

AGENDA

Board of Mayor and Aldermen
April 7, 2026 Public Hearing @ 5:45 PM

- Call meeting to order.

ORDER OF BUSINESS

1. **Ordinance #2026-06** - An Ordinance to Amend the City of La Vergne Zoning Ordinance by Changing the Official Zoning Map for Tax Map 28, Parcels 2 and 1.01. Property Consists of Approximately 13.17 Acres. Property Located on Sanford Road. Current Zoning: A (Agricultural) Zoning District; Proposed Zoning: PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. (This received a favorable recommendation from the Planning Commission on February 24, 2026.)
2. **Ordinance #2026-07** - An Ordinance to Amend the City of La Vergne Zoning Ordinance by Changing the Official Zoning Map for Tax Map 32, Parcels 3, 3.03, 3.04 and 3.05 and Tax Map 29, Parcels 36, 37, 41.01 and 41.02. Property Consists of Approximately 101 Acres. Property Located on and Near Waldron Road and Blair Road. Current Zoning: R-1 (Low Density Residential) Zoning District; Proposed Zoning: PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. (This received a favorable recommendation from the Planning Commission on February 24, 2026.)

ADJOURN



ITEM REPORT

Board of Mayor and Aldermen

Date: April 7, 2026

<p>Item #: 1.</p>	<p>Ordinance #2026-06 - An Ordinance to Amend the City of La Vergne Zoning Ordinance by Changing the Official Zoning Map for Tax Map 28, Parcels 2 and 1.01. Property Consists of Approximately 13.17 Acres. Property Located on Sanford Road. Current Zoning: A (Agricultural) Zoning District; Proposed Zoning: PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. (This received a favorable recommendation from the Planning Commission on February 24, 2026.)</p>		
<p>Department:</p>	<p>Planning</p>	<p>Presented By:</p>	<p>Bo Logan</p>
<p>Item Attachments:</p>	<p>1. Ordinance #2026-06</p>		

Purpose:

This is an ordinance to rezone property located along Sanford Road from A to PDR-R3.

Background:

The applicant has acquired approximately 4 acres since last year. Now, the applicant is requesting to rezone approximately 13.2 acres from Ag to PDR with an R-3 base. The property is located between Chaney and Sanders Roads.

The main zoning in the area is a mixture of R-1 and R-2 plus R-3. North of this site is R-3 located on the east side of Chaney.

The remaining property that borders this site on the northern sides is R-2 which is Medium Density Residential.

Financial Summary:

Revenues: The city should receive impact fees and property taxes from any development of the property.
 Expenditures: Other than normal services being provided by the city, there are no specific expenditures required from the city for the development of this property.

Staff Recommendation:

Staff does not typically give recommendations on whether to approve or deny rezoning requests. This is a decision for the Board of Mayor and Aldermen.

ORDINANCE #2026-06

AN ORDINANCE TO AMEND THE CITY OF LA VERGNE ZONING ORDINANCE BY CHANGING THE OFFICIAL ZONING MAP FOR TAX MAP 28, PARCELS 2 AND 1.01. PROPERTY CONSISTS OF APPROXIMATELY 13.17 ACRES. PROPERTY LOCATED ON SANFORD ROAD. CURRENT ZONING: A (AGRICULTURAL) ZONING DISTRICT; PROPOSED ZONING: PDR-R3 (PLANNED DENSITY RESIDENTIAL WITH A HIGH DENSITY R-3 BASE) ZONING DISTRICT.

WHEREAS, a request has been made by Last of the Loggers, LLC, to rezone property located within the City of La Vergne; and

WHEREAS, the City of La Vergne Planning Commission, on February 24, 2026, made a favorable recommendation to the Board of Mayor and Aldermen that this request be approved.

NOW THEREFORE, BE IT ORDAINED BY THE CITY OF LA VERGNE BOARD OF MAYOR AND ALDERMEN THAT:

SECTION 1. That the Zoning Ordinance be and is hereby amended by making certain changes to the Official Zoning Map for the City of La Vergne, by changing the property identified as Tax Map 28, Parcels 2 and 1.01 from an A (Agricultural) Zoning District to a PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. This property consists of approximately 13.17 acres and is owned by the Chao Wen Dong who submitted application #ZR-2026-01 for the rezoning of this property, which is attached to and made a part of this ordinance as though copied herein.

SECTION 2. BE IT FURTHER ORDAINED, that the Codes and Planning Departments are hereby authorized and directed, upon approval of this Ordinance to cause the change to be made on the Official Zoning Map, as set out in Section 1 of this Ordinance, and to make notation thereon of reference to the date of passage and approval of this Ordinance.

SECTION 3. BE IT FURTHER ORDAINED, that this Ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of the City of La Vergne requiring it.

LEGAL STATUS PROVISIONS

Approved and certified by the Planning Commission:

Chairman

Date

Public Hearing Held: _____

Approved by the Mayor and Board of Aldermen:

1st Reading

Jason Cole, Mayor

2nd Reading

ATTEST:

Joshua Miller, City Recorder

Published in the Murfreesboro Post on _____.

City of La Vergne, Tennessee

5093 Murfreesboro Road, La Vergne, TN 37086 ♦ (615) 793-6295

REZONING REQUEST APPLICATION

For a Rezoning Request, the City of La Vergne **requires** the following:

1. Completion of this application. Please type or print the information in blue or black ink.
2. A map of the property. (See Zoning Ordinance for Specific Details.)
3. A label matrix with a list of Names **and** addresses of all adjacent property owners within 500 feet.
4. A legal description of the property, if available.
5. If the applicant is not the property owner, a letter from the property owner must be attached giving the applicant the authority to request rezoning.
6. A letter summarizing the project proposal, including the proposed usage of the land, reason for the rezoning request and justification for the rezoning request.
7. Payment of a Non-Refundable \$300.00 application fee. (Checks should be made payable to "City of La Vergne")

Request No. #ZR-2026-01
(Assigned by the City Recorder)

Date Submitted: 12-29-25

SECTION 1 - Applicant Information (Any Correspondence from the City will be addressed to the applicant.)

