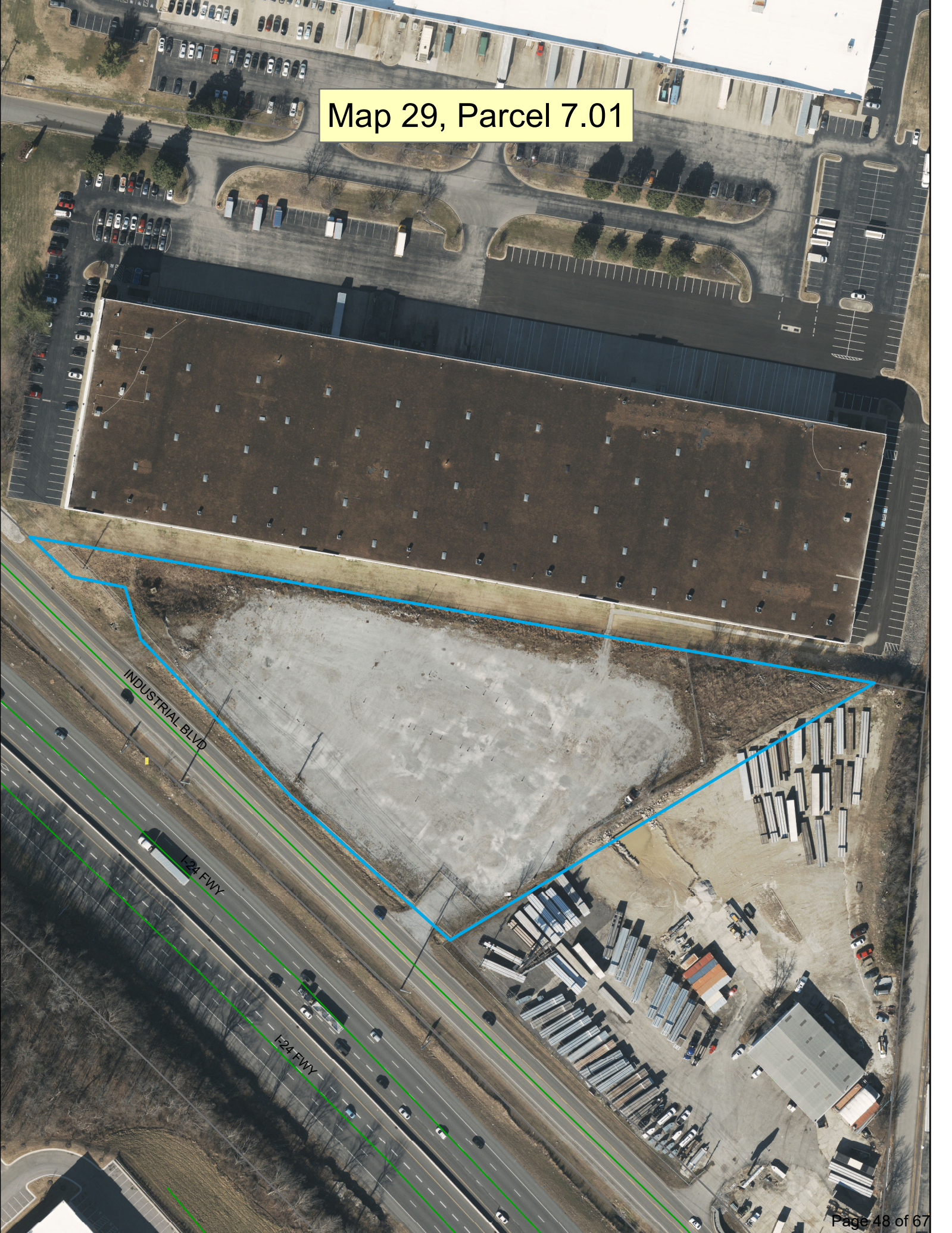
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

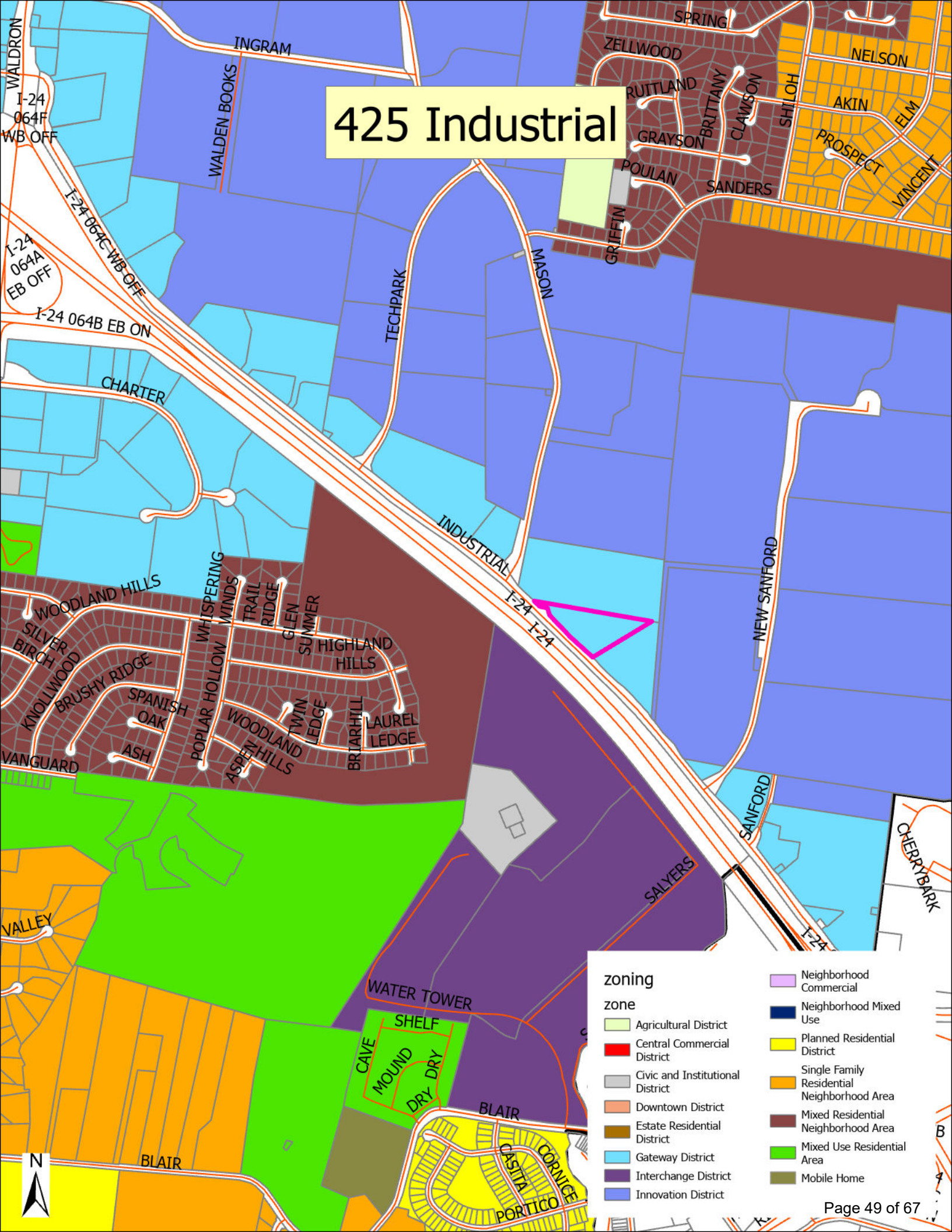
Map 29, Parcel 7.01



Map 29, Parcel 7.01



425 Industrial



zoning

zone

- Agricultural District
- Central Commercial District
- Civic and Institutional District
- Downtown District
- Estate Residential District
- Gateway District
- Interchange District
- Innovation District
- Neighborhood Commercial
- Neighborhood Mixed Use
- Planned Residential District
- Single Family Residential
- Neighborhood Area
- Mixed Residential Neighborhood Area
- Mixed Use Residential Area
- Mobile Home



For Sale
4.14 Acres of Industrial Land
425 Industrial Blvd
Call: 615.785.0000
Keller Williams

For Sale
4.14 Acres of Industrial Land
425 Industrial Blvd
For Leasing Information
Griffin Farriss
615.795.0000

ZAX
EXIT 66B · TURN LE
LEASE





THOMAS L. ANDERSON,
ARCHITECT, INC.
303 SOUTH MAIN STREET
GOODLETTSVILLE, TENNESSEE 37072
PHONE: 615.448.6848

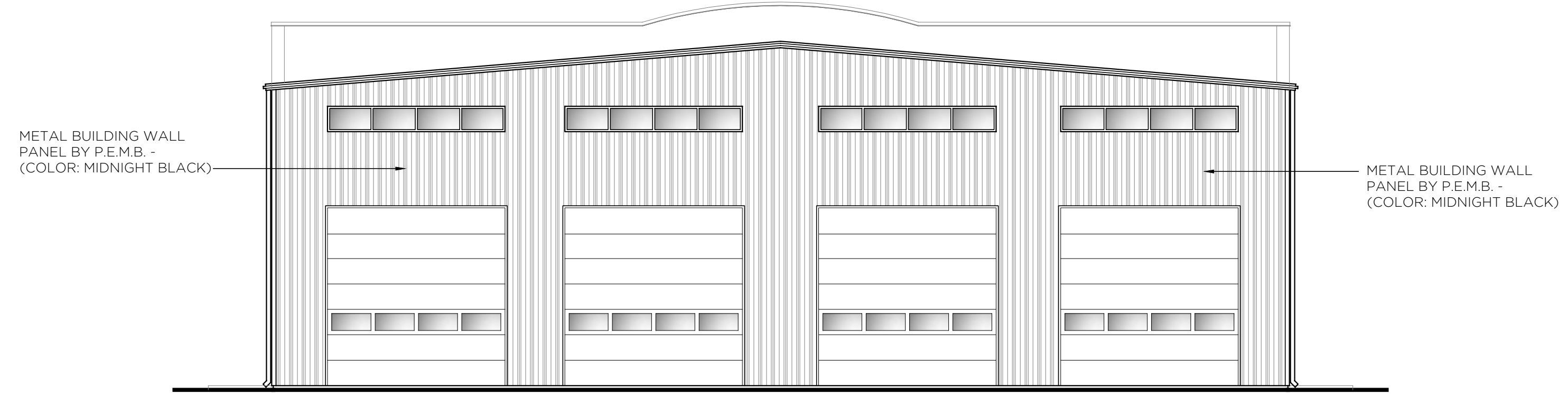
PROPOSED SOUTH ELEVATION FOR
SIGNATURE TRANSPORTATION SERVICES

425 INDUSTRIAL BOULEVARD
LAVERGNE, TENNESSEE 37086

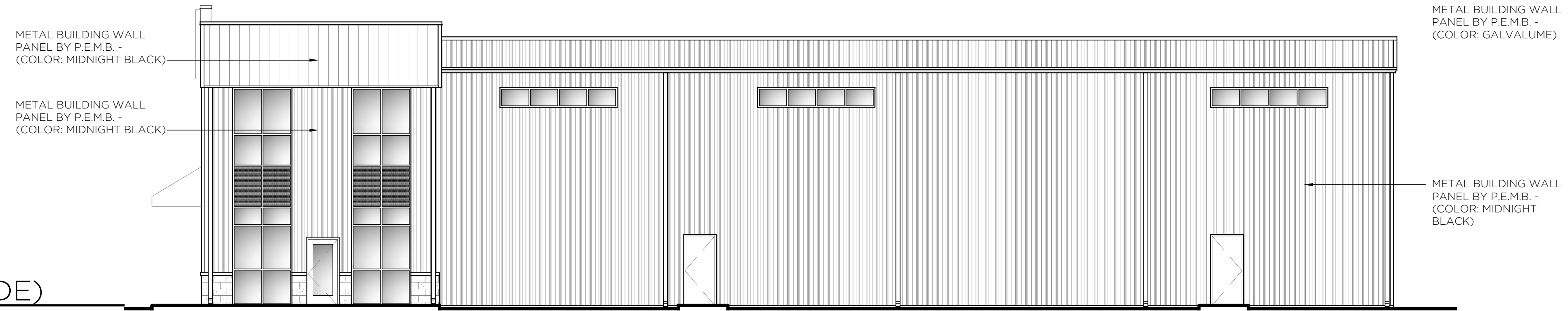
1 SOUTH ELEVATION (FRONT)
A1.3 SCALE: 1/8"=1'-0"



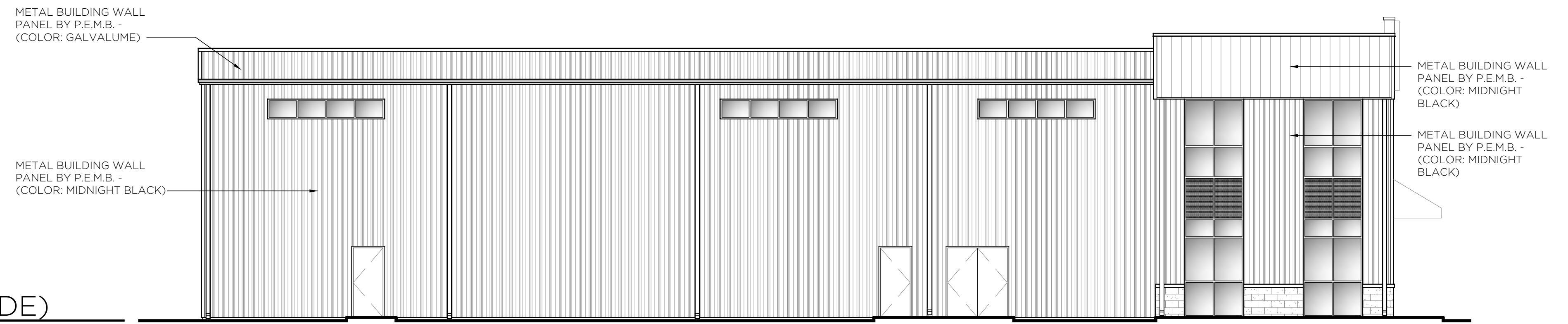
2 NORTH ELEVATION (REAR)
A1.3 SCALE: 1/8"=1'-0"



3 EAST ELEVATION (R. SIDE)
A1.3 SCALE: 1/8"=1'-0"



4 WEST ELEVATION (L. SIDE)
A1.3 SCALE: 1/8"=1'-0"



THOMAS L. ANDERSON,
ARCHITECT, Inc.
303-A SOUTH MAIN STREET
GOODLETTSVILLE,
TENNESSEE 37072
PHONE: (615) 448-6848
FAX: (615) 448-6850

T&A
ARCHITECT

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Drawings, written material, and design concepts
shall not be used or reproduced in whole or part in
any form or format without prior written consent of
Thomas L. Anderson, Architect, Inc. Do not scale
drawings. Use given dimensions only. If not shown,
verify correct dimensions with Architect.
Contractor shall check and verify all dimensions and
conditions at the job site.

A NEW FACILITY FOR
SIGNATURE ELITE
CHARTERS

425 INDUSTRIAL BOULEVARD
LA VERGNE, TENNESSEE 37086
PROJECT NO.: 26030

EXTERIOR
ELEVATIONS

REVISIONS:

DRAWN BY: CHK'D BY:

DATE:

SHEET:
A1.3



METAL PANELS BY P.E.M.B.
COLOR: MIDNIGHT BLACK



SPLIT FACE CMU
COLOR: GRAY

ACTUAL SAMPLES TO BE ADHERED TO FINAL BOARD



THOMAS L. ANDERSON,
ARCHITECT, INC.
303 SOUTH MAIN STREET
GOODLETTSVILLE, TENNESSEE 37072
PHONE: 615.448.6848

COLOR SELECTIONS FOR
SIGNATURE TRANSPORTATION
SERVICES
425 INDUSTRIAL BOULEVARD
LAVERGNE, TENNESSEE 37086

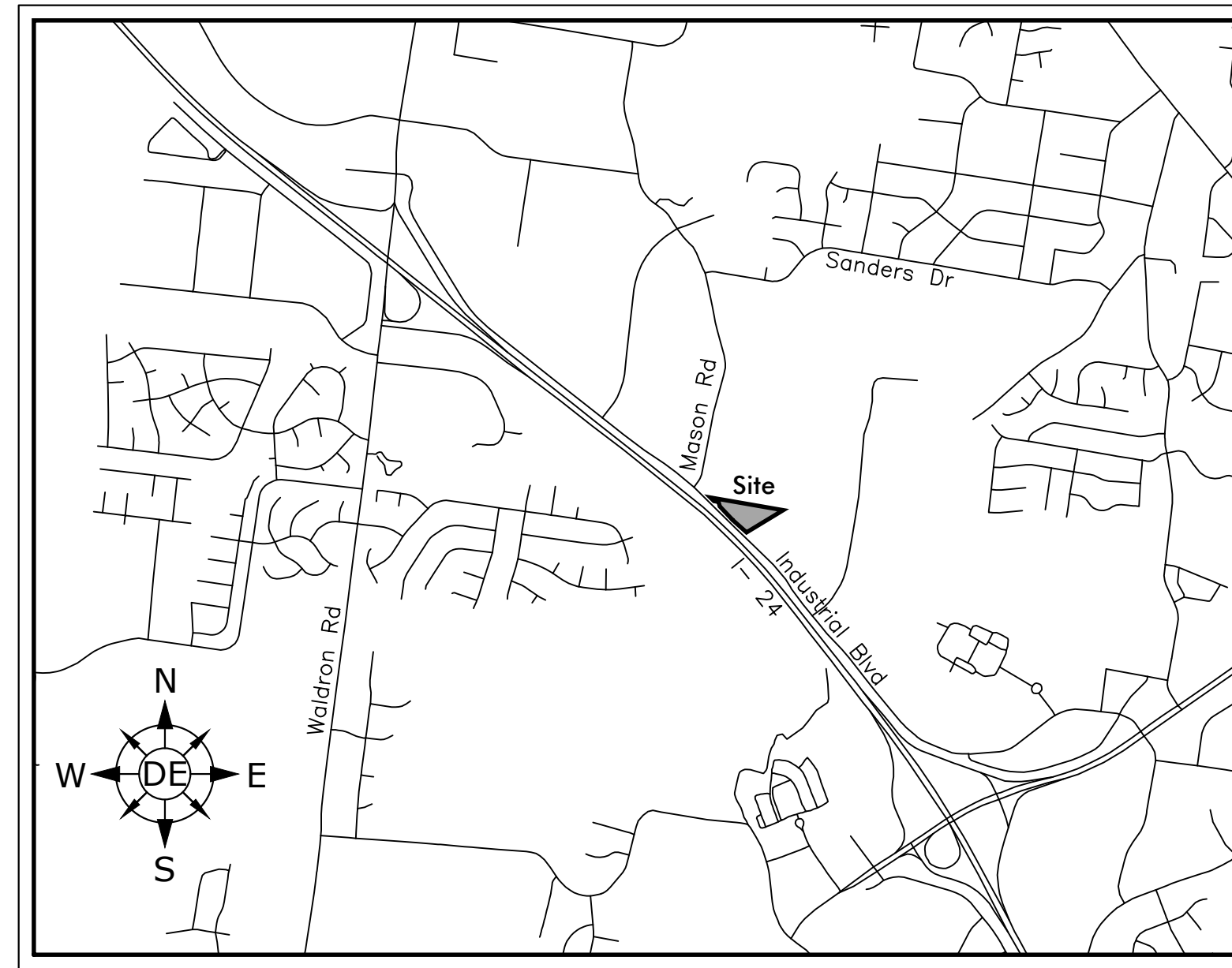
Site Plan for 425 Industrial Boulevard

Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee

Revisions:

Date: March 27, 2026

SITE DATA CHART	
ZONING DISTRICT	GD
EXISTING USE	VACANT
PROPOSED USE	INDUSTRIAL SERVICES
DENSITY	NA
SQUARE FOOTAGE OF BUILDING	10,800 SF
FLOOR AREA RATIO	6.0%
ACREAGE/SQUARE FOOTAGE OF LOT	4.14 ACRES/180,343 SF
PARKING	
PARKING REQUIREMENTS	1/1000 SQ FT OF INDUSTRIAL = 10,800/1000 = 11 STALLS
TOTAL PARKING PROVIDED	15 STALLS
LANDSCAPING & BUFFERING	
IMPERVIOUS SURFACE AREA	119,018 SF



Vicinity Map
NTS

Owner Sitepro Rentals INC Contact: Lewisville, TX 75067 Phone: Email:	Flood Note No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J. Dated: May 9, 2023
Applicant/Engineer Dewey Engineering Contact: Michael Dewey 2925 Berry Hill Dr Nashville, TN 37204 Phone: (615) 401-9956	

Project Notes

1. The purpose of this submittal is to obtain approval of the Site Plan for the 425 Industrial Boulevard. The scope of this project is to install a commercial building with parking and private utilities.
2. Any excavation, fill or disturbance of the existing ground must be done in accordance with the standards of City of La Vergne.