Property Owner
 Purchaser of Property
 Engineer
 Trustee
 Architect
 Other: _____

Name: Last of the Loggers, LLC Phone #: 615-663-7345

Business: Last of the Loggers, LLC E-Mail: mark@clqland.com

Address: 6700 Tower Cir Ste 330 Best Way to Contact: email
(Mail, E-Mail, Phone)

City: Franklin State: TN Zip: 37067

SECTION 2 - Property Information for the Rezoning Request

Tax Map	Parcel(s)	Current Zoning District	Requested Zoning District	# of Acres	Property Owner
	028-001-01-000	Agriculture	R3-PDR	9.67	Chao Wen Dong
	& 002.00-00	R2	R3-PDR	3.5	Ermin Johnson Turcios

*** Reason for Rezoning must be included on an attached sheet.

Project Name: Sanford Ridge

Project Address: Sanford Road La Vergne, TN

Existing Land Use: Vacant land

Proposed Land Use: Single Family Residential

Total Acreage of Project / Rezoning: 9.67

The rezoning process takes approximately three to four months depending on when the application is received by the City. The request must go to the Planning Commission where it receives a recommendation to the Board of Mayor and Aldermen. The Board of Mayor and Aldermen must approve a Rezoning Ordinance on two readings and hold a public hearing before the rezoning request is considered approved.

Applicant's Signature: *Mark Hanson* **Date:** 12-29-25

Chao Wen Dong
417 Liberty
Smyrna, TN 37167-7204

August 17, 2025

City of La Vergne Planning Department
5093 Murfreesboro Road
La Vergne, TN 37086

Re: Authorization for Rezoning Application and Agreement to Restrictive Covenant – Property at Sanford Road, La Vergne, TN (Parcel 001.01, ±9.67 Acres)

Dear Planning Department Officials:

I am the current owner of the property located at Sanford Road, La Vergne, TN, further identified as Parcel 001.01 and consisting of approximately 9.67 acres (the "Property"), as described in the attached Exhibit A from the Contract for Purchase and Sale of Real Estate dated July 23, 2025, between myself as Seller and Last of the Loggers, LLC as Buyer (the "Contract").

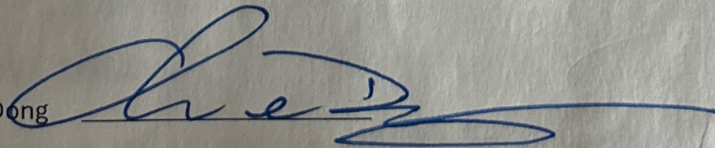
Pursuant to Paragraph 11(c) of the Contract, which obligates me to cooperate with the Buyer in rezoning efforts, including signing an application authorization form, I hereby authorize Last of the Loggers, LLC (the "Buyer") to submit an application to the City of La Vergne for rezoning of the Property to allow for single-family residential lots. This authorization includes permission for the Buyer to act on my behalf in all matters related to the rezoning application process, such as submitting documents, attending meetings, and providing necessary information to the City.

Additionally, in furtherance of the intended use of the Property, I hereby agree to the imposition of a restrictive covenant on the Property that limits its use exclusively to single-family homes. This restrictive covenant shall preclude any development or use of the Property for townhomes, duplexes, multi-family dwellings, or any other non-single-family residential purposes. I consent to the Buyer preparing and recording such a restrictive covenant at or prior to closing under the Contract, and I agree to execute any necessary documents to effectuate this covenant.

This authorization and agreement are provided in accordance with the terms of the Contract and shall remain in effect until the earlier of the closing of the sale or the termination of the Contract.

Sincerely,

Chao Wen Dong



cc: Last of the Loggers, LLC

Contact Person

Print Name Mark Hanson

Address 4000 Rush Street #1003 Franklin, TN Zip Code 37014

Daytime Phone 615-663-7345 Fax _____ E-mail mark@clqland.com

The undersigned has read the application associated with the above listed review request and is familiar with the information submitted herewith. It is agreed and understood that the undersigned will be held responsible for its accuracy. The undersigned warrants their authority to bind the owner and to subject the property to restrictions and conditions that may be attached to the proposed development.

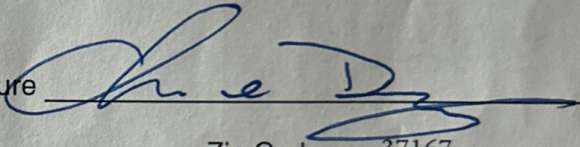
Applicant (if other than owner)

Print Name Mark Hanson Signature Mark Hanson

Address 4000 Rush Street #1003 Franklin, TN Zip Code 37014

Daytime Phone 615-663-7345

Owner(s)

Print Name Chao Wen Dong Signature 

Address 417 Liberty Symrna, TN Zip Code 37167

Daytime Phone 615-768-0694

Print Name _____ Signature _____

Address _____ Zip Code _____

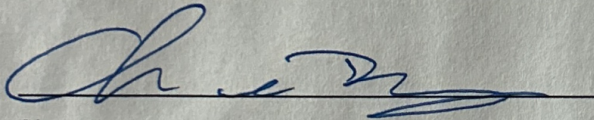
Daytime Phone _____

City of La Vergne Planning Department
5175 Murfreesboro Road
La Vergne, TN 37086
Phone: 615-287-8702 Fax: 615-213-8692

Certification Statement

I hereby certify that Chao Wen Dong is the owner of the property located at Sanford Road La Vergne, TN which is the subject of this application, and that I, Mark Hanson, in my capacity as Purchaser of the Property, am authorized to sign this application on behalf of the owner.

I understand that knowingly providing false information on this Application may result in any action taken heron being declared null and void. I further understand that pursuant to TCA 39-16-301 et seq., knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his duty is punishable as a Class B misdemeanor.



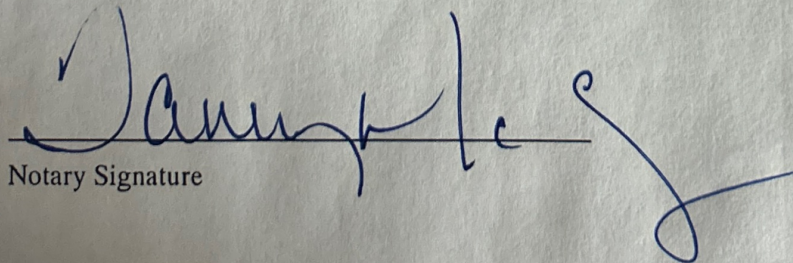
Signature

8/23/25
Date

CHAO WEN DONG

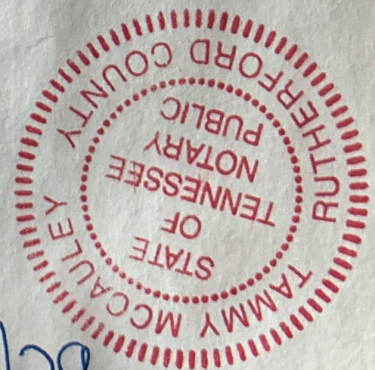
Printed Name and Title

Note: A Certification Statement must be submitted with an application form requiring the owner's signature if the owner of the subject property is a corporation, limited liability company, partnership, association, trustee, etc., or if someone other than the owner signs the application. All Certification Statements **must** be notarized.



Notary Signature

8/23/25
Date

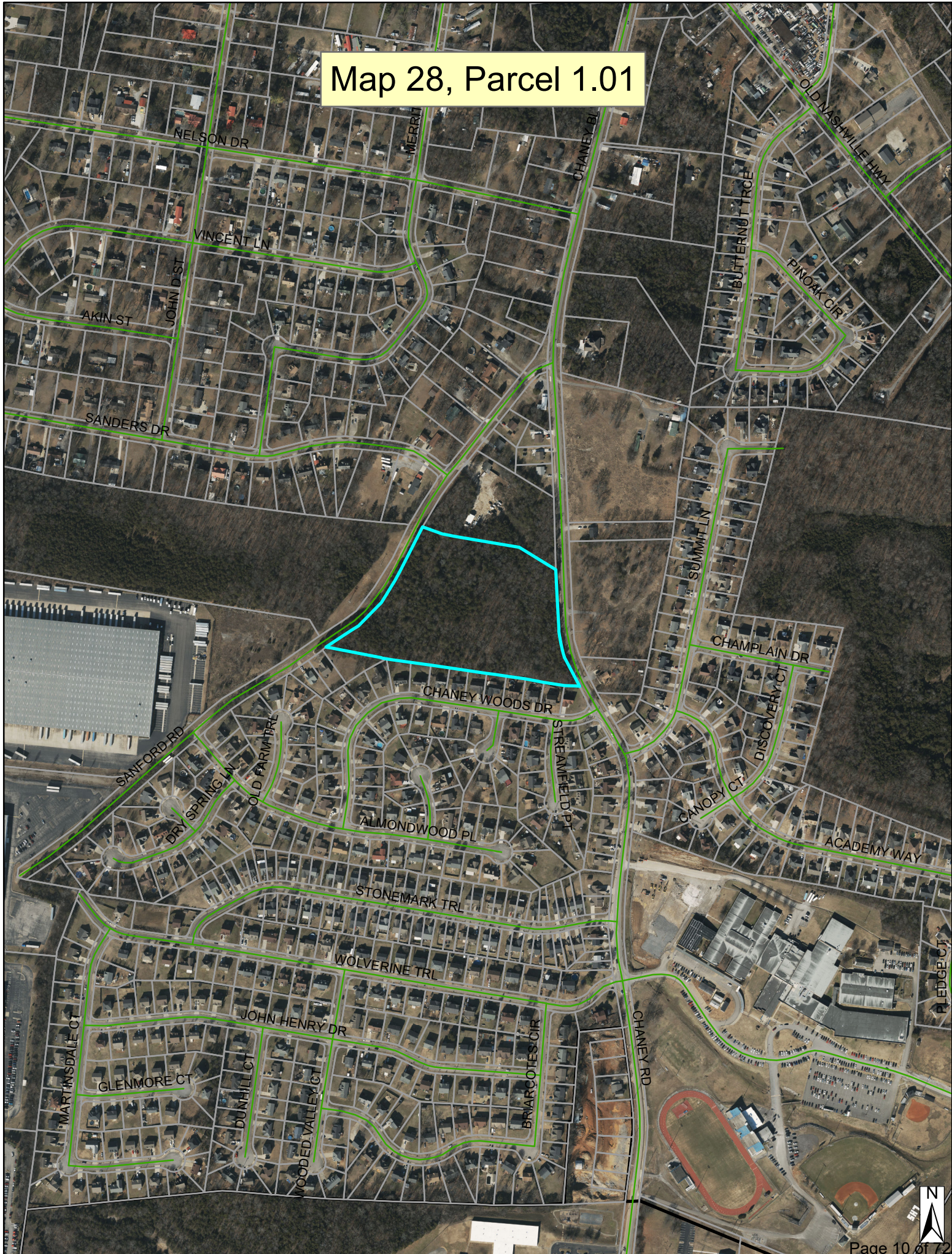


City of La Vergne Planning Department
5175 Murfreesboro Road
La Vergne, TN 37086
Phone: 615-287-8702 Fax: 615-213-8692