Sheet Schedule

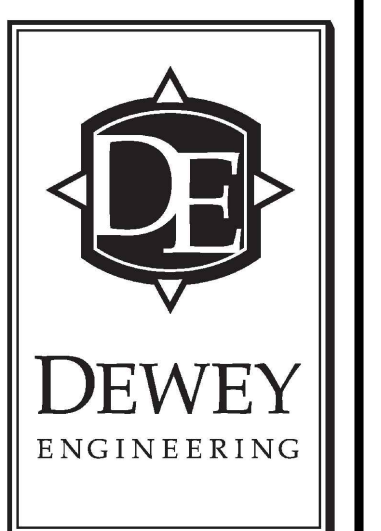
1	C0.0	Cover Sheet
2	C1.0	Existing Conditions & Initial Erosion Control Plan
3	C2.0	Intermediate Erosion Control Plan
4	C3.0	Overall Layout Plan
5	C4.0	Grading and Drainage Plan
6	C5.0	Details
7	C6.0	Water & Sewer Plans
8	C7.0	Water & Sewer Details
9	L1.0	Landscape Plan
10	L1.1	Landscape Notes

Approval Note:

Gary Lide, Director of Engineering, City of La Vergne
Date: _____

425 Industrial Boulevard

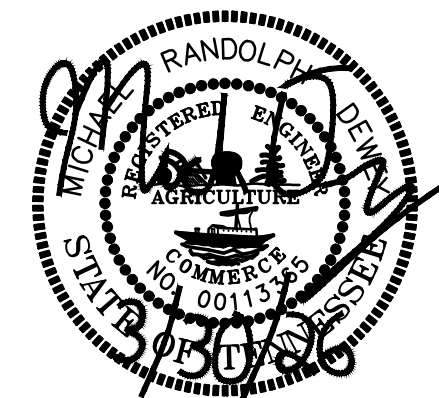
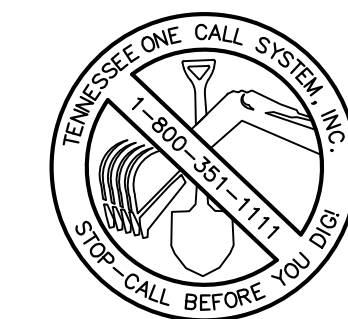
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Cover Sheet

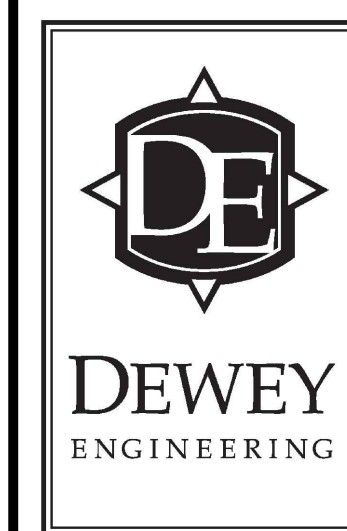
C0.0

1 of 10



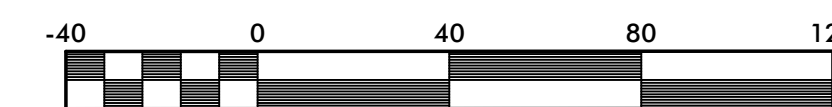
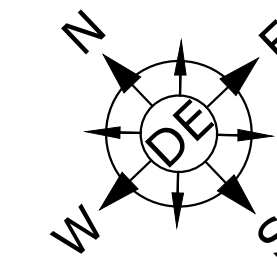
425 Industrial Boulevard

Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Existing Conditions & Initial Erosion Control Plan

C1.0

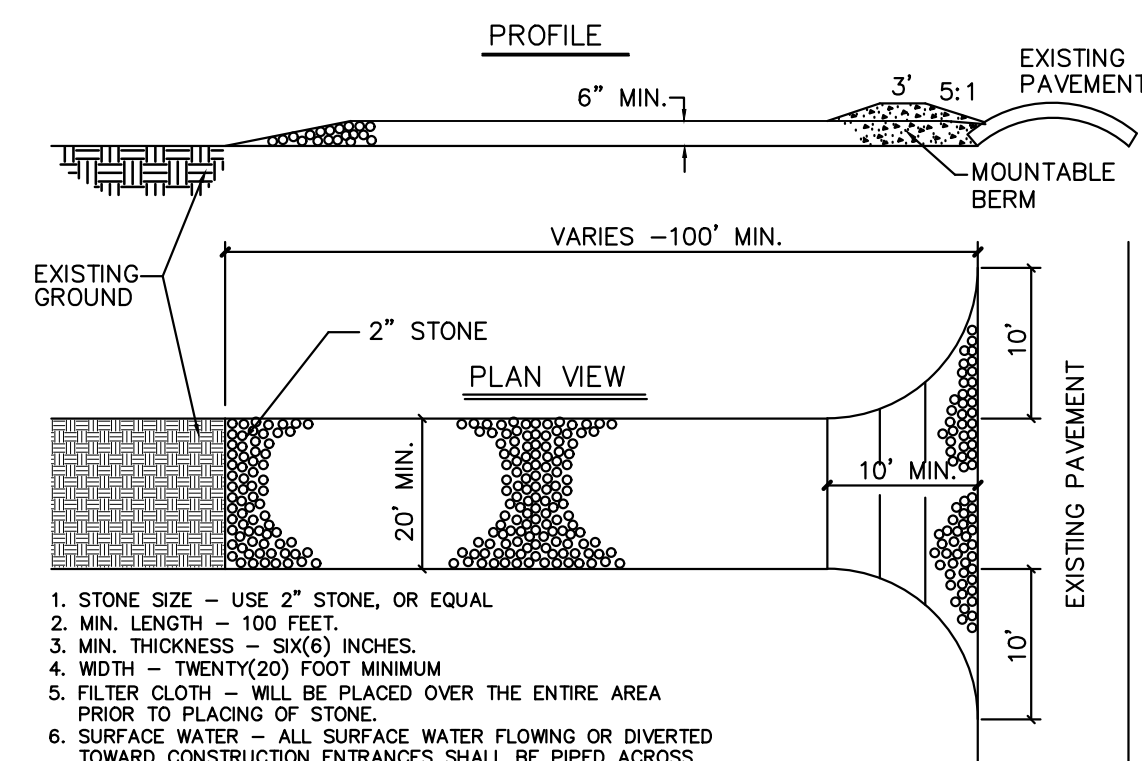


Scale 1" = 40'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact: [REDACTED]
Lewisville, TX 75067
Phone:
Email:

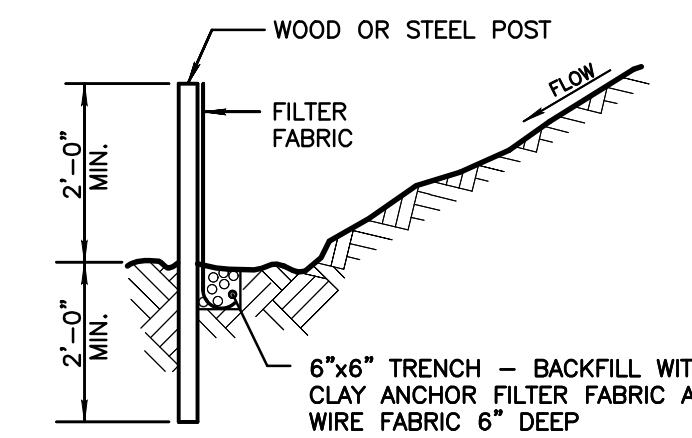
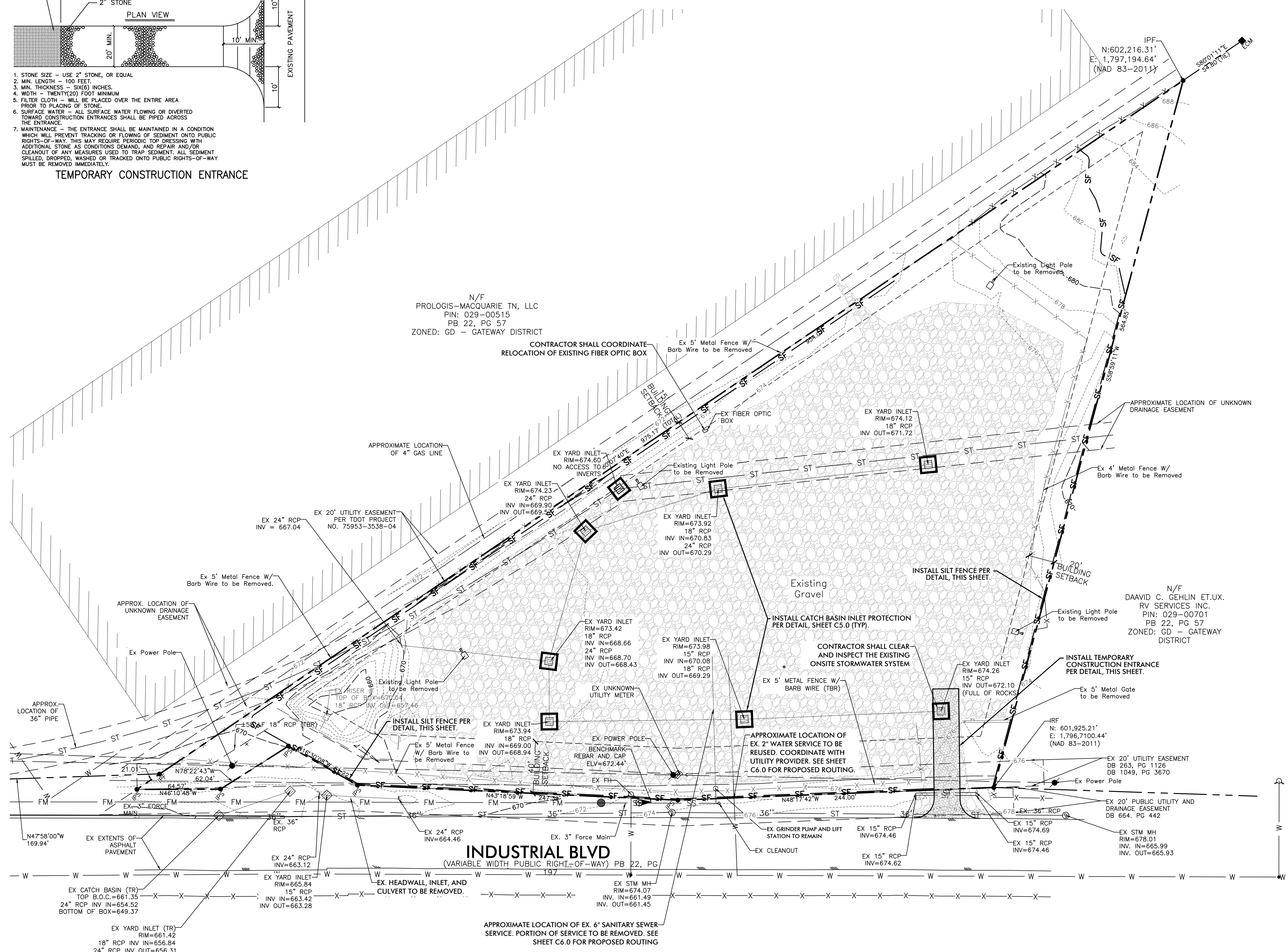
ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023



1. STONE SIZE - USE 2" STONE, OR EQUAL
2. MIN. LENGTH - 100 FEET
3. MIN. THICKNESS - SIX(6) INCHES
4. WIDTH - TWENTY(20) FOOT MINIMUM
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

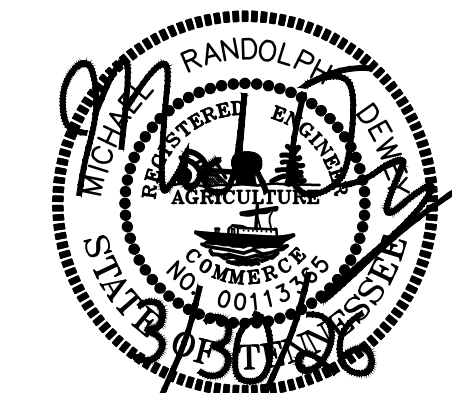
TEMPORARY CONSTRUCTION ENTRANCE



- NOTES:
1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
 2. STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
 3. WOOD POSTS SHALL BE 2"x 2" MIN., OAK OR SIMILAR HARDWOOD.
 4. POSTS SHALL BE SPACED AT 6' INTERVALS.
 5. FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
 6. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORP'S OF ENGINEERS GUIDE SPEC. CW 02215. WITH EQUIVALENT OPENING SIZE (EOS) OF NO.100 SIEVE MIN., NO. 40 SIEVE MAX., AS DETERMINED

- MAINTENANCE NOTES:
1. INSPECT TWICE WEEKLY, 72 HOURS APART AND AFTER EACH RAINFALL
 2. REPAIR WHEREVER FENCE IS DAMAGED.
 3. REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE
 4. REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH REMOVE SEDIMENT ACCUMULATION, AND GRADE

SILT FENCE DETAIL
NOT TO SCALE



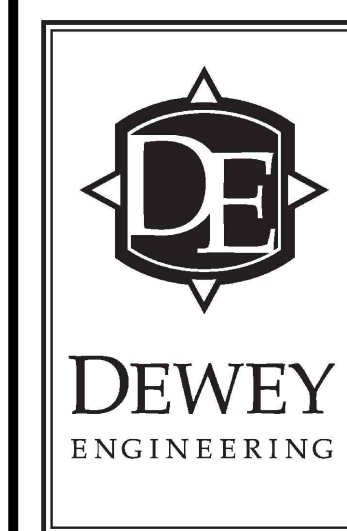
Revisions:

Drawing Notes:

Date: March 27, 2026

425 Industrial Boulevard

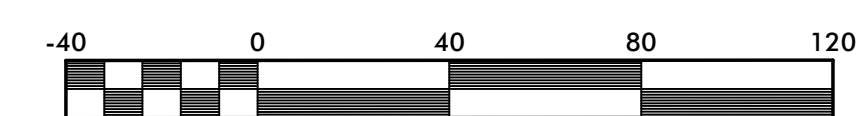
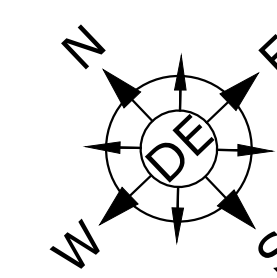
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Intermediate
Erosion Control
Plan

C2.0

3 of 10



Scale 1" = 40'
Site Area = 4.14 Acres

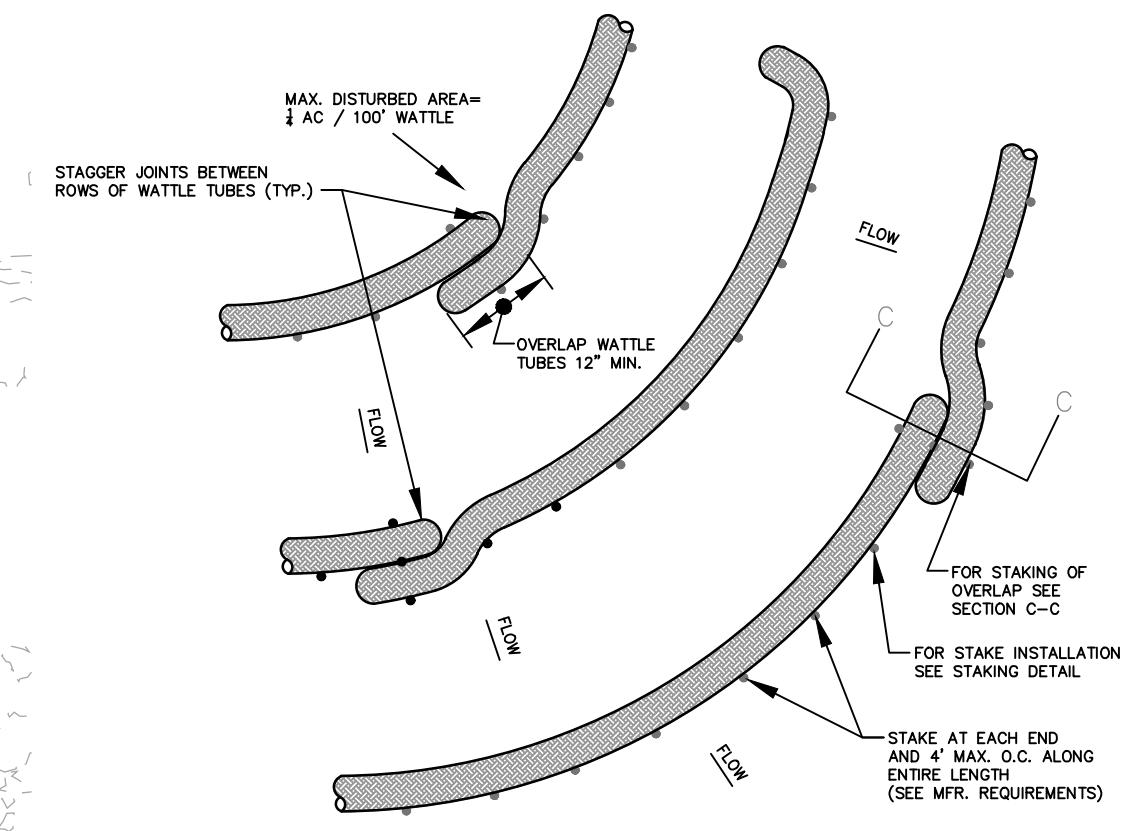
Owner
Sitepro Rentals INC
Contact:
Lewisville, TX 75067
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

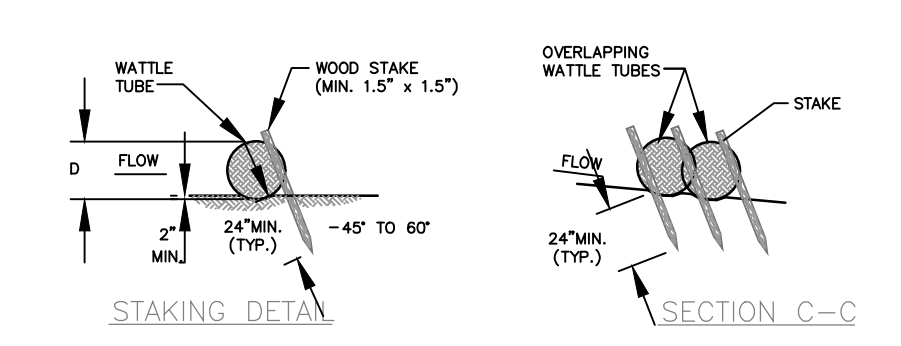
FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

	Headwall
	Storm Catch Basin
	Storm Pipe
	Fire Hydrant
	Water Main
	Sewer Manhole
	Sewer Main

Legend

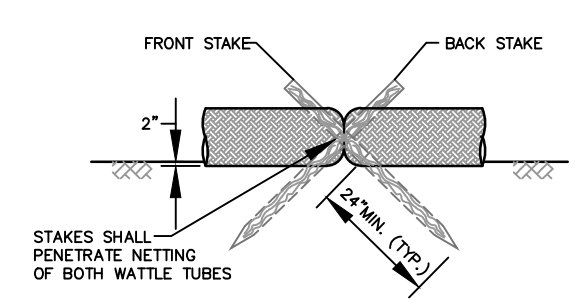


PLAN VIEW FOR SLOPE APPLICATION



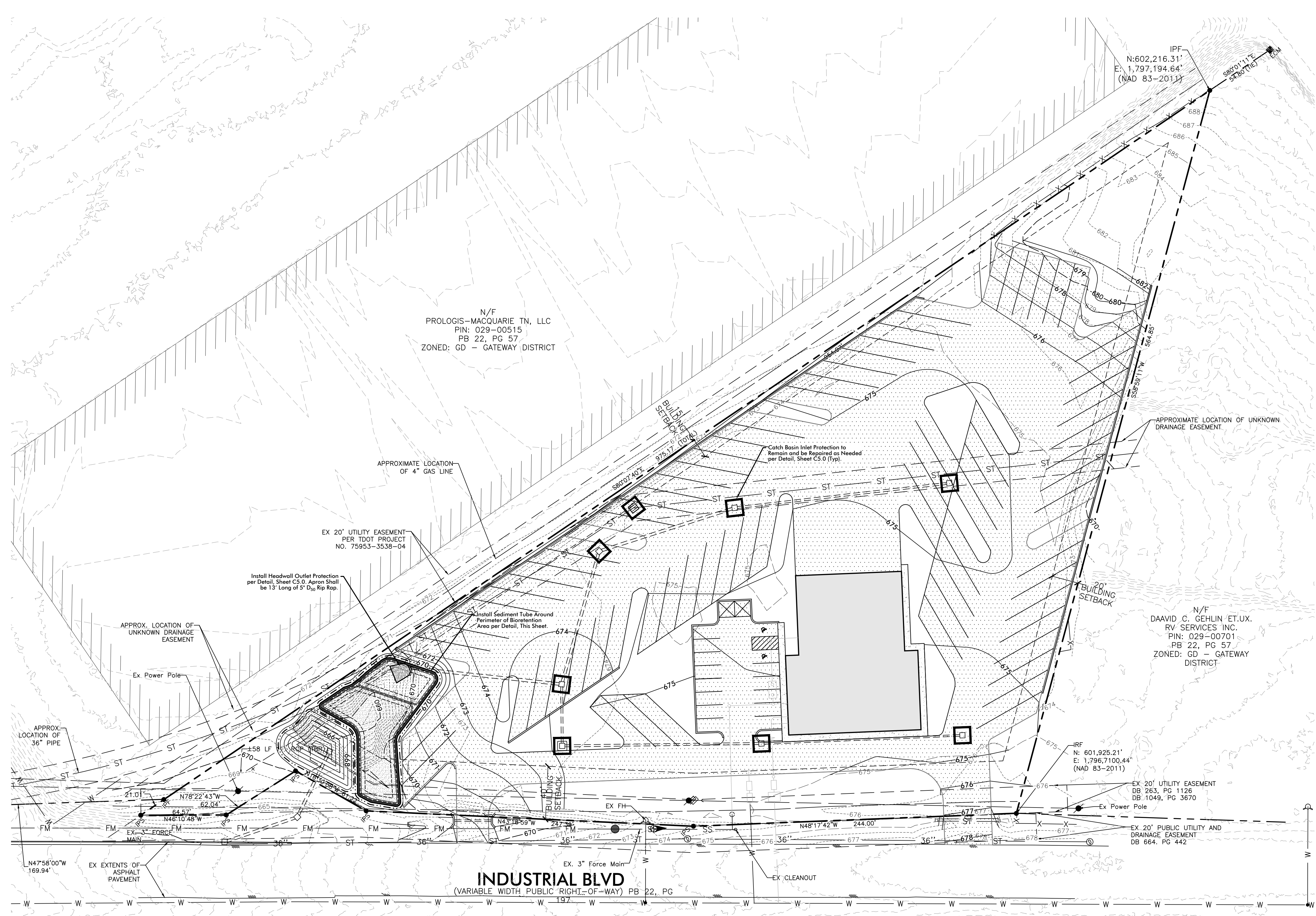
STAKING DETAIL

SECTION C-C



JOINT STAKING DETAIL

SEDIMENT TUBE DETAIL (TCP-14)
NOT TO SCALE



N/F
PROLOGIS-MACQUARIE TN, LLC
PIN: 029-00515
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

N/F
DAVID C. GEHLIN ET UX,
RV SERVICES INC.
PIN: 029-00701
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

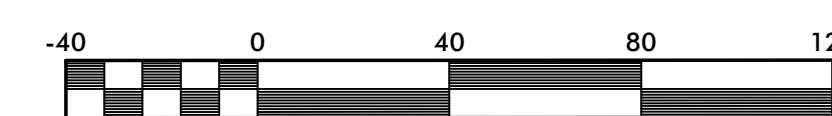
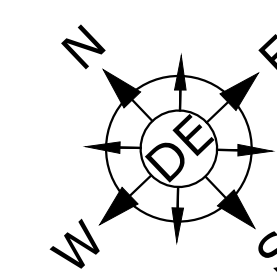
INDUSTRIAL BLVD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) PB 22, PG

425 Industrial Boulevard

Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee

Overall Layout Plan

C3.0



Scale 1" = 40'
Site Area = 4.14 Acres

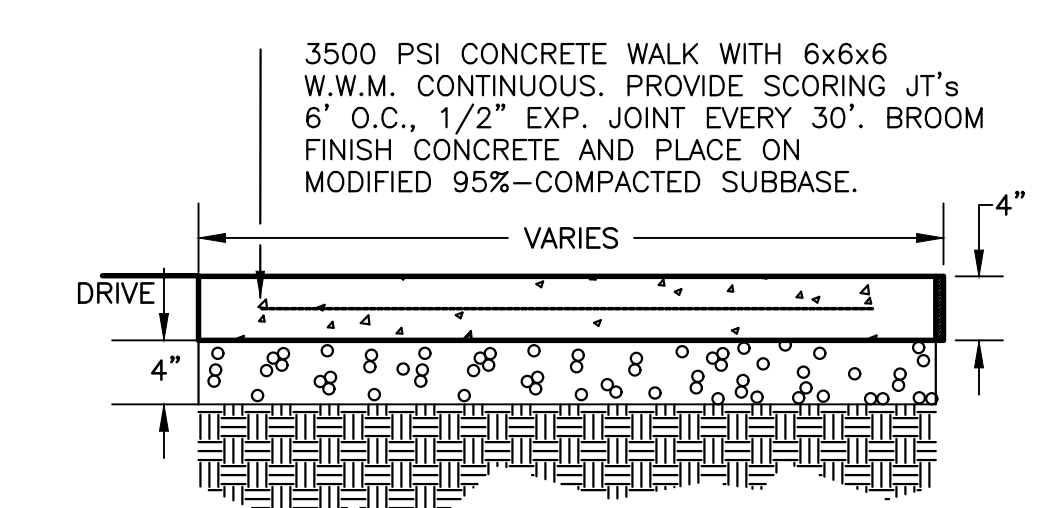
Owner
Sitepro Rentals INC
Contact: [REDACTED]
Lewisville, TX 75067
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

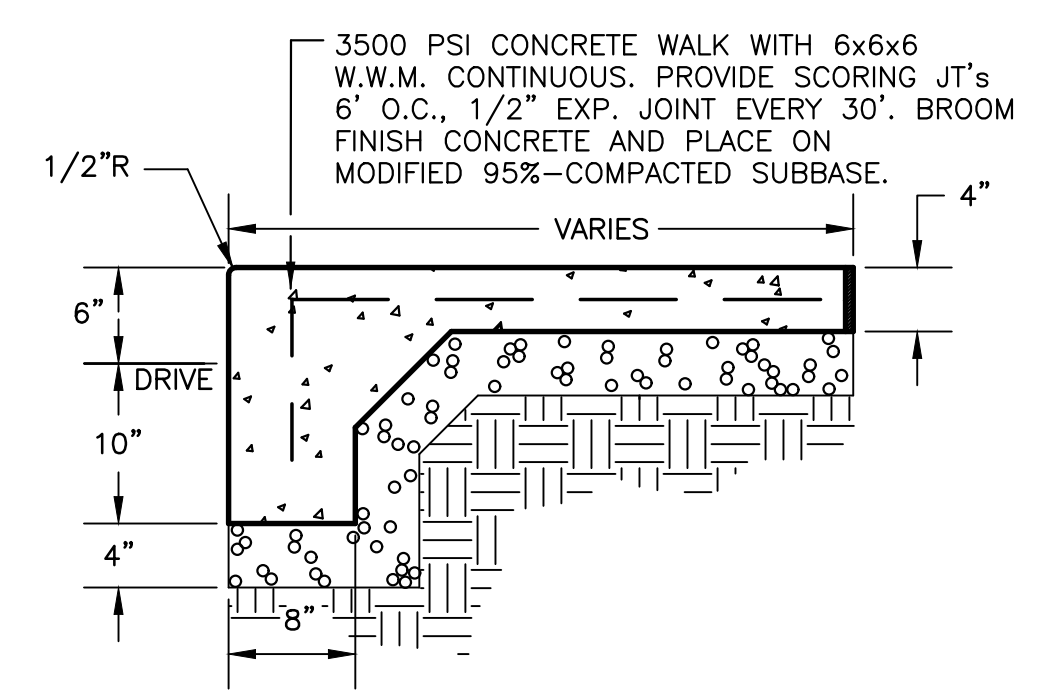
FLOOD NOTE
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Dated: May 9, 2023

	Headwall
	Storm Catch Basin
	Storm Pipe
	Fire Hydrant
	Water Main
	Sewer Manhole
	Sewer Main

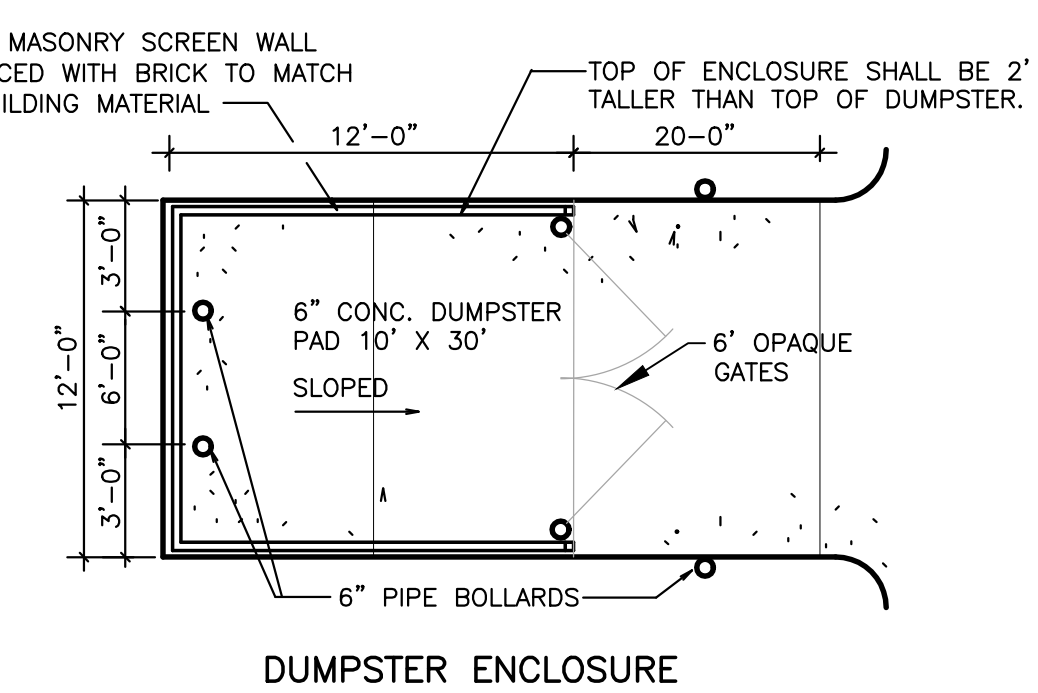
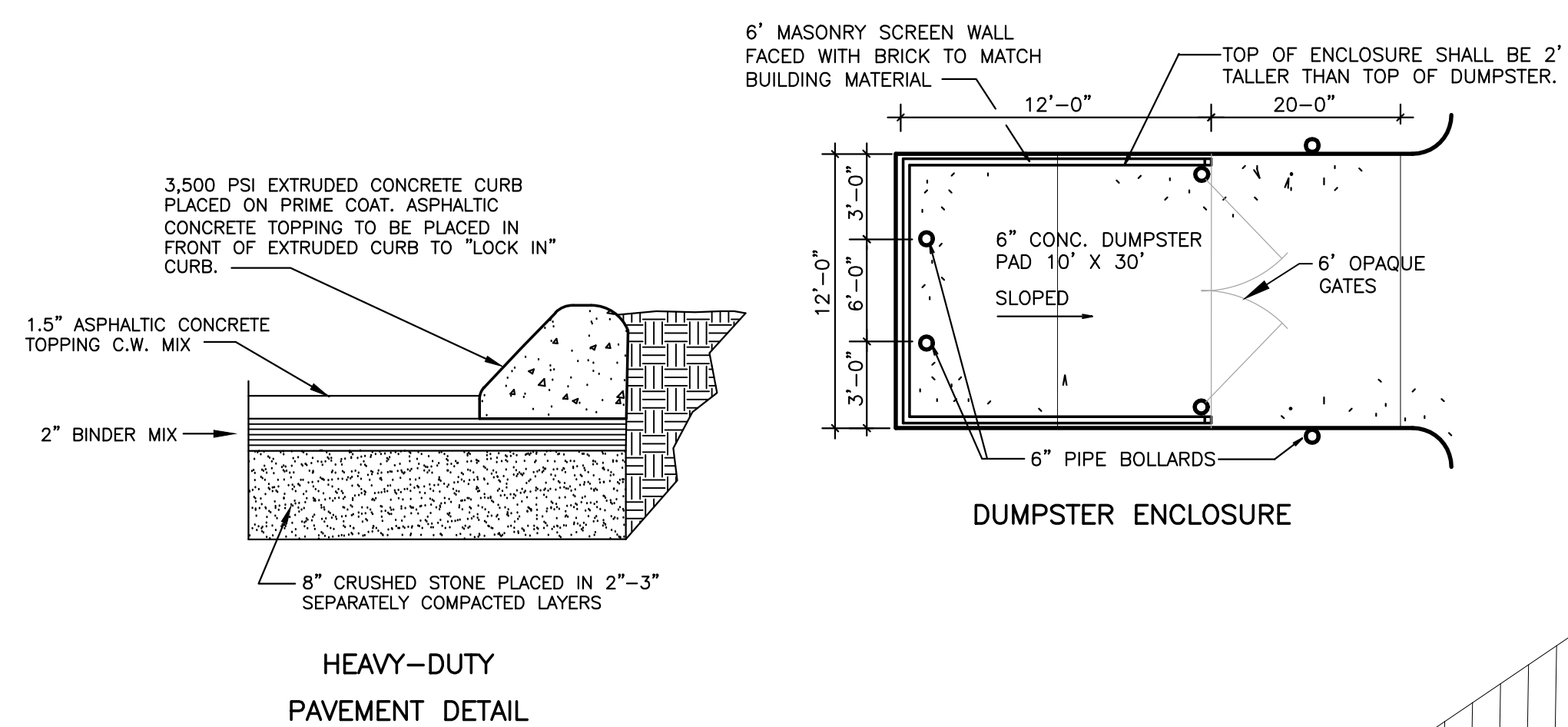
Legend



FLUSH SIDEWALK DETAIL

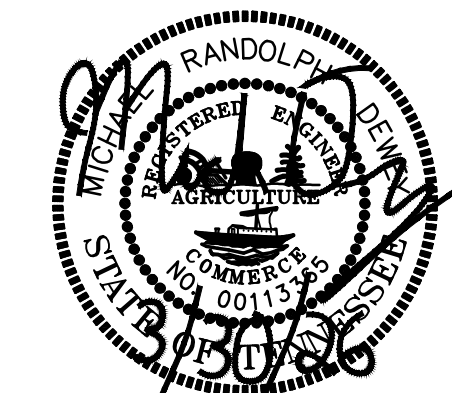
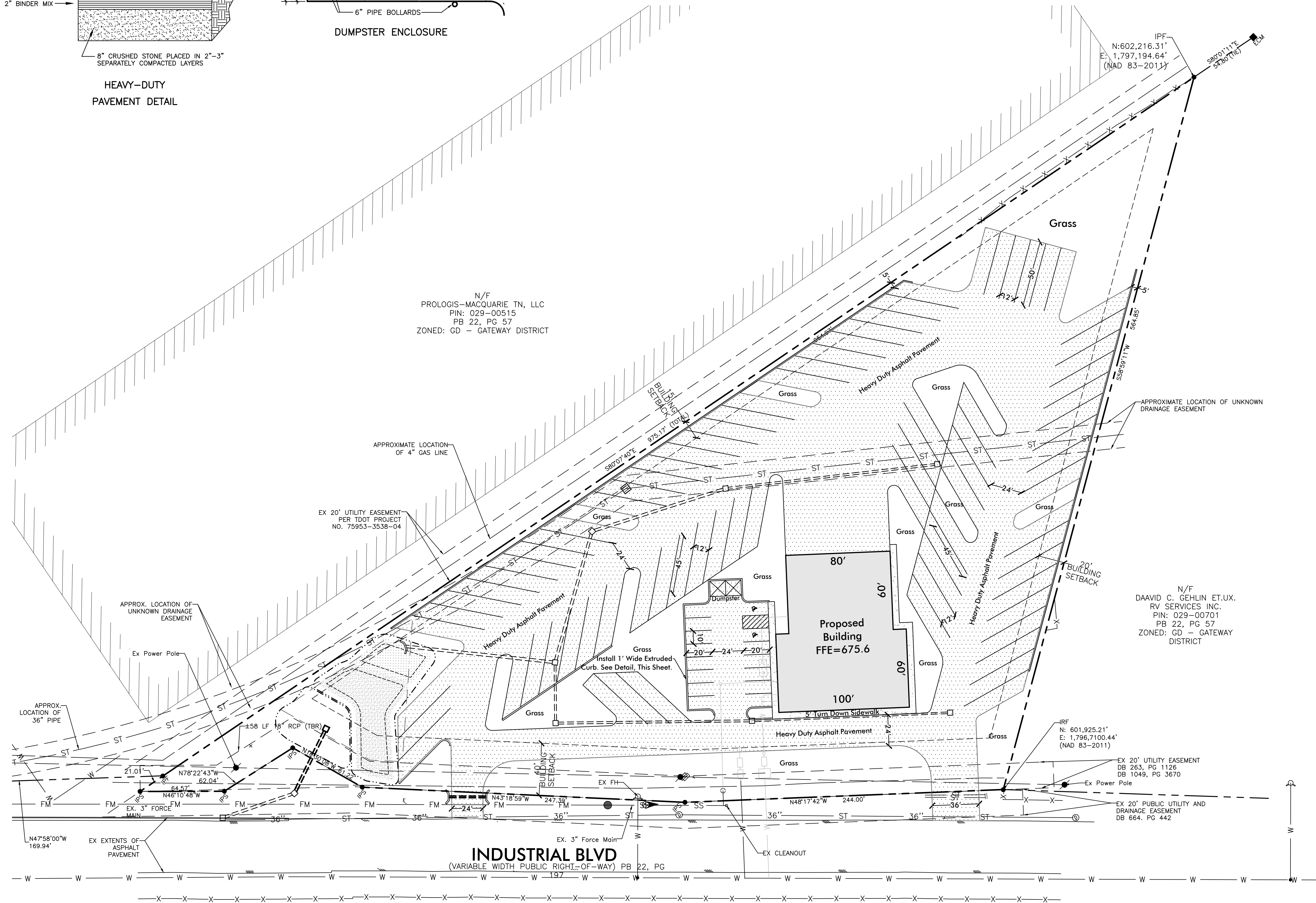