Revised 8/18/10

6/16/29

Map 28, Parcel 1.01



Map 28, Parcel 1.01

SANDERS DR

SANFORD RD

CHANNEY BLVD

CHANNEY WOODS DR

BRASS OAK CT

HOUNDS RUN

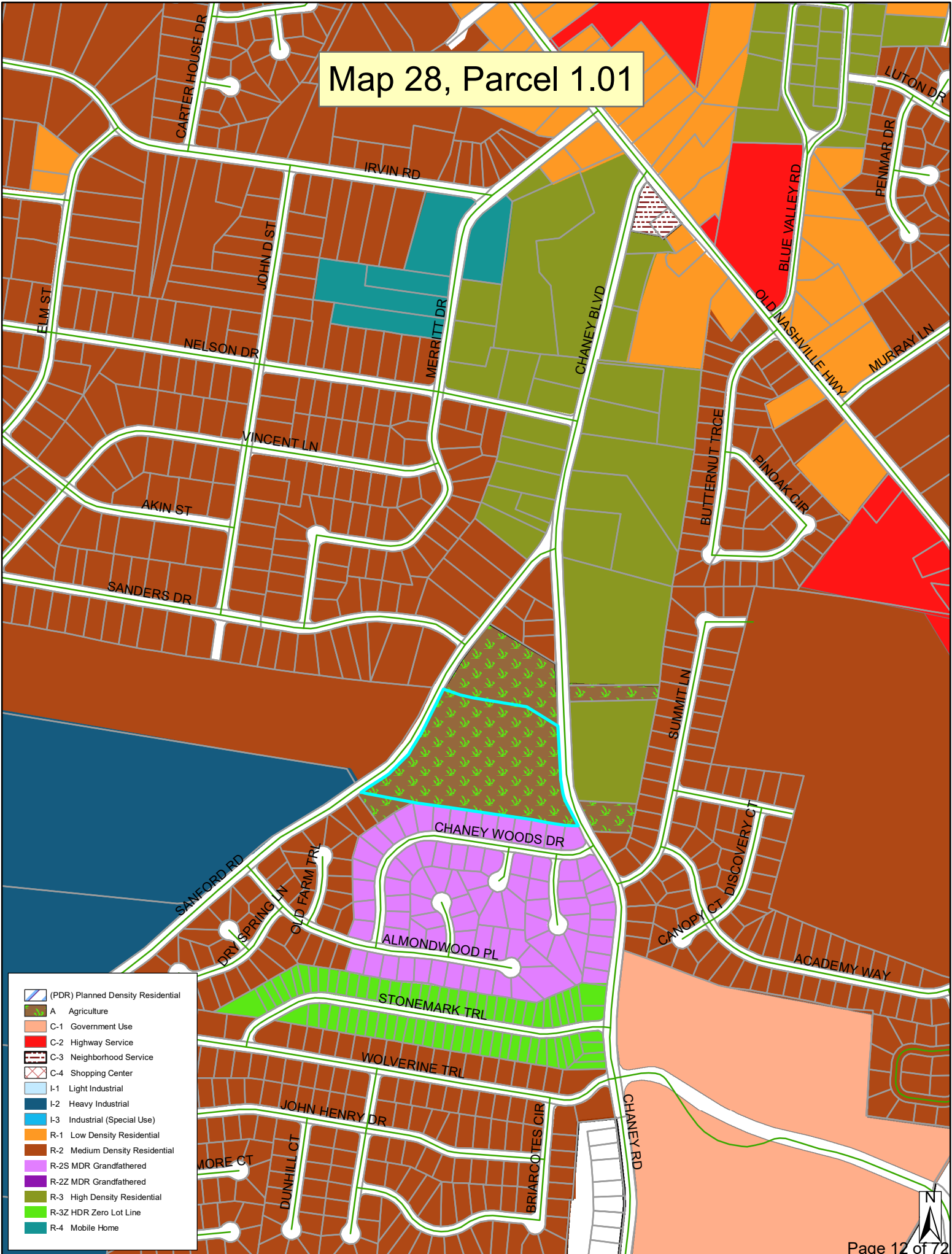
STREAMFIELD PT


SUMMIT LN

ALMONDWOOD PL



Map 28, Parcel 1.01



-  (PDR) Planned Density Residential
-  A Agriculture
-  C-1 Government Use
-  C-2 Highway Service
-  C-3 Neighborhood Service
-  C-4 Shopping Center
-  I-1 Light Industrial
-  I-2 Heavy Industrial
-  I-3 Industrial (Special Use)
-  R-1 Low Density Residential
-  R-2 Medium Density Residential
-  R-2S MDR Grandfathered
-  R-2Z MDR Grandfathered
-  R-3 High Density Residential
-  R-3Z HDR Zero Lot Line
- R-4 Mobile Home





**PROPERTY
RE-ZONING
REQUESTED**
FOR INFO CALL
615-267-8702



SANFORD RIDGE

PLANNED DENSITY RESIDENTIAL

DISTRICT(PDR)

Initial Submittal October 31, 2025

A REQUEST FOR REZONING FROM LOW DENSITY RESIDENTIAL (R-2) TO R3 PLANNED DENSITY RESIDENTIAL DISTRICT (PDR).

City of La Vergne, Tennessee

SEC Project #25736

PROLOGUE

APPLICANT INFORMATION

SEC, Inc.