SIDEWALK DETAIL



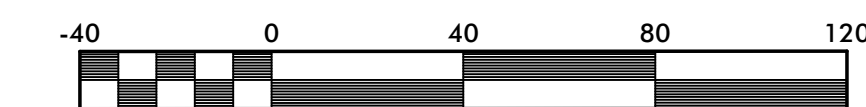
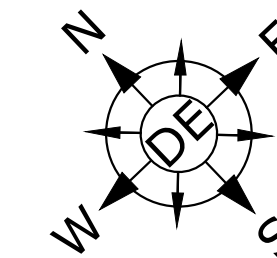
N/F PROLOGIS-MACQUARIE TN, LLC
PIN: 029-00515
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

N/F DAAVID C. GEHLIN ET.UX.
RV SERVICES INC.
PIN: 029-00701
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT



Structure Table				
STRUCTURE LABEL	STRUCTURE TYPE	T.C. ELEV	INVERT IN	INVERT OUT
ExD01	EXISTING CATCH BASIN	661.35	654.52	
ExD02	EXISTING YARD INLET	661.42	656.84	656.31
ExD03	EXISTING YARD INLET	673.42	668.70	668.43
ExD04	EXISTING YARD INLET	674.23	669.90	669.57
ExD05	EXISTING YARD INLET	673.92	670.83	670.29
ExD06	EXISTING YARD INLET	674.12		671.72
ExD07	EXISTING YARD INLET	673.94	669.00	668.94
ExD08	EXISTING YARD INLET	673.98	670.08	669.29
ExD09	EXISTING YARD INLET	674.26		672.10
ExHW01	EXISTING PIPE DAYLIGHT	669.79	667.04	
HW01	HEADWALL	669.45	667.20	
HW02	HEADWALL	670.50		668.25
OUT01	OUTLET STRUCTURE	667.65		661.90

Pipe Table						
DOWNSTREAM STRUCTURE	INVERT	UPSTREAM STRUCTURE	INVERT	PIPE SIZE (in)	LENGTH (ft)	SLOPE
ExD01	654.52	ExD02	656.31	24" RCP	58	3.09%
ExHW01	667.04	ExD03	668.43	24" RCP	115	1.21%
ExD03	668.70	ExD04	669.57	24" RCP	104	0.83%
ExD04	669.90	ExD05	670.29	24" RCP	107	0.36%
ExD05	670.83	ExD06	671.72	18" RCP	163	0.55%
ExD03	668.66	ExD07	668.94	18" RCP	47	0.40%
ExD07	669.00	ExD08	669.29	18" RCP	150	0.19%
ExD08	670.08	ExD09	672.10	15" RCP	152	1.33%
HW01	667.20	HW02	668.25	15" RCP	29	3.66%
ExD02	656.84	OUT01	661.90	24" RCP	55	9.20%



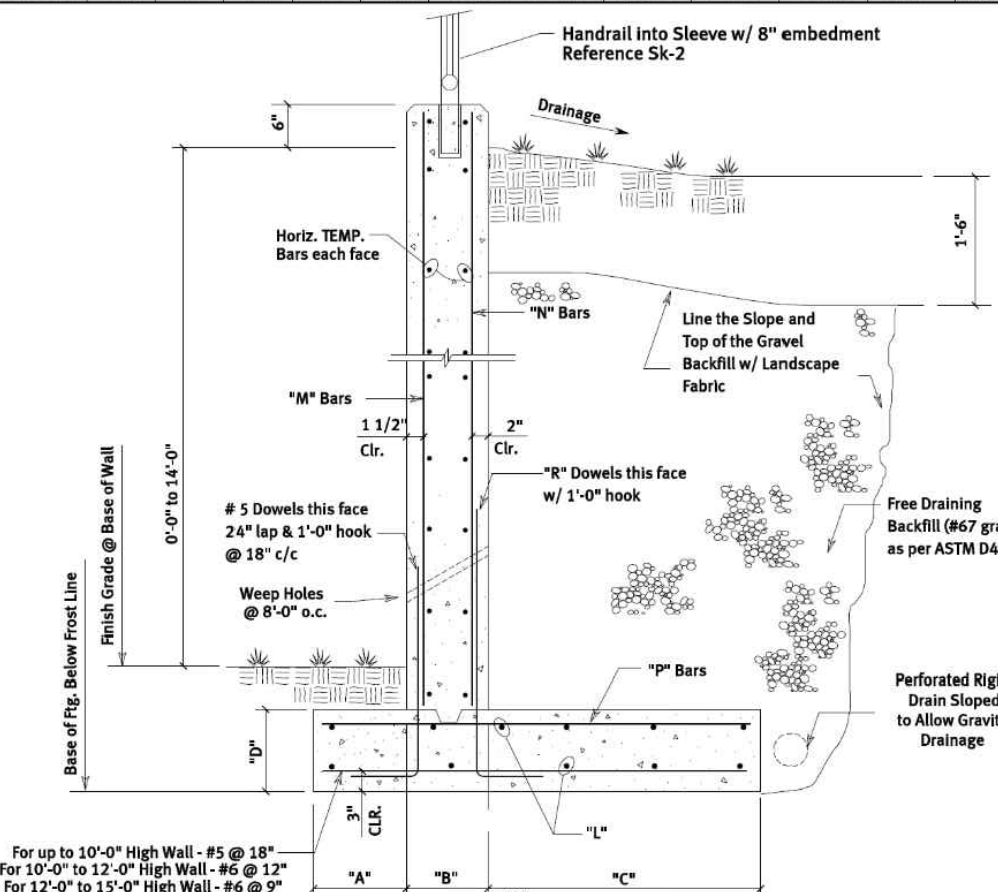
Scale 1" = 40'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact:
Lewisville, TX 75067
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

HEIGHT	BASE				REINFORCING BARS				TEMP.	P	L	
	W	A	B	C	D	R	S	T				
UP to 4ft	3'-3"	0'-9"	1'-0"	1'-6"	1'-0"	#5@18"	24" Lap	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
4ft to 6ft	4'-3"	1'-3"	1'-0"	2'-0"	1'-0"	#5@18"	24" Lap	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
6ft to 8ft	5'-4"	1'-9"	1'-0"	2'-9"	1'-0"	#5@18"	24" Lap	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
8ft to 10ft	6'-4"	2'-6"	1'-0"	3'-6"	1'-0"	#5@18"	30" Lap	#5@18"	#5@18"	#5@18"	#5@18"	#5@18"
10ft to 12ft	7'-9"	2'-9"	1'-0"	4'-6"	1'-0"	#7@12"	30" Lap	#5@18"	#7@12"	#5@18"	#7@12"	#5@18"
12ft to 15ft	8'-4"	3'-0"	1'-0"	4'-4"	1'-4"	#7@9"	36" Lap	#5@18"	#7@9"	#5@18"	#7@9"	#5@18"

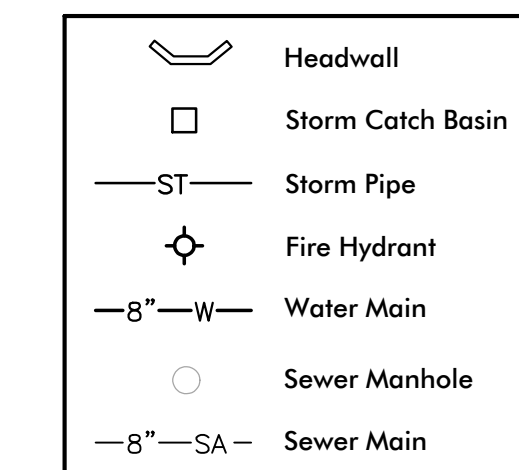


TYPICAL SITE RETAINING WALL

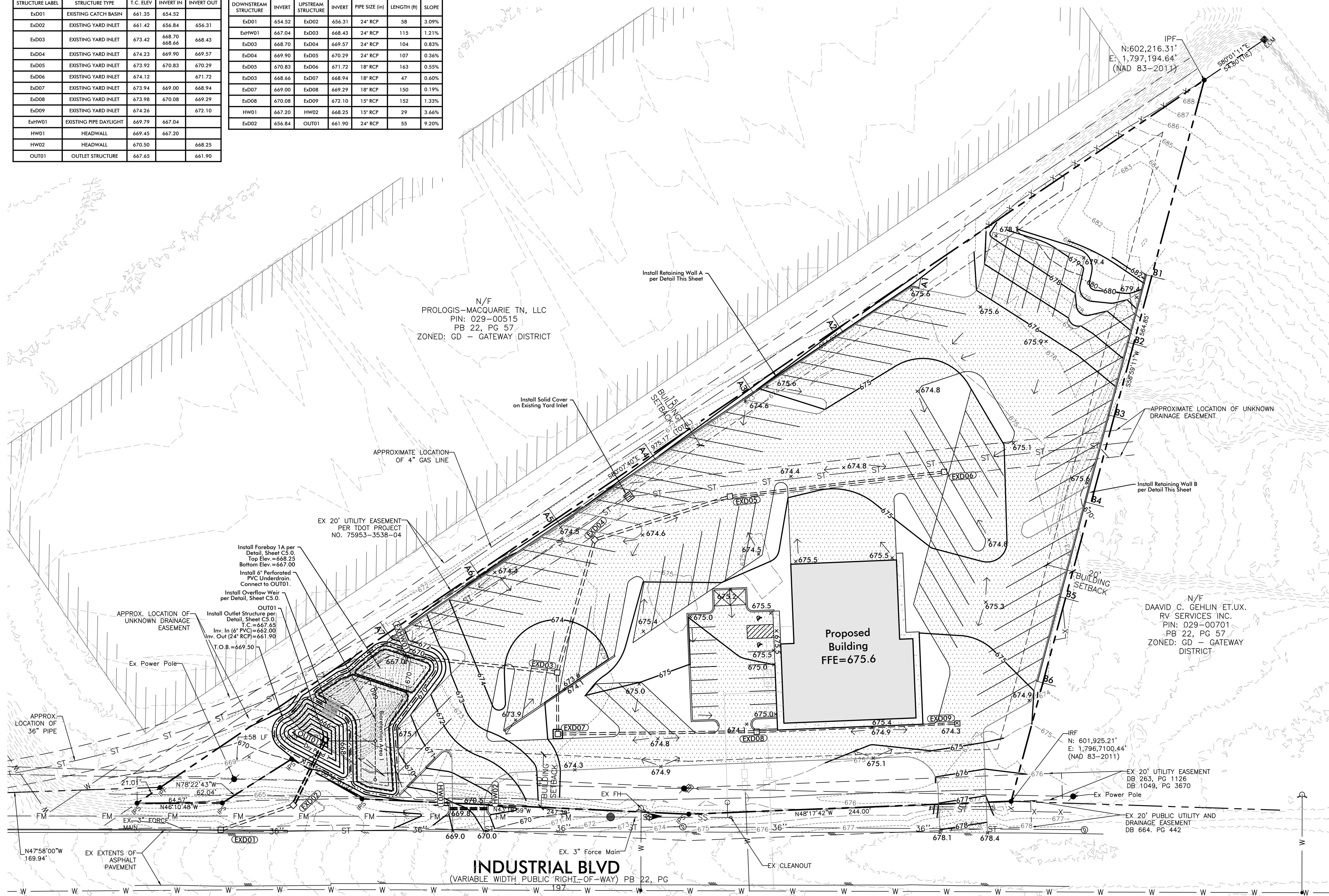
Retaining Wall Table

Wall 'A' Table			
Label	TOW	BOW	Height (ft)
A1	675.6	675.6	0.0
A2	675.6	673.0	2.6
A3	674.8	672.5	2.3
A4	674.6	672.0	2.6
A5	674.5	671.6	2.9
A6	675.4	671.6	3.8
A7	671.0	671.0	0.0

Wall 'B' Table			
Label	TOW	BOW	Height (ft)
B1	683.0	683.0	0.0
B2	677.5	675.5	2.0
B3	675.7	671.2	4.5
B4	675.6	669.5	6.1
B5	675.5	674	1.5
B6	675.1	675.1	0.0



Legend



N/F
PROLOGIS-MACQUARIE TN, LLC
PIN: 029-00515
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

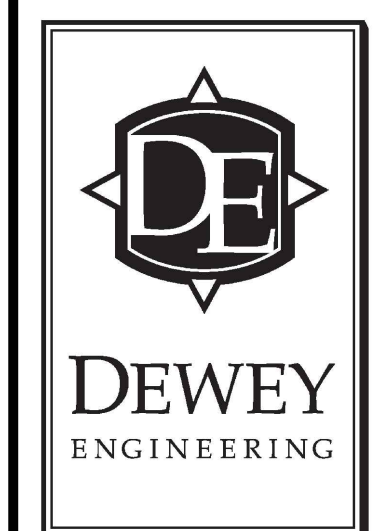
N/F
DAAVID C. GEHLIN ET.UX.
RV SERVICES, INC.
PIN: 029-00701
PB 22, PG 57
ZONED: GD - GATEWAY DISTRICT

Revisions:

Drawing Notes:

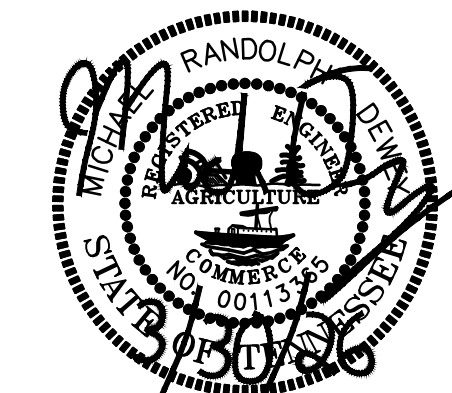
Date: March 27, 2026

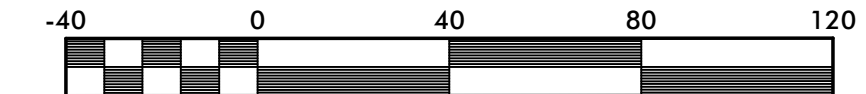
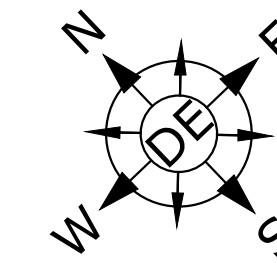
425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Grading & Drainage Plan

C4.0
5 of 10





Scale 1" = 40'
Site Area = 4.14 Acres

Owner
Sitepro Rentals INC
Contact: [REDACTED]
Lewisville, TX 75067
Phone:
Email:

ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

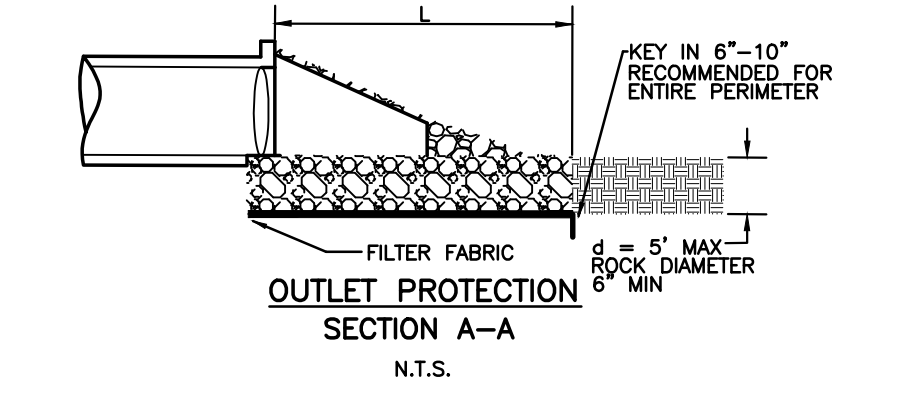
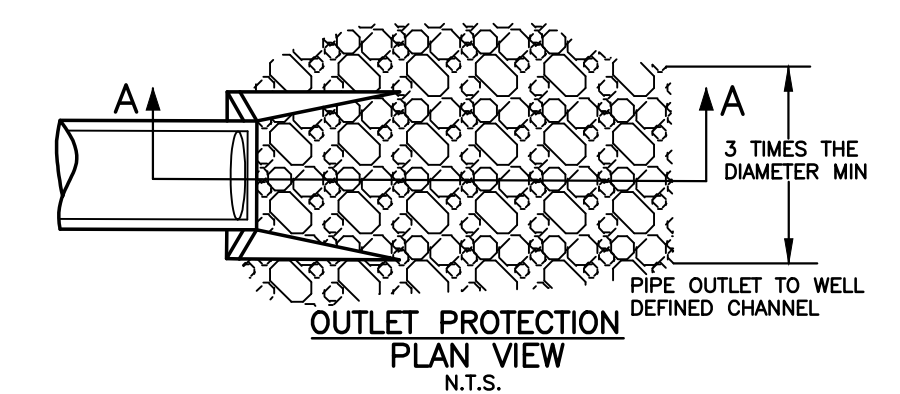
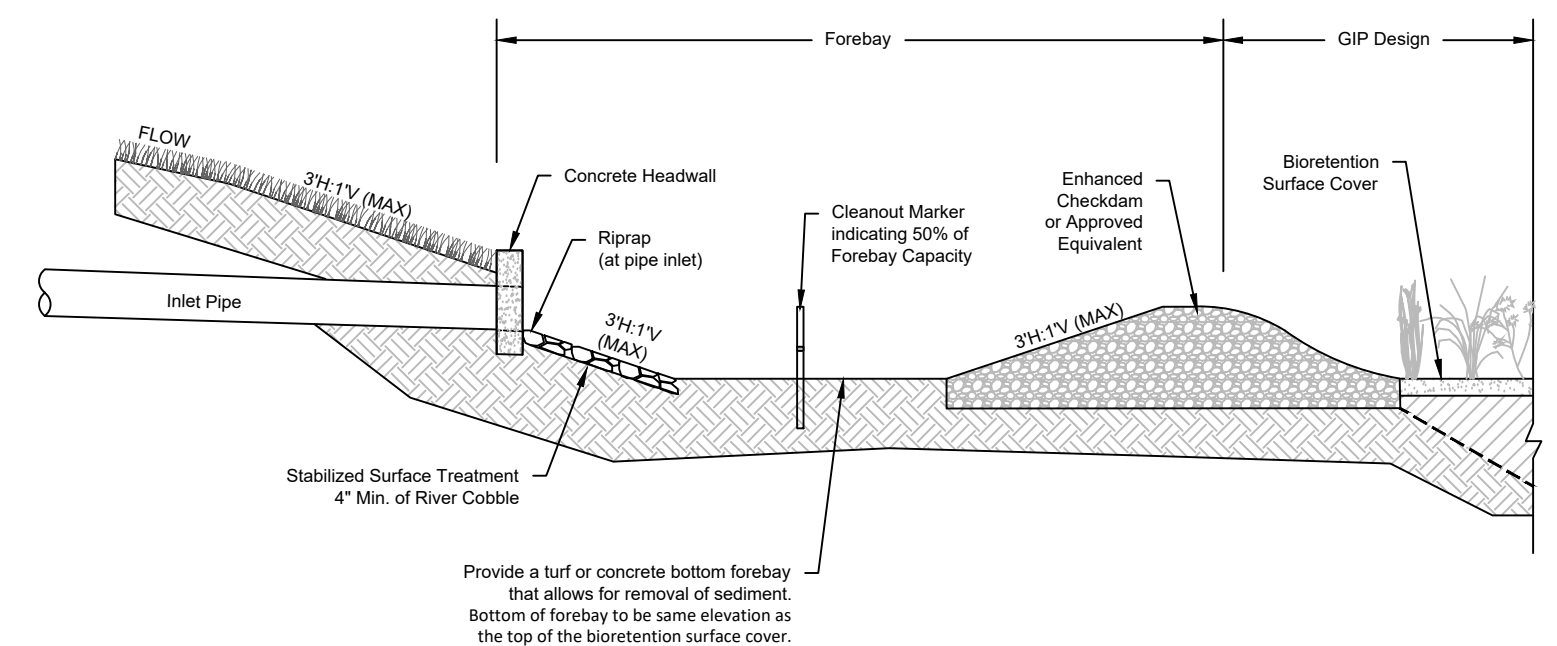
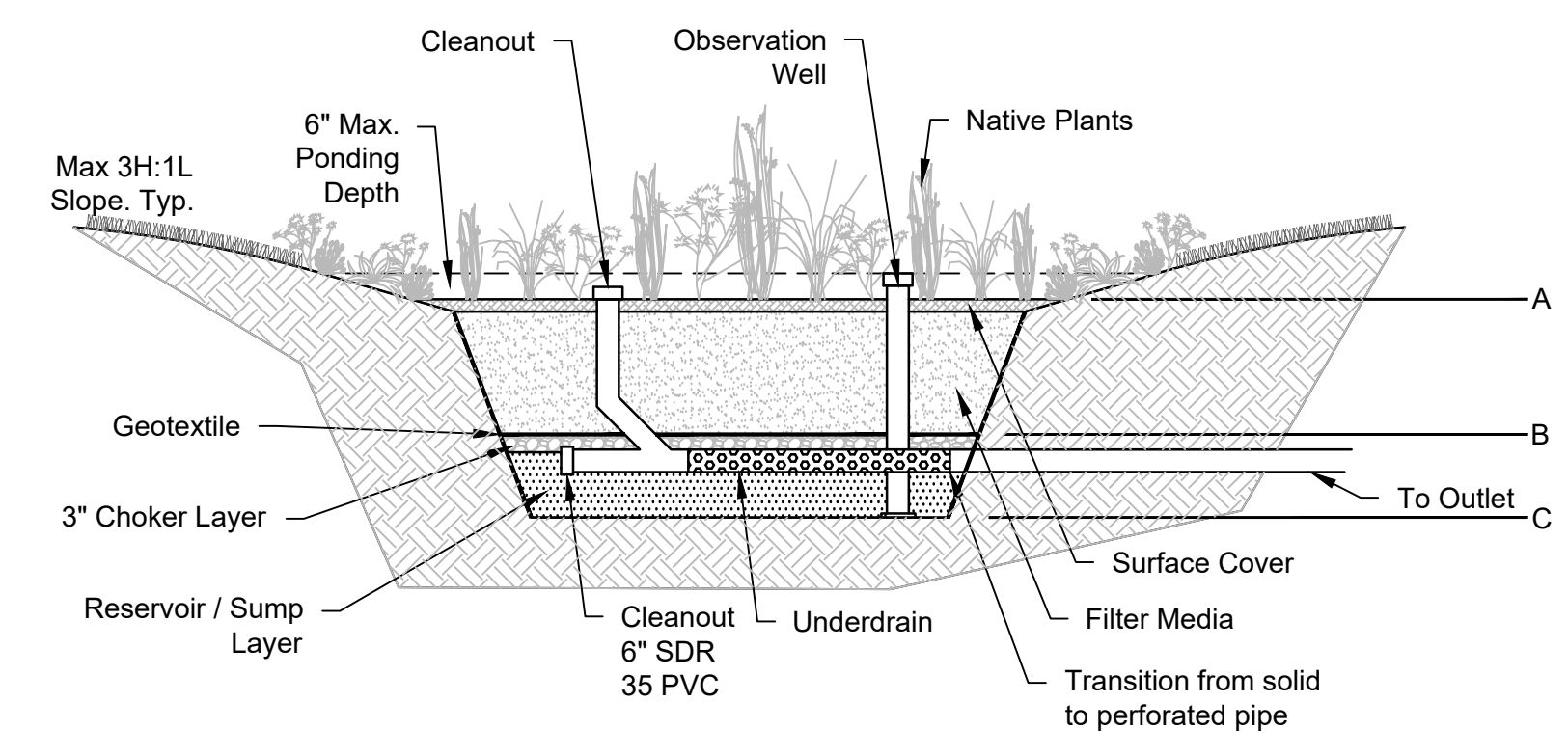
FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

Revisions:

Drawing Notes:

Date: March 27, 2026

425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee



Bioretention Number : 1	Design	As-Built
Treatment Volume (V), CF	8,347	
Surface Area, SF	2,947	
Top of Bank Elevation	669.50	
Emergency Spillway Elevation*	N/A	
Overflow (TOC) Elevation*	667.50	
(A) GIP Surface Elevation	667.00	
(B) Top of Stone Elevation	664.00	
Underdrain Invert*	662.00	
Outlet Elevation*	662.00	
(C) Subgrade Elevation	661.00	

* N/A if not required
All elevations shall be NAVD88

Material	Specifications	Notes
Surface Cover	<ul style="list-style-type: none"> Shredded hardwood Hardwood bark River stone Coir or jute matting Turf 	Lay a 2 inch layer on the surface of the filter bed in order to suppress weed growth & prevent erosion. Stone shall not comprise more than 50% of the surface area.
Filter Media * Composition	<ul style="list-style-type: none"> 70% - 85% sand; 10%-30% silt + clay, with clay < 10%; and 5% to 10% organic matter 	The volume of filter media based on 110% of the plan volume, to account for settling or compaction. Contact staff for testing procedures.
Geotextile	Use a non-woven geotextile fabric with a flow rate of > 110 gal./min./ft ² (e.g., Geotex 351 or equivalent)	Apply to the sides and above the underdrain (2' x 4' wide strip)
Choker Layer *	#8 or #9 clean washed stone	Meet TDOT Construction Specifications.
Reservoir Layer *	#57 clean washed stone	Meet TDOT Construction Specifications.
Underdrain	6-inch dual wall HDPE or SDR 35 PVC pipe with 3/8-inch perforations at 6 inches on center	AA5HTO M 252 Place perforated pipe at base of reservoir layer.
Cleanout	6-inch SDR 35 PVC pipe with vented cap	Provide cleanouts at the upper end of the underdrain.
Observation Well	6-inch SDR 35 PVC pipe with vented cap and anchor plate	Number of wells equals the number of test pits required for infiltration testing (see Appendix 1-A)
Sump Layer	#57 clean washed stone	Meet TDOT Construction Specifications.

*Item receipts may be required to be included with as-built submittal.

Forebay Number : 1A	Design
Top of Bank Elevation	668.50
Top of Check Dam	668.25
Bottom of Forebay	667.00
Surface Area, SF	1,160
Pretreatment Volume, CF	1,151

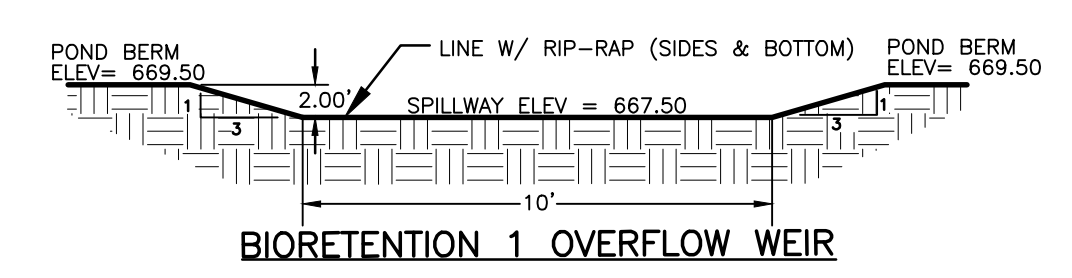
All elevations shall be NAVD88

DETAIL NOTES:

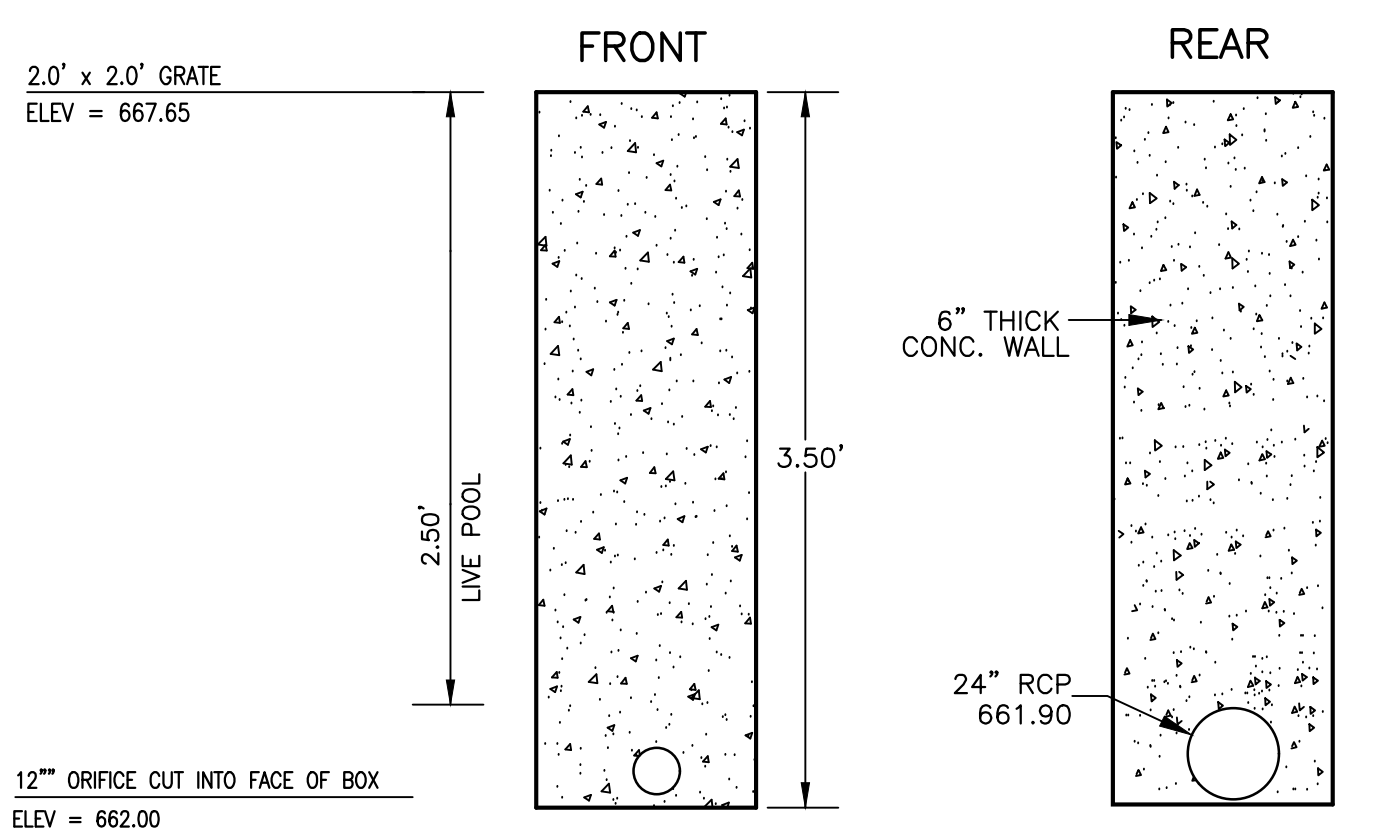
- The main goal of pretreatment filtering is to capture floatables, debris, grease, oils, silt and sediment where they can be easily cleaned at the surface of the GIP through regular maintenance, and before they have the opportunity to clog the practice.
- When concentrated flow is directed at a GIP through curb turnouts or pipe outlets, a sediment forebay shall be used to allow material to be captured where it can be easily cleaned.
- A sediment forebay shall be designed so that it is integrated into the GIP.
- Direct maintenance access to the forebay must be provided.
- Exit velocities from the forebay must be non-erosive. Velocities over the weir shall be provided. If high runoff velocity is a potential problem, some type of energy dissipation device must be incorporated.
- Sediment removal in the forebay shall occur in accordance with the long-term maintenance plan.
- A fixed vertical sediment depth marker shall be installed in the forebay to measure sediment deposition over time. The marker shall be made of durable, non-corroding material (not steel). The elevation at which sediment removal is required shall be marked with a line in contrasting color or shade.
- All disturbed areas must be immediately stabilized after construction to minimize erosion.

- DETAIL NOTE:
- Contractor, Engineer, or Owners Representative shall notify City Staff at least 48 hours prior to the installation of the bioretention filter media.
 - Vehicular traffic shall be prohibited on the planting bed in order to prevent compactions.
 - Minimum 2' separation between subgrade and water table / bedrock required.

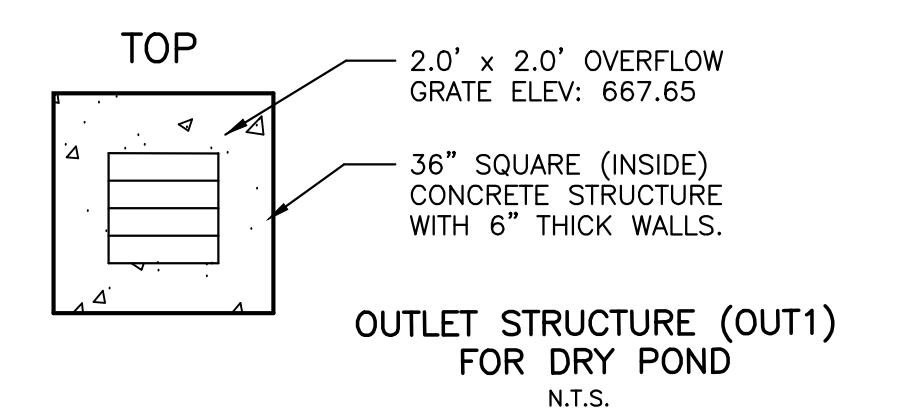
BIORETENTION WITH UNDERDRAIN



BIORETENTION 1 OVERFLOW WEIR



12" ORIFICE CUT INTO FACE OF BOX
ELEV = 662.00



OUTLET STRUCTURE (OUT1) FOR DRY POND
N.T.S.

FOREBAY

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

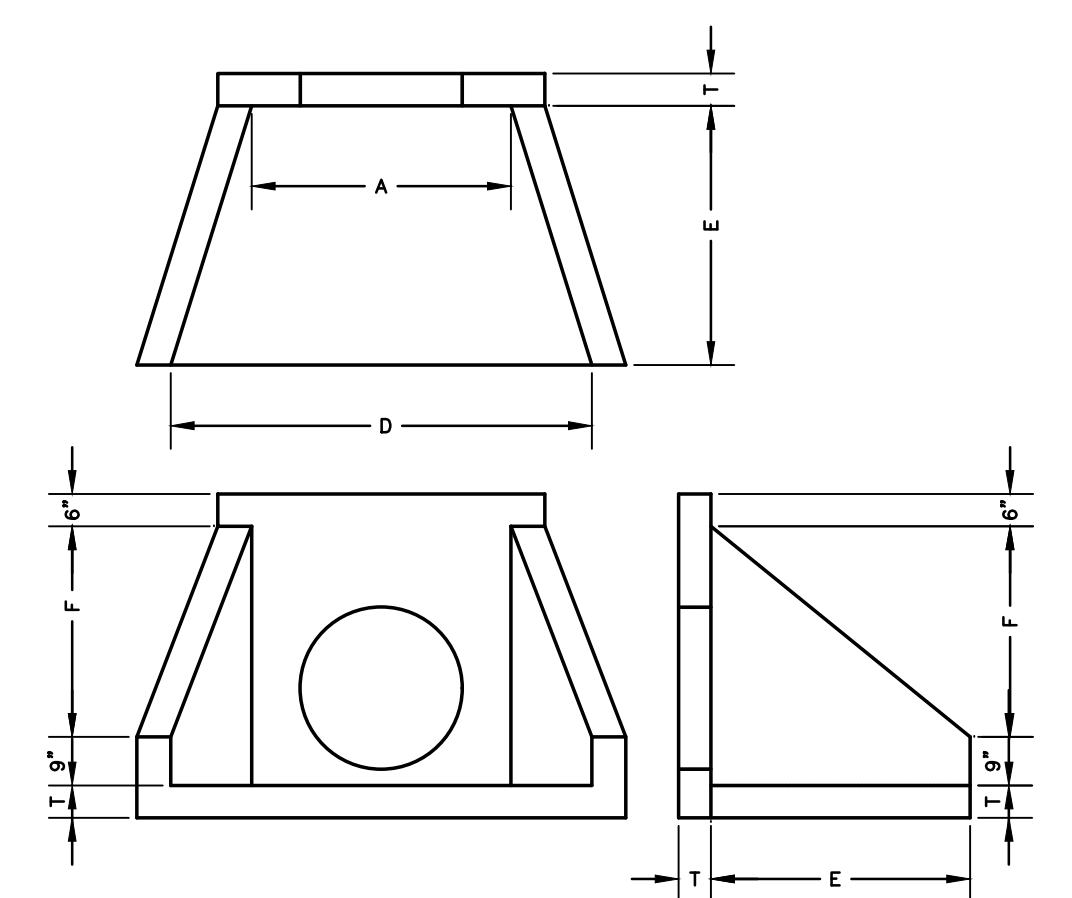
NOTES:

- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED FOR 7 YEAR MINIMUM SERVICE LIFE).
- UPON ORDERING CONFIRMATION OF THE BEST CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL DRAWING MUST BE PROVIDED TO CONFIRM AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

- REMOVE GRATE
- DRIP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIFT UP CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

FLEXSTORM CATCH IT
ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC.
WWW.INLETFILTERS.COM
(866) 887-8628 PH
(630) 295-2677 FX
INFORM@INLETFILTERS.COM
C | FLEXSTORM_CATCH_IT | A



SIZE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
15"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
18"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"	2'-6"
21"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
24"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"	3'-6"
30"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
36"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"	4'-6"
42"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"
48"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"	5'-6"
54"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"	6'-0"
60"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"	6'-6"
66"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"	7'-0"
72"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"	7'-6"

- NOTES:
- CONCRETE SHALL BE 4000 PSI @ 28 DAYS REINFORCED WITH NO.4 BARS @ 10" O.C., EACH WAY WITH WINGS AND TOE SLAB DOWELED TO HEADWALL WITH NO.5 BARS.
 - 3/4" CHAMFER ON ALL EXPOSED EDGES.