Land Planning, Civil Engineering, Surveying and Landscape Architecture

Attn: Rob Molchan / Matt Taylor

Phone: (615) 890-7901

Email: rmolchan@sec-civil.com / mtaylor@sec-civil.com

Web: www.sec-civil.com

850 Middle Tennessee Blvd.

Murfreesboro, Tennessee 37129

Company Name: KMC Land, LLC

Attn: Mark Hanson

6700 Tower Circle Franklin, TN 37067

mark@clqland.com

615-663-7345

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PROJECT SYNOPSIS

Sanford Road

Site Boundary La Vergne City Limits

KMC Land, LLC respectfully requests rezoning of the property from Low Density Residential (R-2) to (R-3) with a Planned Density Residential (PDR) to create Sanford Ridge. The property is located along Sanford Road in La Vergne, Tennessee, identified as Parcels 028-002.00-00 and 028-001.01-00, with approximately 13.17 acres.

The request for rezoning to PDR is to create Sanford Ridge. The development will consist of 62 new residential units and one existing home on 13.17 acres, or a density of approximately 4.78 dwelling units per acre including existing home. The existing home shall be exempt from the PDR standards since it is a previously constructed home. The development will have one type of residential dwelling: single-family detached homes. Single-family detached homes will have a minimum of three bedrooms and a minimum two-car front-entry garage. All homes shall have a minimum of 16-foot-wide driveways to allow for two cars to park in the driveways. The home elevations will be constructed of brick, masonry, fiber cement board siding, or other masonry, composite, or engineered material on all sides to add quality and character to the community. All homes shall have foundation landscaping and sod along the primary and secondary front yards along ROW's. All homes will be for purchase. Decorative streetlights will add character, continuity, and safety to the neighborhood. The H.O.A. shall maintain all common areas. The development will dedicate land as needed for ROW improvements. No commercial components are proposed.

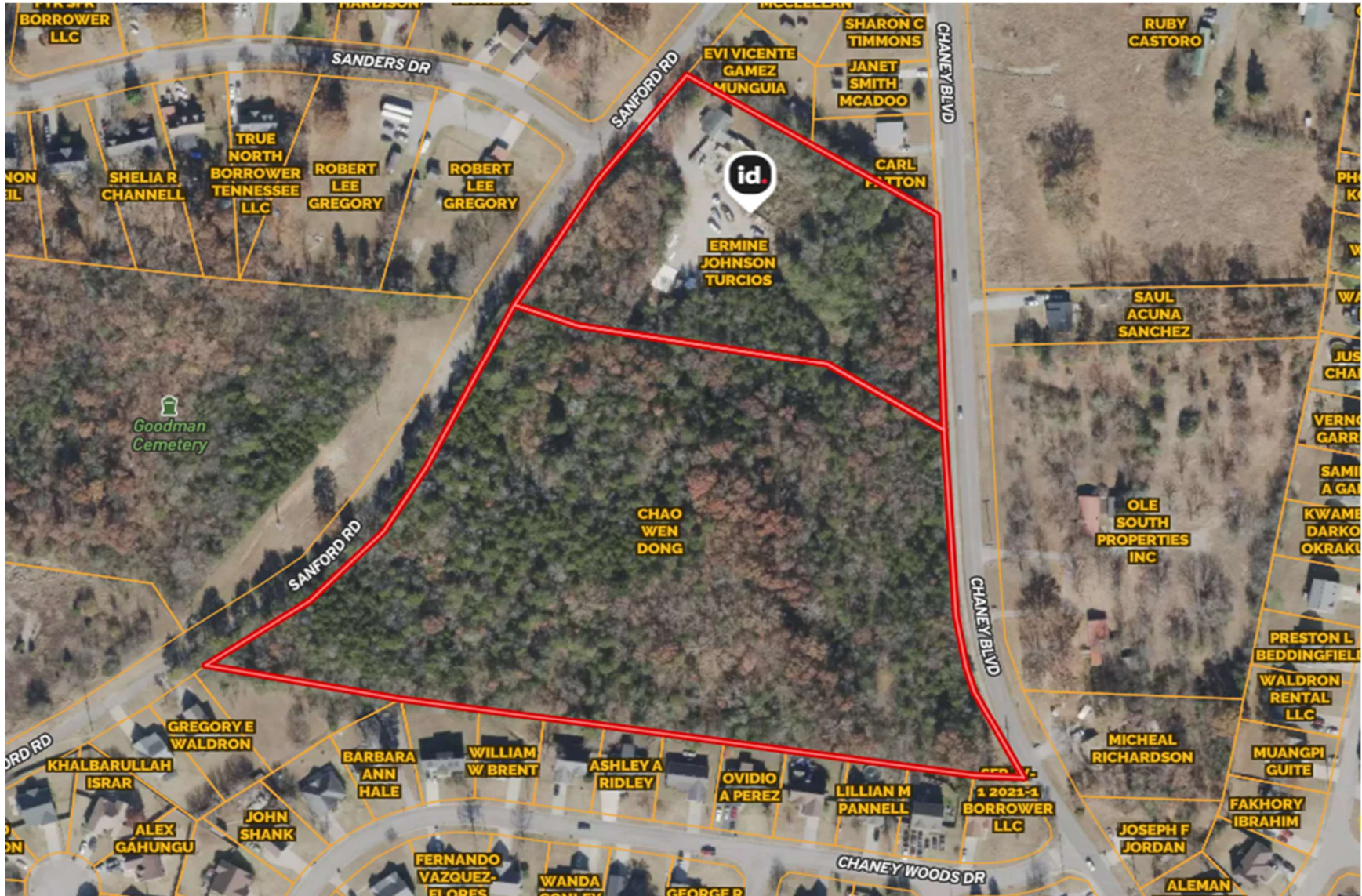
ACCESS AND CIRCULATION PLAN

Sanford Ridge will have access to the existing public right-of-way of Chaney Blvd. The project is also proposing a connection to the existing intersection of Sanders Drive and Sanford Road for a second point of access to the development from existing roadways around the development. No roads around this property are slated for improvements in the City of La Vergne transportation plans.