PRECAST CONCRETE HEADWALL

Details

C5.0
6 of 10



Owner
Sitepro Rentals INC
Contact:
Lewisville, TX 75067
Phone:
Email:

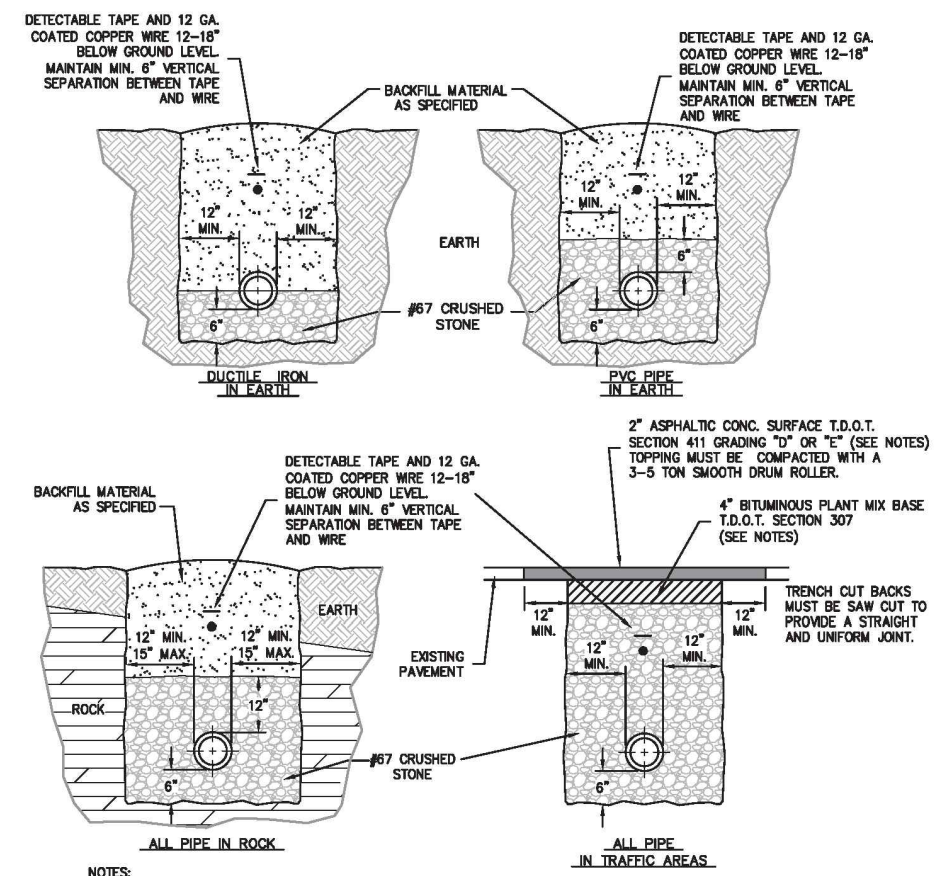
ENGINEER
Dewey Engineering
Contact: Michael Dewey, PE
Address: 2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

FLOOD NOTE
No Portion of this Property is Located Within a Flood Hazard Area as Designated by "Zone X" on FEMA Map Number 47149C0105J.
Dated: May 9, 2023

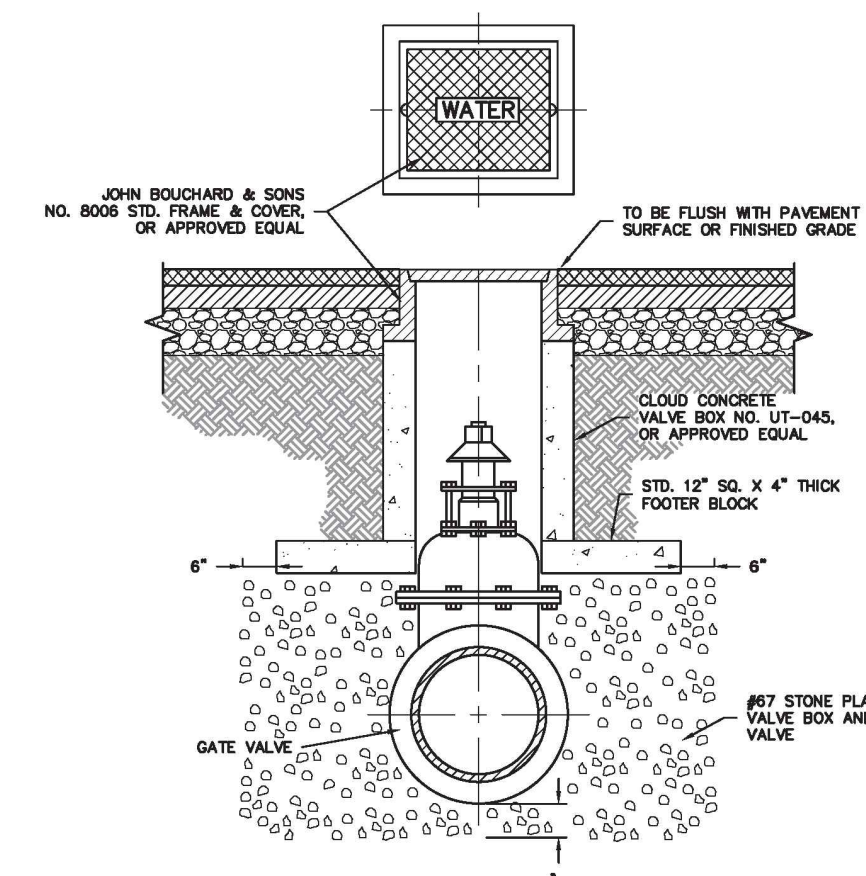
Revisions:

Drawing Notes:

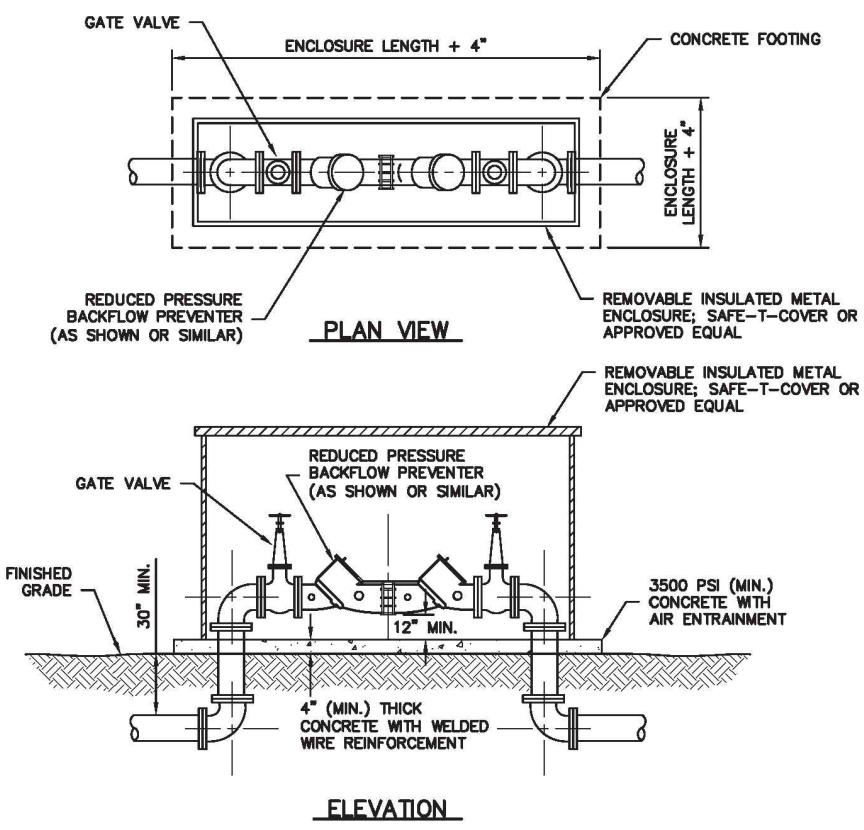
Date: March 27, 2026



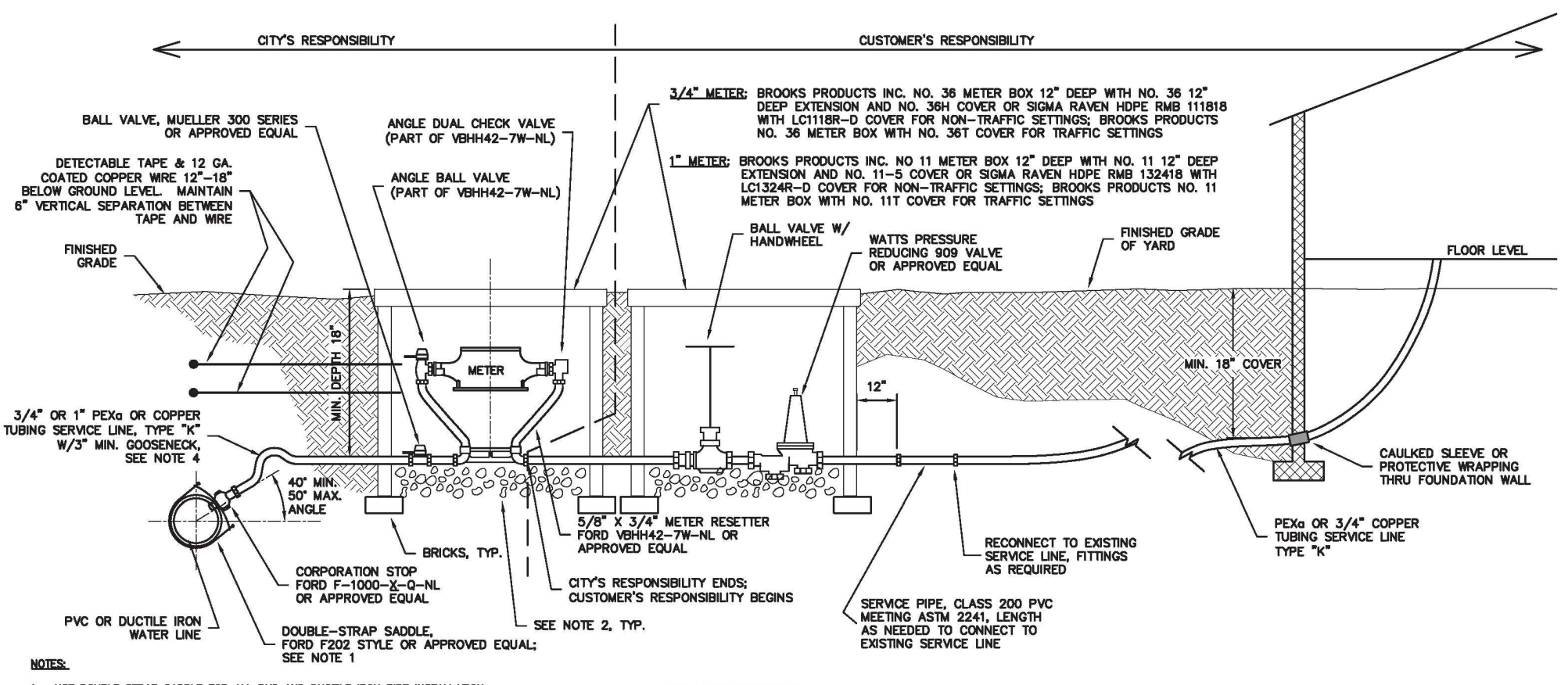
TYPICAL VALVE BOX SETTING
INSIDE & OUTSIDE OF PAVEMENT
N.T.S.
Revised September, 2015
STANDARD DETAIL 030
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
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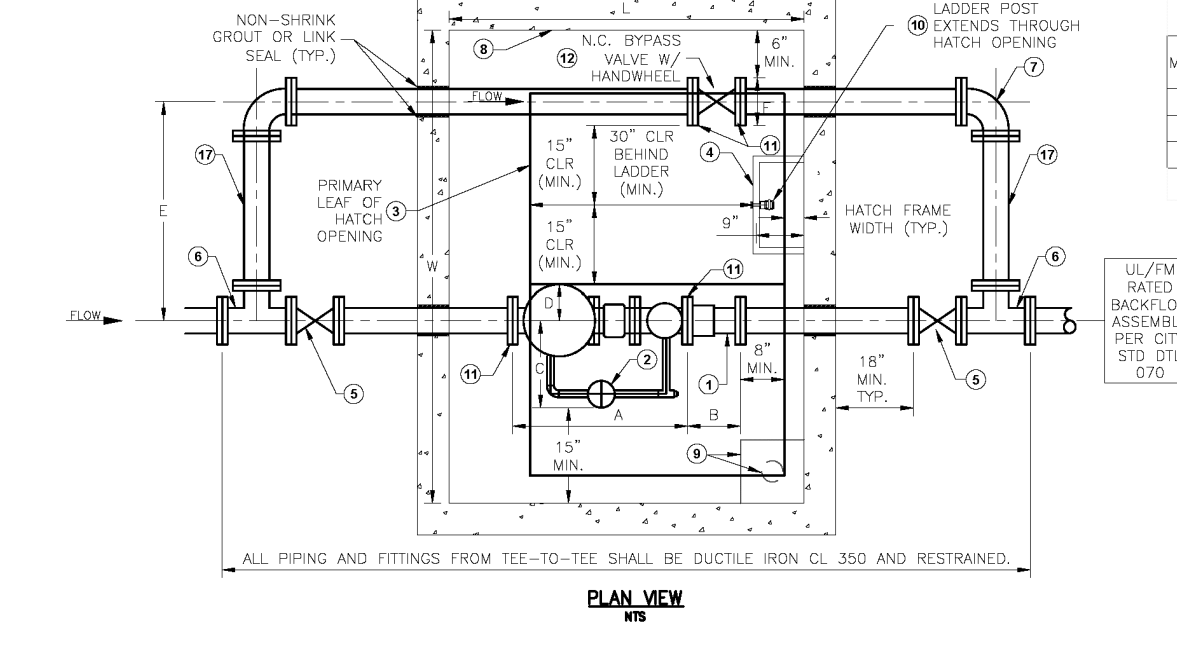
TYPICAL VALVE BOX SETTING
INSIDE & OUTSIDE OF PAVEMENT
N.T.S.
Revised September, 2015
STANDARD DETAIL 030
CITY OF LAVERGNE, TENNESSEE
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REDUCED PRESSURE BACKFLOW PREVENTER (ABOVEGROUND)
N.T.S.
Revised August 2017
STANDARD DETAIL 070
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
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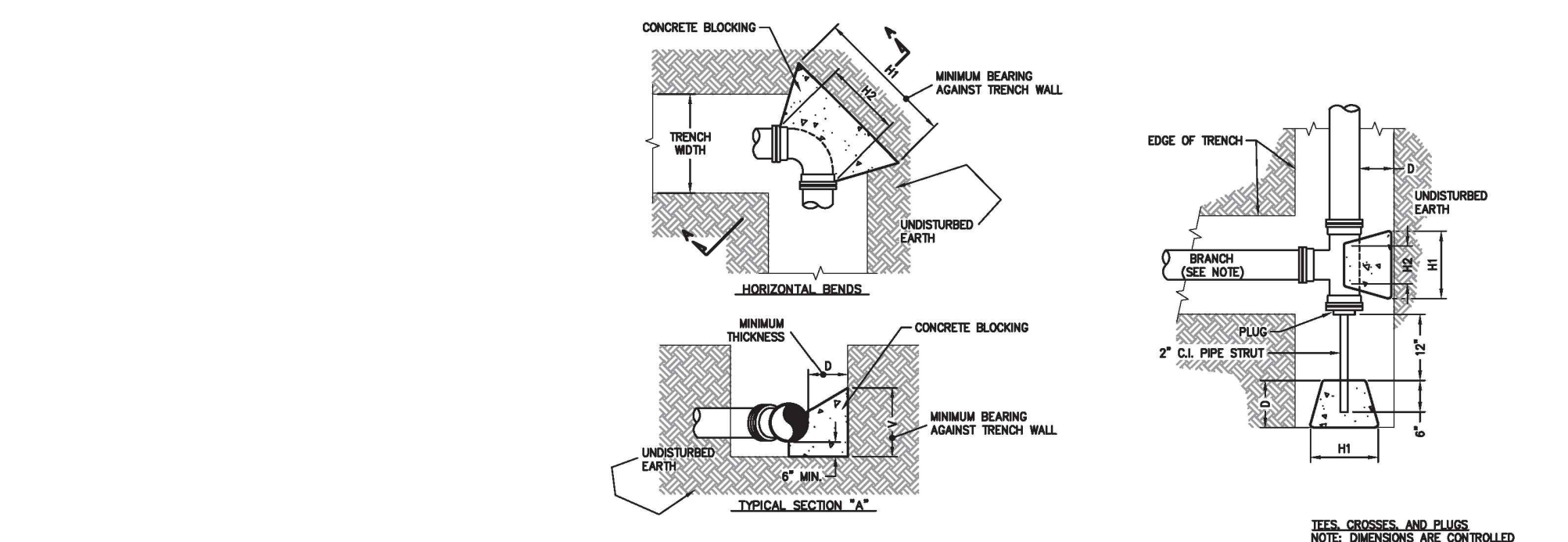
TYPICAL 3/4" OR 1" WATER SERVICE INSTALLATION
N.T.S.
Revised August 2017
STANDARD DETAIL 020
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
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4" - 8" FIRE & DOMESTIC METER AND VAULT ASSEMBLY
N.T.S.
Revised January 2023
STANDARD DETAIL 023
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
© 2023 Griggs & Maloney, Inc.

METER LENGTH	METER WIDTH	PIPE FLANGE D.I.	MIN. INTERNAL DIMENSIONS (I.D.)
4"	33"	8"	36" x 48"
6"	45"	10"	48" x 60"
8"	57"	12"	60" x 72"

1. USE DOUBLE STRAP SADDLE FOR ALL PVC AND DUCTILE IRON PIPE INSTALLATION.
2. USE 3" DEEP (MIN.) OF CLEAN 1/2" TO 3/4" GRADED STONE IN BOTTOM OF METER BOX.
3. SEE STANDARD SPECIFICATIONS FOR LIST OF SERVICE CONNECTION FITTINGS.
4. METER:
 - a. 3/4" INCH - BODGER MODEL 25, LEAD FREE BRONZE ALLOY OR ENGINEERED POLYMER WITH BRASS HEAD TRANSMITTER.
 - b. 1" INCH - BODGER MODEL 70, LEAD FREE BRONZE ALLOY WITH REMOTE READ TRANSMITTER.
5. CUBING IS REQUIRED IF THE SERVICE LINE IS UNDER THE ROADWAY.
 - a. CARRYING PIPE SHALL EXTEND FROM WATER MAIN TAP TO METER OR RIGHT-OF-WAY TO RIGHT-OF-WAY.
 - b. CARRYING PIPE SHALL BE PVC SDR 40 AND THE DIAMETER SHALL BE THE OUTSIDE DIAMETER OF THE SERVICE LINE PLUS 2" MINIMUM.
 - c. CARRYING IS NOT REQUIRED IF WATER MAIN IS NOT UNDER THE PAVEMENT AND WATER METER IS ON THE SAME SIDE OF THE ROAD AS THE WATER MAIN.
6. WHEN FEED SERVICE LINE IS INSTALLED, DETECTABLE TAPE AND COPPER WIRE SHALL BE INSTALLED AS SHOWN AND PER PARAGRAPHS 22.19 AND 22.27 OF THE STANDARD SPECIFICATIONS. THE END OF THE WIRE SHALL TERMINATE IN A VALVE BOX, METER BOX, OR OTHER APPROVED LOCATION, WHEREBY DETECTION EQUIPMENT MAY BE ATTACHED.