ZONING AND SURROUNDING LAND USES

Sanford Ridge is surrounded by a mixture of residential subdivisions. Adjacent properties include single-family detached homes to the south and town homes to the east. This proposal is fully consistent with the City of La Vergne's 2040 Future Land Use Plan, which designates the site for Single-Family Residential use. The 2024 Future Land Use Plan emphasizes that "New dwellings and structures should be compatible with the established character of the area." The proposed residential development is adjacent to existing single-family homes (Chaney Woods & Hailey Hills) to the west and townhomes (Chaney Place) to the east. The proposed single-family lots are compatible with the established single-family residential character of the surrounding area, providing a natural transition between the lower-density homes to the west and the higher-density townhomes to the east, while maintaining the overall residential fabric of the neighborhood. The surrounding area consists of a mixture of zoning types and uses. Adjacent to the site is R-1 and R-3 to the east, R-2 to the north and south, and R-2 to the west.

LOCATION AND SURROUNDING LAND USES



WATER, SEWER, DRAINAGE, ELECTRIC

Electric service will be provided by Middle Tennessee Electric. Service will be extended from either Chaney Boulevard or Sanford Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

Water service will be provided by the City of La Vergne Public Utilities Department. Water services shall extend from Chaney Boulevard into the site. Developer will be responsible for extending the water service into the site.

Sanitary sewer service will be provided by the City of La Vergne Public Utilities Department. Construction will extend sewer from Chaney Boulevard into the site, and the developer will be responsible for extending the sewer into this property.

UTILITY MAP

Sanford Ridge

01-15-2026

LEGEND

- PROPOSED WATERLINE
- PROPOSED SEWER LINE

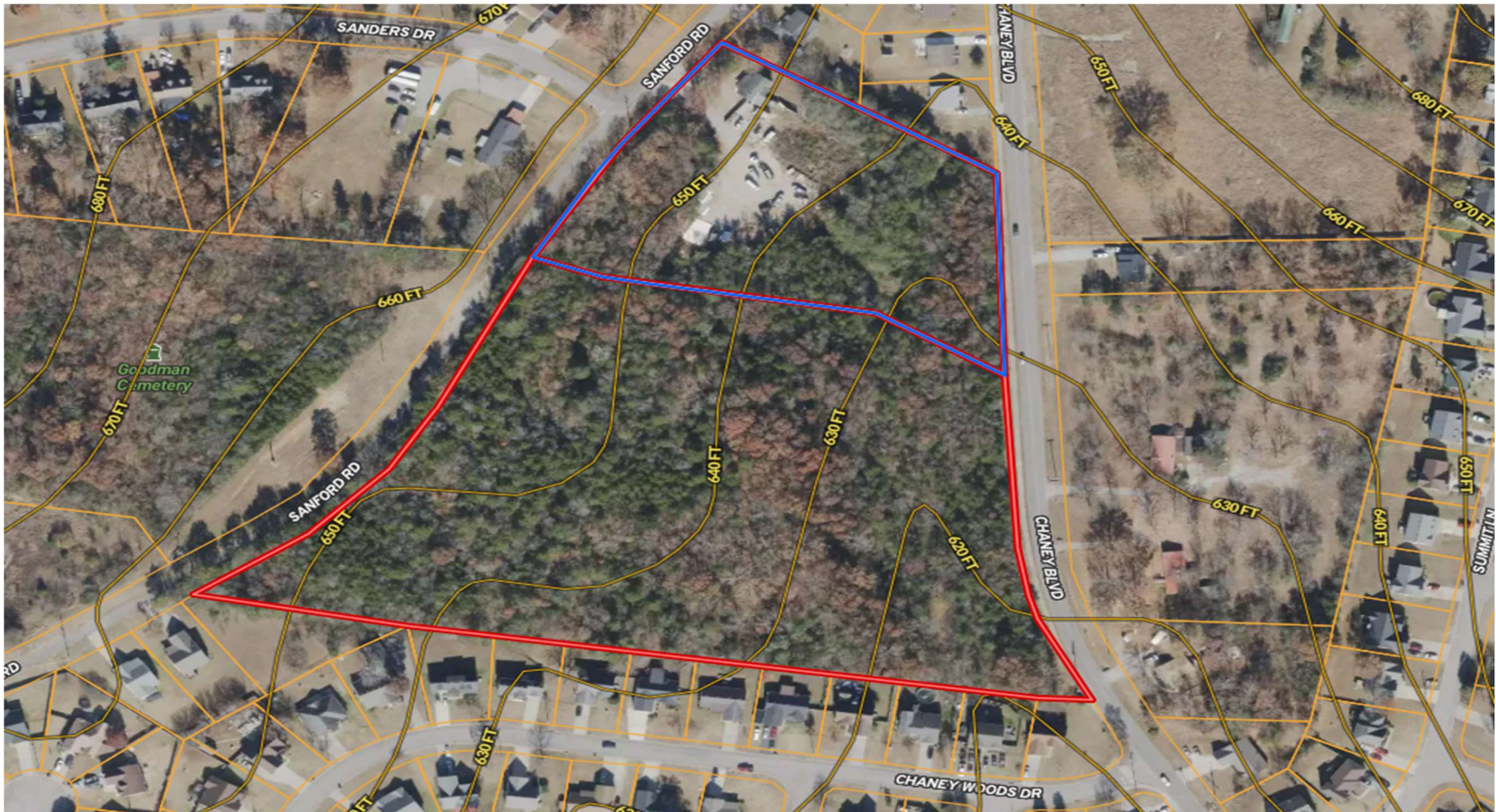


SEC, Inc. SITE ENGINEERING CONSULTANTS
REG. ENGINEER - CIVIL ENGINEERING
REG. ENGINEER - ELECTRICAL ENGINEERING
REG. ENGINEER - MECHANICAL ENGINEERING
REG. ENGINEER - SURVEYING ENGINEERING
2020 N. 10TH ST., SUITE 100, DENVER, CO 80202
TEL: 303.733.1100 FAX: 303.733.1101

Utilities Plan

HYDROLOGY AND TOPOGRAPHY

The topographic map above shows the site's topographic high point of 650' along Sanford Road to a low point of 610' in the southeast corner of the property. The property has slopes ranging from 5% to 7%. This property does not lie within any floodplain areas.