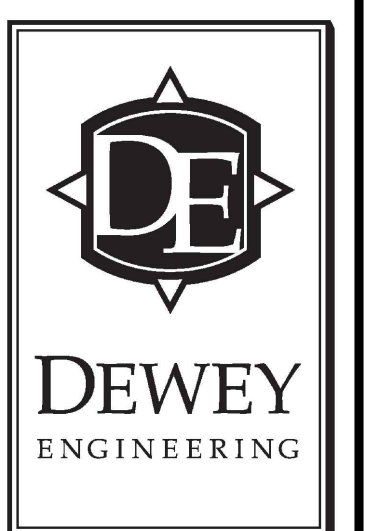
TYPICAL CONCRETE KICKERS
N.T.S.
Revised September, 2015
STANDARD DETAIL 081
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
© 2015 Griggs & Maloney, Inc.

TABLE BASED ON 4,000 PSF SOIL CAPACITY AND 200 PSF VIBRATING PRESSURES - SEE DESIGN ENGINEER SHALL SIZE FOR SPECIFIC SITE CONDITIONS AND PRESSURES.

TABLE OF DIMENSIONS FOR CONCRETE BLOCKERS														
TEES, CROSSES, & ELBOWS			90° BENDS			45° BENDS			22-1/2° BENDS			15-1/4° BENDS		
H	W	D	H	W	D	H	W	D	H	W	D	H	W	D
18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"
24"	18"	18"	24"	18"	18"	24"	18"	18"	24"	18"	18"	24"	18"	18"
24"	18"	24"	24"	18"	24"	24"	18"	24"	24"	18"	24"	24"	18"	24"
30"	18"	18"	30"	18"	18"	30"	18"	18"	30"	18"	18"	30"	18"	18"
30"	18"	30"	30"	18"	30"	30"	18"	30"	30"	18"	30"	30"	18"	30"
36"	18"	18"	36"	18"	18"	36"	18"	18"	36"	18"	18"	36"	18"	18"
36"	18"	36"	36"	18"	36"	36"	18"	36"	36"	18"	36"	36"	18"	36"
42"	18"	18"	42"	18"	18"	42"	18"	18"	42"	18"	18"	42"	18"	18"
42"	18"	42"	42"	18"	42"	42"	18"	42"	42"	18"	42"	42"	18"	42"
48"	18"	18"	48"	18"	18"	48"	18"	18"	48"	18"	18"	48"	18"	18"
48"	18"	48"	48"	18"	48"	48"	18"	48"	48"	18"	48"	48"	18"	48"
54"	18"	18"	54"	18"	18"	54"	18"	18"	54"	18"	18"	54"	18"	18"
54"	18"	54"	54"	18"	54"	54"	18"	54"	54"	18"	54"	54"	18"	54"
60"	18"	18"	60"	18"	18"	60"	18"	18"	60"	18"	18"	60"	18"	18"
60"	18"	60"	60"	18"	60"	60"	18"	60"	60"	18"	60"	60"	18"	60"
66"	18"	18"	66"	18"	18"	66"	18"	18"	66"	18"	18"	66"	18"	18"
66"	18"	66"	66"	18"	66"	66"	18"	66"	66"	18"	66"	66"	18"	66"
72"	18"	18"	72"	18"	18"	72"	18"	18"	72"	18"	18"	72"	18"	18"
72"	18"	72"	72"	18"	72"	72"	18"	72"	72"	18"	72"	72"	18"	72"

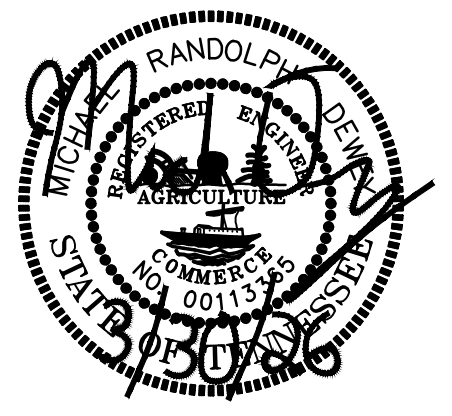
TYPICAL CONCRETE KICKERS
N.T.S.
Revised September, 2015
STANDARD DETAIL 081
CITY OF LAVERGNE, TENNESSEE
G & M File No. 442-56
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425 Industrial Boulevard
Being Parcel 7.01 on Tax Map 29
La Vergne, Rutherford County, Tennessee

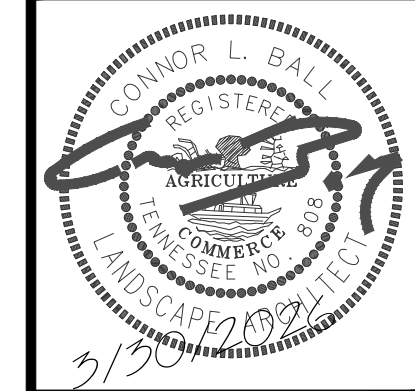


Water & Sewer Details

C7.0
8 of 10



425 INDUSTRIAL BLVD
 LA VERGNE, TENNESSEE

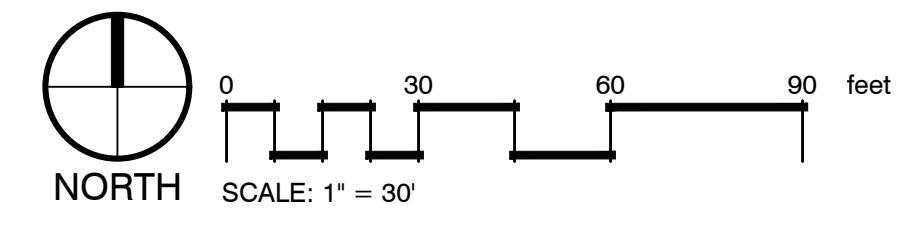
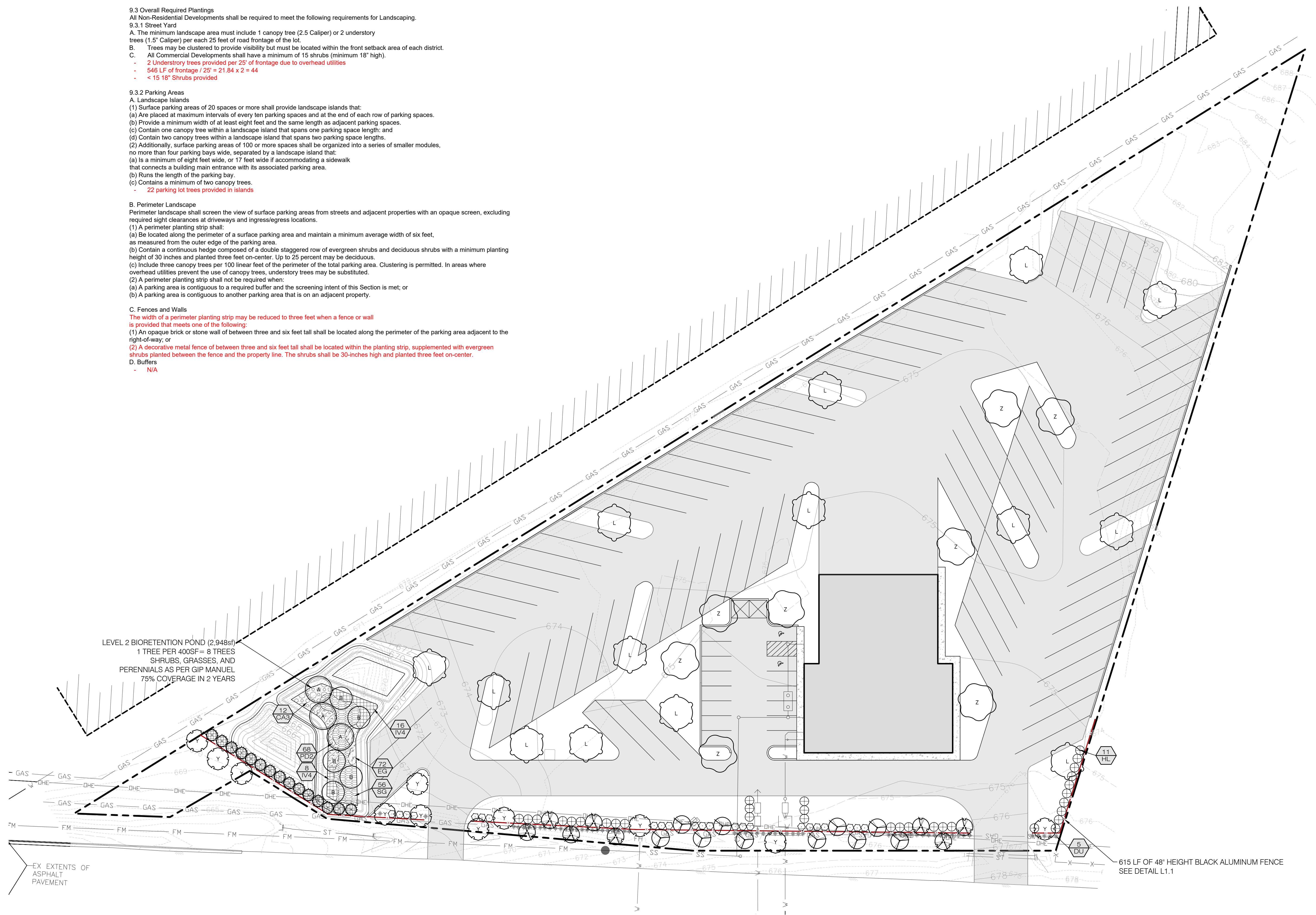


Job # - 26140

LANDSCAPE PLAN

L1.0

- 9.3 Overall Required Plantings**
 All Non-Residential Developments shall be required to meet the following requirements for Landscaping.
- 9.3.1 Street Yard**
 A. The minimum landscape area must include 1 canopy tree (2.5 Caliper) or 2 understory trees (1.5" Caliper) per each 25 feet of road frontage of the lot.
 B. Trees may be clustered to provide visibility but must be located within the front setback area of each district.
 C. All Commercial Developments shall have a minimum of 15 shrubs (minimum 18" high).
 - 2 Understory trees provided per 25' of frontage due to overhead utilities
 - 546 LF of frontage / 25' = 21.84 x 2 = 44
 - < 15 18" Shrubs provided
- 9.3.2 Parking Areas**
 A. Landscape Islands
 (1) Surface parking areas of 20 spaces or more shall provide landscape islands that:
 (a) Are placed at maximum intervals of every ten parking spaces and at the end of each row of parking spaces.
 (b) Provide a minimum width of at least eight feet and the same length as adjacent parking spaces.
 (c) Contain one canopy tree within a landscape island that spans one parking space length; and
 (d) Contain two canopy trees within a landscape island that spans two parking space lengths.
 (2) Additionally, surface parking areas of 100 or more spaces shall be organized into a series of smaller modules, no more than four parking bays wide, separated by a landscape island that:
 (a) Is a minimum of eight feet wide, or 17 feet wide if accommodating a sidewalk that connects a building main entrance with its associated parking area.
 (b) Runs the length of the parking bay.
 (c) Contains a minimum of two canopy trees.
 - 22 parking lot trees provided in islands
- B. Perimeter Landscape
 Perimeter landscape shall screen the view of surface parking areas from streets and adjacent properties with an opaque screen, excluding required sight clearances at driveways and ingress/egress locations.
 (1) A perimeter planting strip shall:
 (a) Be located along the perimeter of a surface parking area and maintain a minimum average width of six feet, as measured from the outer edge of the parking area.
 (b) Contain a continuous hedge composed of a double staggered row of evergreen shrubs and deciduous shrubs with a minimum planting height of 30 inches and planted three feet on-center. Up to 25 percent may be deciduous.
 (c) Include three canopy trees per 100 linear feet of the perimeter of the total parking area. Clustering is permitted. In areas where overhead utilities prevent the use of canopy trees, understory trees may be substituted.
 (2) A perimeter planting strip shall not be required when:
 (a) A parking area is contiguous to a required buffer and the screening intent of this Section is met; or
 (b) A parking area is contiguous to another parking area that is on an adjacent property.
- C. Fences and Walls
 The width of a perimeter planting strip may be reduced to three feet when a fence or wall is provided that meets one of the following:
 (1) An opaque brick or stone wall of between three and six feet tall shall be located along the perimeter of the parking area adjacent to the right-of-way; or
 (2) A decorative metal fence of between three and six feet tall shall be located within the planting strip, supplemented with evergreen shrubs planted between the fence and the property line. The shrubs shall be 30-inches high and planted three feet on-center.
- D. Buffers
 - N/A



- PLANTING NOTES:**
1. Refer to all written specifications, adhere to Plans and Specifications for all phases of work.
 2. Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
 3. Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
 4. All materials are subject to the approval of the Landscape Architect, City, and Owner.
 5. Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
 6. Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by 'American Standards for Nursery Stock'. Main leaders of all trees shall remain intact.
 7. Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
 8. Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
 9. Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
 10. Maintain all plant material and lawns until project is accepted in full by the City.
 11. Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
 12. Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
 13. Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain

- LANDSCAPE NOTES:**
1. Contractor responsible for locating and protecting all underground utilities prior to digging.
 2. Contractor responsible for protecting existing trees from damage during construction as shown on plans.
 3. Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading.
 4. Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
 5. Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentation to be repaired.
 6. Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
 7. Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available, there shall be no gaps between sod joints.
 8. The contractor is solely responsible for the establishment of the areas designated as seed to the final acceptance of the owner and city. The contractor shall plan to oversee areas that do not germinate and/or provide adequate coverage.
 9. Planting mix to be provided as specified in the landscape specifications.
 10. The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
 11. Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
 12. Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
 13. Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
 14. All areas of disturbance outside of landscape beds shall be repaired with turf.
 15. Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

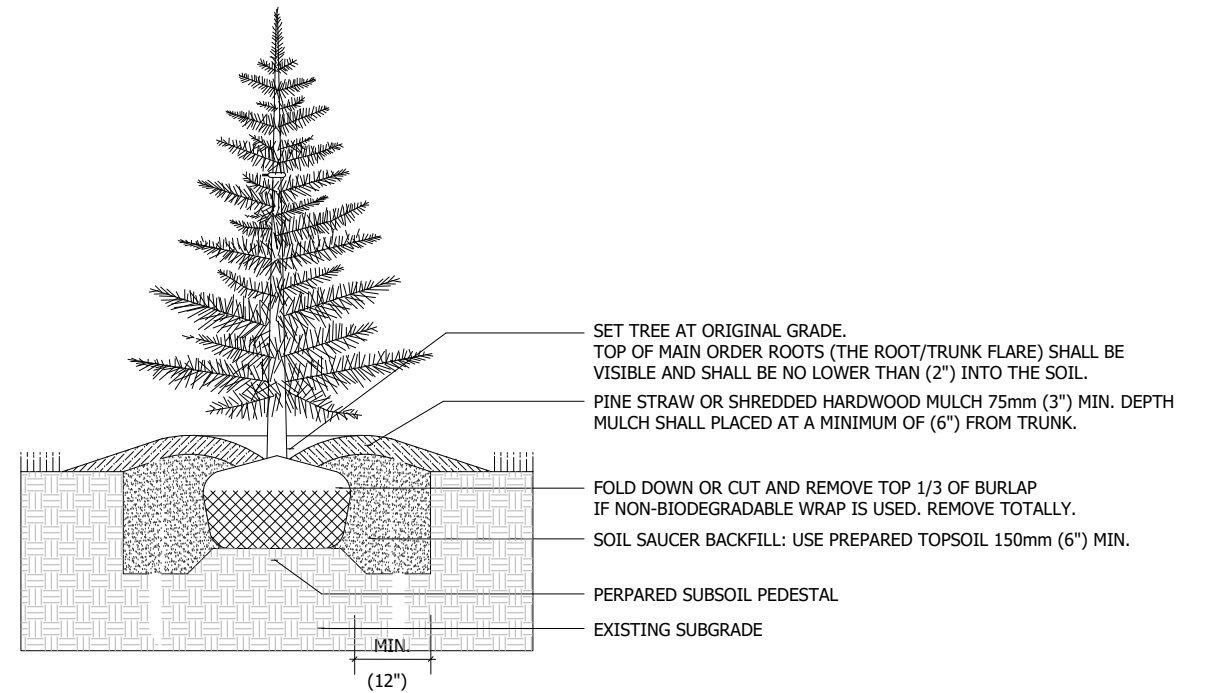
TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
2. Trees with forked trunks are acceptable if all the following conditions are met:
 - a. The fork occurs in the upper 1/3 of the tree.
 - b. One fork is less than 2/3 the diameter of the dominant fork.
 - c. The top 1/3 of the smaller fork is removed at the time of planting.
3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
4. The trunk and/or major branches shall not touch.
5. Several branches are larger in diameter and obviously more dominant.
6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
8. Crown spread shall look proportional to the tree.
9. NO flush cuts or open trunk wounds or other bark injury
10. Root ball meets all ANSI standards and is appropriately sized

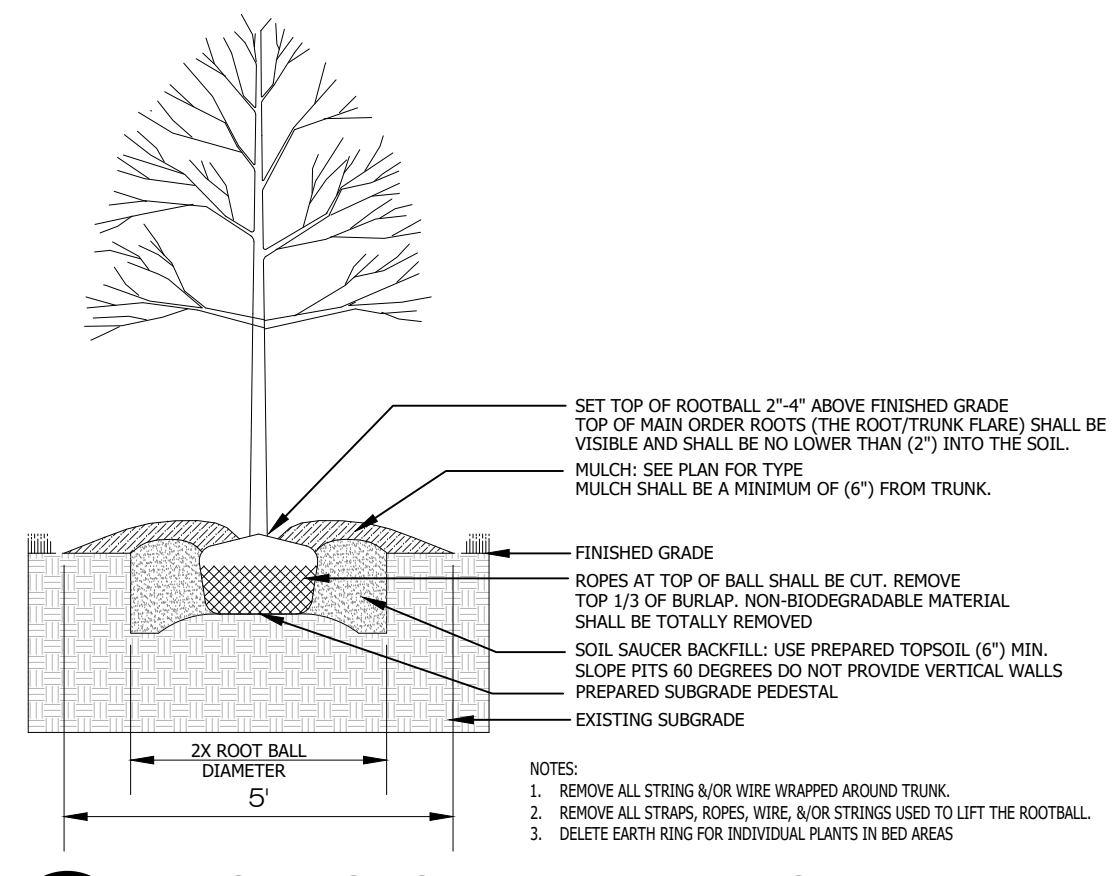
- DEFICIENCIES NOT ACCEPTED:**
1. Tip dieback on 5% of branches
 2. Crown thin/sparsely foliated
 3. Included bark
 4. Major Branches touching
 5. Asymmetrical branching