ON-SITE PHOTOS

Project frontage along Chaney Blvd.



Project frontage along Sanford.



RESIDENTIAL DEVELOPMENT STANDARDS

Residential Development Standards:

- A total of 62 new homes with at least 3 bedrooms per house. Each house shall be on its own lot of record and sold fee simple. All homes will be for sale and not built to rent.
- Builders shall install landscaping along foundations of all primary and secondary front yards along R.O.W.s of all buildings. Seed/Straw will be installed in all yards.
- A minimum of 60% of the front house façade shall be brick or stone.
- All mechanical equipment (i.e. HVAC and transformers) to be screened and located at the rear or side of all homes.
- The existing home lot 63 shall be exempt from PDR standards.
- All on-site utilities shall be underground.
- All homes will be serviced by a 3rd party trash company.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Parking for homes will comply with the City of La Vergne requirements.
- All homes will provide at least three (3) off-street parking spaces; two in the driveway and one in the garage.
- Homes shall have concrete driveways wide enough for 2 vehicles with a minimum width of 16-ft.
- All streets will be classified as public rights-of-way.
- All streets have been designed to comply with City of La Vergne Streets Standards.
- Public sidewalks will be provided on both sides of all public streets throughout the development to create a pedestrian friendly community.
- Mail service will be provided via CBU.
- Decorative streetlights will be coordinated with MTE.
- All homeowners shall be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents shall be subject to restrictive covenants and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.
- The common areas will be owned and maintained by an H.O.A.
- All infrastructure shall comply with City of La Vergne Standards. Any exceptions must be approved by the City Engineer.
- Fencing shall be constructed of durable materials, and chain-link fences are prohibited.
- Lot Product Guidelines: The purpose of these guidelines is to allow the developer to modify the approved lot mix within the PDR, without having to make application to

amend the approved PDR. Any requested modification to the approved PDR for purpose of swapping lot products shall be conducted through administrative review and approved by City Staff. These guidelines shall only relate to the swapping lots within approved residential blocks.

CONCEPTUAL MASTER PLAN

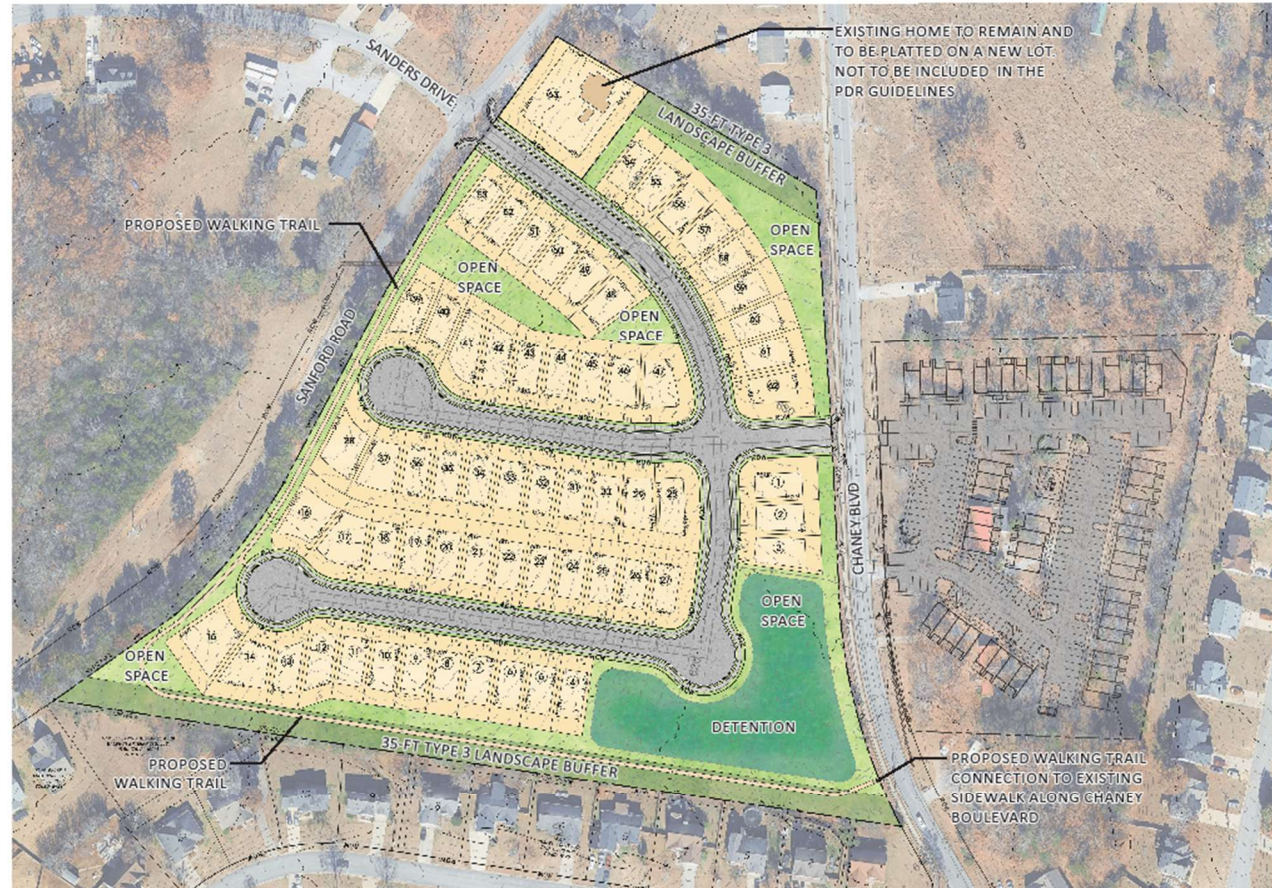
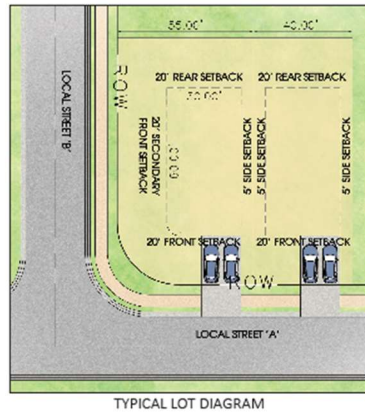
Sanford Ridge