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
 In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

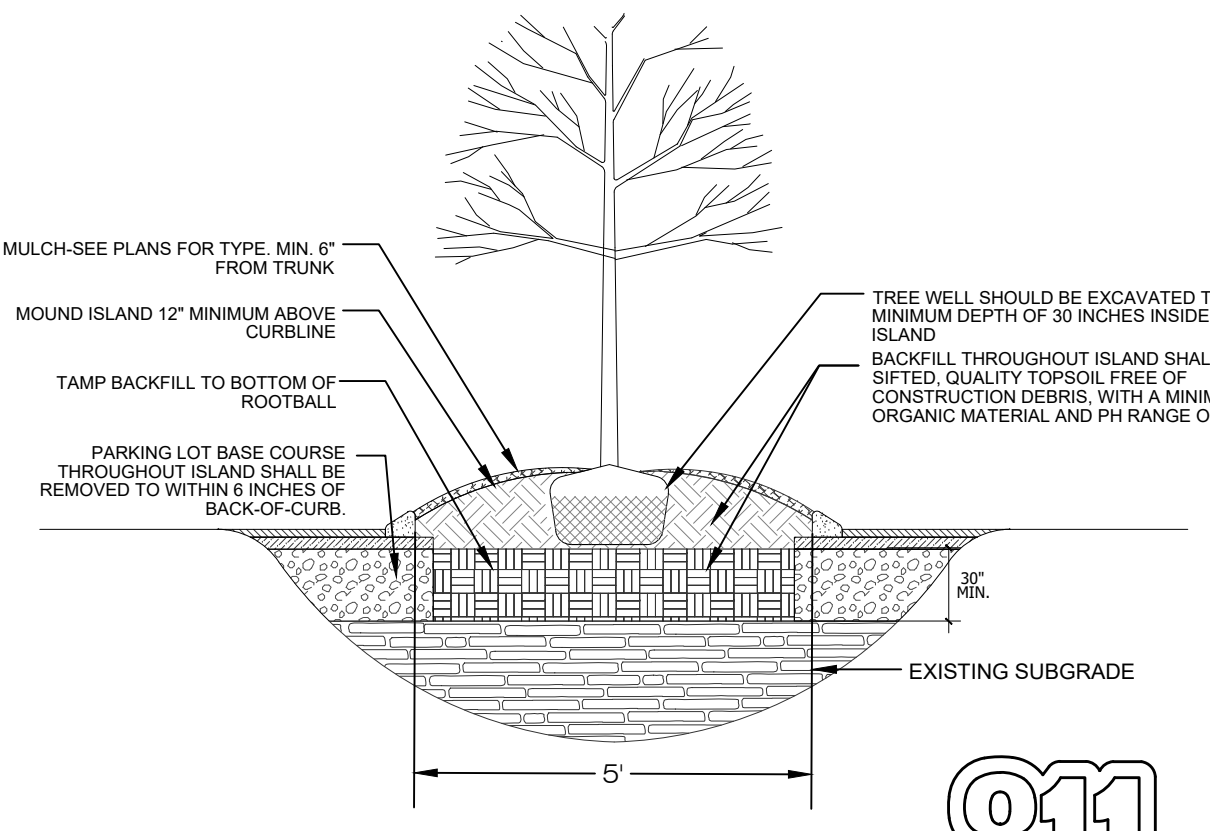
TO AVOID OVERHEAD UTILITY CONFLICTS:
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.



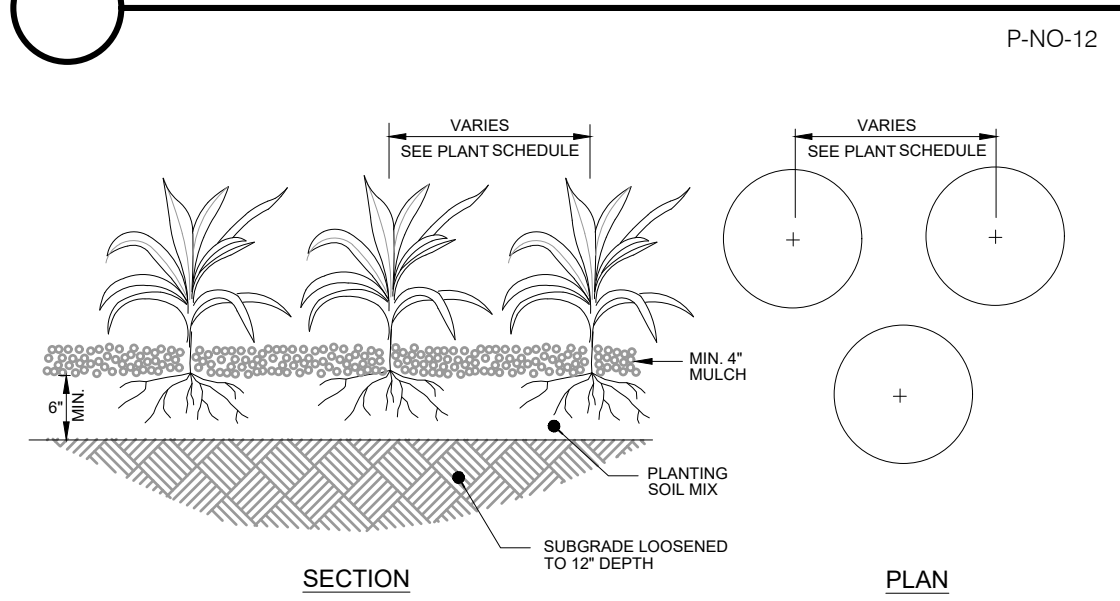
EVERGREEN TREE PLANTING



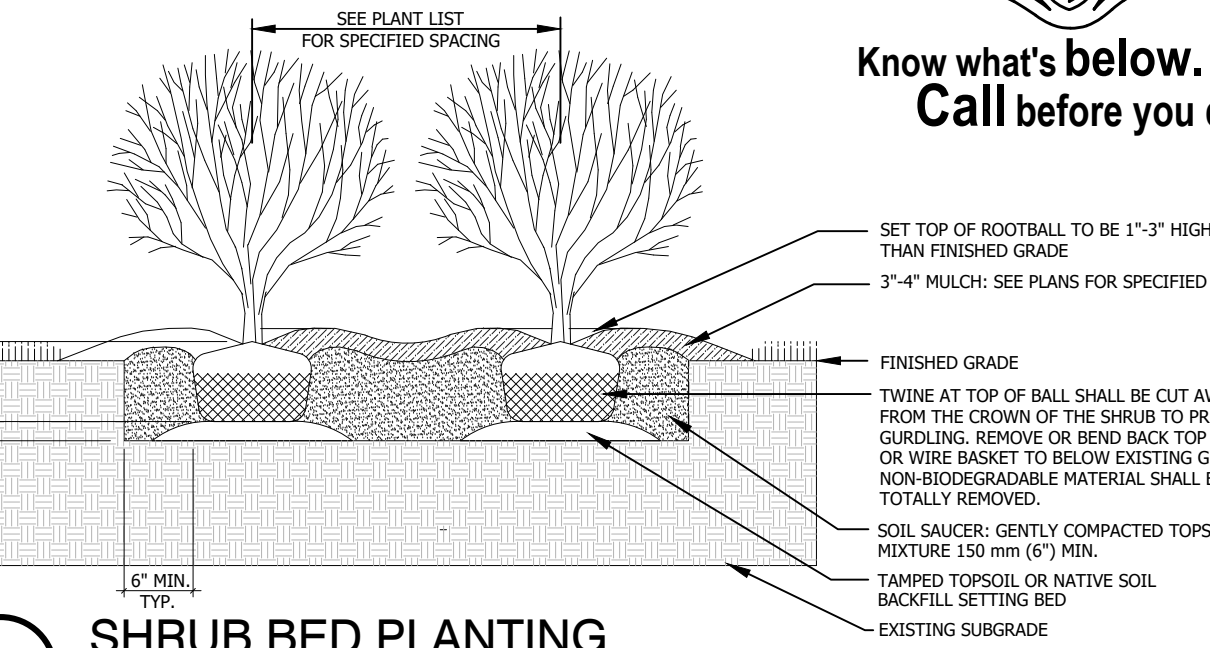
DECIDUOUS TREE PLANTING



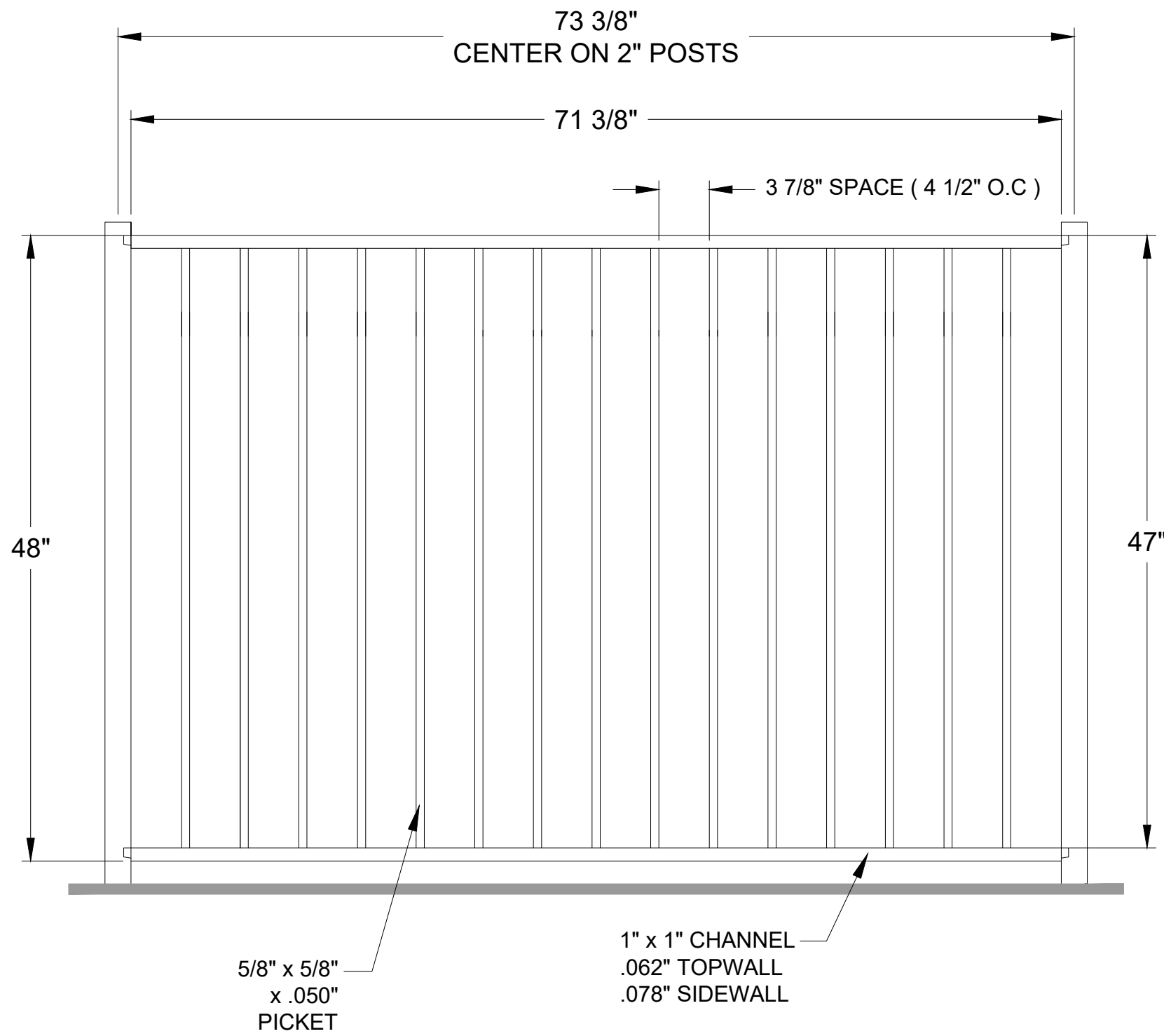
PARKING ISLAND TREE PLANTING FOR PARKING LOT ISLAND OR MEDIAN



GROUNDCOVER PLANTINGS



SHRUB BED PLANTING

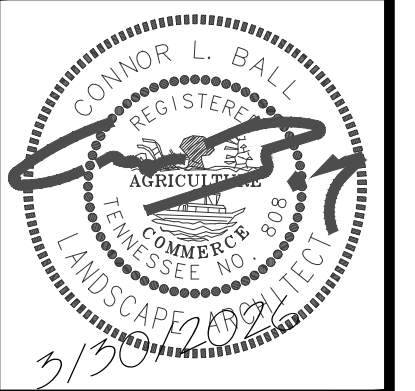


48" BLACK COMMERCIAL GRADE ALUMINUM FENCE NOT TO SCALE

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
BIORETENTION TREES						
(A)	A	3	Summer Red Red Maple / Acer rubrum 'HOSR' 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B		8'-10' HT
(B)	B	5	Heritage River Birch / Betula nigra 'Heritage' 3 Equal Stem - 1.5' Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	6'-8' HT
PARKING LOT TREES						
(L)	L	14	Overcup Oak / Quercus lyrata 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2.5'Cal	Per ANSI
(Z)	Z	8	Village Green Zelkova / Zelkova serrata 'Village Green' 5' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	2.5'Cal	Per ANSI
STREET TREES						
(IF)	IF	15	Foster No. 2 Holly / Ilex x attenuata 'Foster No. 2' Full To Base. Full, Dense Form	B & B	1.5'Cal	6'-8' HT
(LN2)	LN2	8	Natchez Crape Myrtle (MT) / Lagerstroemia x 'Natchez' 3 Equal Stem - 1/2" Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	8'-10' HT
(LN3)	LN3	10	Sarah's Favorite Crape Myrtle (MT) / Lagerstroemia x 'Sarah's Favorite' 3 Equal Stem - 1/2" Per Stem Matched Full Rounded Head. See Tree Specifications	B & B	CLUMP	8'-10' HT
(Y)	Y	11	Yoshino Cherry / Prunus x yedoensis 4' Clear Trunk. Evenly Branched. Matched. See Tree Specifications	B & B	1.5' CAL	8'-10' HT
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	HT / CONT.	WIDTH	
SHRUBS						
(DU)	DU	58	Winter Gem Boxwood / Buxus 'Winter Gem' Full, Dense Form. Matched	24" HT		
(HL)	HL	32	Limelight Hydrangea / Hydrangea paniculata 'Limelight' Full, Dense Form	36" HT		
(TH)	TH	23	Hicks Yew / Taxus x media 'Hicksii' Full, Dense, Well Rooted	30" HT		
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
BIORETENTION PLANTS						
(CA3)	CA3	12	Beautyberry / Callicarpa americana Full, Well Rooted Containers #3 Containers Installed 60" O.C. in Triangular Pattern	#3 Container		
(EG)	EG	72	Gateway Joe-Pye Weed / Eupatorium maculatum 'Gateway' Min. 1Q Containers in Triangular spacing 18" O.C.	1 Quart		
(IV4)	IV4	24	Merlot Sweetspire / Itea virginica 'Merlot' Full, Well Rooted Containers #3 Containers Installed 48" O.C. in Triangular Pattern	#3 Container		
(SG)	SG	56	Shenandoah Switch Grass / Panicum virgatum 'Shenandoah' Full, Well Rooted Containers #1 Containers Installed 48" O.C. in Triangular Pattern	#1 Container		
(PD2)	PD2	68	Prairie Dropseed / Sporobolus heterolepis Install #1 Containers in Triangular spacing 24" O.C.	#1 Container		

- PLAN NOTES:**
1. ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 3" MINIMUM DEPTH OF PINE BARK MULCH.
 2. LANDSCAPE BUFFER SHALL BE ONE CONTINUOUS BED AND MULCHED WITH 3" MIN. DEPTH OF PINE STRAW MULCH
 3. LOCATED IN TREE ISLANDS. ALL TREES TO BE INSTALLED 15' FROM ANY LIGHT POLE.
 4. ALL AREAS OF DISTURBANCE NOT SPECIFIED AS SOD SHALL BE SEEDED WITH 80% REBEL SUPREME, 20% MERION BLUEGRASS @ 8#/1,000 SF UNLESS OTHERWISE NOTED ON GRADING PLANS
 5. NO TREES SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC WATER OR SEWER LINES
 6. REQUIREMENTS SHOWN ARE PER THE CITY ZONING ORDINANCE. SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE CITY AND HEIBERT+BALL LAND DESIGN





Item #: 7. Recommendation to the Board of Mayor and Aldermen: Amend Chapter 14 of the La Vergne Zoning Ordinance Regarding Administration and Procedures.

Reviewed By:
Bo Logan, City Planner

Summary:
The current public notice requirements need to be updated to reflect changes in State law.

- The Text Amendment language in Table 14.2 on page 242 currently states: "Published notice shall be included on the published agenda for the applicable review body."
- The Rezoning language in Table 14.2 on page 242 currently states: "Published notice of the public hearing shall be published at least 15 days before the BOMA Meeting. Mailed notice shall be postmarked at least 15 days prior to the BOMA meeting."

The language for both items should be changed to match current state law. Staff recommends the changes as follows:

1. Table 14.2 on page 242 - Amend the 2nd item in table - "Text Amendment" to read as follows: "Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing."
2. Table 14.2 on page 242 - Amend the 3rd item in table - "Rezoning (Map Amendment)" to read as follows: "Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing. Mailed notice shall be postmarked at least 21 days prior to the BOMA meeting."

Application	Published Notice	Mailed Notice	Posted Notice	Timing
Text Amendment	Required	Required	Required	Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing.
Rezoning (Map Amendment)	Required	Required	Required	Notice of the public hearing shall be published at least 21 days before the BOMA Public Hearing. Mailed notice shall be postmarked at least 21 days prior to the BOMA meeting.

Staff Comments / Technical Items:
None

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.