01-15-2026

SITE DATA:

EXISTING ZONING:	AG & R-2
PROPOSED ZONING:	R-3/PDR
TOTAL LAND AREA:	±13.17 ACRES
PROPOSED RESIDENTIAL LOTS:	62 UNITS
EXISTING HOME TO REMAIN:	1 UNIT
DENSITY: 62 UNITS/13.17 ACRES=	±4.71 UNITS/AC
STORMWATER:	±1.04 ACRES

- PROPOSED LOTS
- PUBLIC ROADWAY
- DETENTION
- OPEN SPACE



SEC, Inc. SITE ENGINEERING CONSULTANTS
 450 INTERPKY. - 2ND FLOOR - GAITHERSBURG, MD 20878-1212
 410-252-5100 - METRO/DC AREA
 410-252-5101 - BALTIMORE AREA
 410-252-5102 - ANNAPOLIS AREA
 410-252-5103 - GREENBELT AREA
 410-252-5104 - ROCKVILLE AREA
 410-252-5105 - WASHINGTON DC AREA
 410-252-5106 - WASHINGTON DC AREA
 410-252-5107 - WASHINGTON DC AREA
 410-252-5108 - WASHINGTON DC AREA
 410-252-5109 - WASHINGTON DC AREA
 410-252-5110 - WASHINGTON DC AREA

Concept Plan

Sanford Ridge

01-15-2026

OPEN SPACE REQUIREMENTS:

OPEN SPACE REQUIRED: (13.17 ACRES x 15%)	±1.98 ACRES (15%)
OPEN SPACE PROVIDED:	±3.88 ACRES (29.46%)
USABLE OPEN SPACE REQUIRED: (1.98 ACRES x 50%)	±0.99 ACRES (50%)
USABLE OPEN SPACE PROVIDED:	±1.12 ACRES (56.56%)

LEGEND

-  PROPOSED OPEN SPACE AREA
-  PROPOSED USABLE OPEN SPACE AREA



SEC, Inc. SITE ENGINEERING CONSULTANTS
100 NORTH ... LAND PLANNING
LANDSCAPE ARCHITECTURE
1000 ...
2000 ...
3000 ...

Open Space Plan

ARCHITECTURAL CHARACTERISTICS - SINGLE FAMILY HOMES

Architectural Characteristics - Single Family Homes:

- 4,000 Sf. Minimum Lot Size (40' wide x 100' deep approx.)
- Buildings shall range from 1,650-2,460 SF
- Building heights shall not exceed 35 feet.
- Buildings shall be a mix of 1 and 2 stories.
- All homes will have at least 3 bedrooms.
- All the homes shall have eaves.
- All homes will have a patio located at the back of the home.
- All homes will be located on individual lots of record.
- All homes will have a 2-car front entry garage.
- Garage door color and style shall be consistent with architecture.
- Homes will be comprised of alternating styles and colors.
- Building Materials: Front Elevations: All Masonry (Brick, Stone, LP, Fiber-Cement Board Siding) Side Elevations: All Masonry (Brick, Stone, LP, Fiber Cement Board Siding) Rear Elevations: All Masonry (Brick, Stone, LP, Fiber Cement Board Siding) All Elevations: Vinyl Only Permitted in Trim & Soffit Areas
- The existing home lot 63 shall be exempt from PDR standards.

*The elevations of the homes will vary across the development. The images in **Appendix A** are meant to convey the general appearance and functionality of the homes.*

MINIMUM LOT DIMENSIONS AND SETBACKS DIAGRAM

- Front Setback: Min 20 ft (+5-ft)
- Side Setback: Min 5 ft
- Rear Setback: Min 20 ft (+5-ft)

FACADE VARIETY DIAGRAM In order to avoid monotony of architectural design, no approval shall be issued for the construction of a house if it is substantially like any proposed neighboring house for which an approval has already been issued or is being concurrently considered. A house shall be considered neighboring if it fronts on the same street as the house under construction or an intersecting street. Building facade colors and design elements should vary between each lot with a variation of massing and architectural details on each block.

THOROUGHFARES AND INGRESS/EGRESS

All proposed streets will comply with City standards.

AMENITIES AND OPEN SPACE

A minimum of 15% (1.98 Acres) of the gross acreage of the site shall be set aside as common open space. This space may be unimproved and passive in nature and could include steep slopes, floodplains, other natural features, or stormwater management areas.

A minimum of 50% of the required open space (0.99 Acres) must be suitably improved to be usable open space by the residents in the area. These improvements could be walking trails, small playground, level open play fields, or other amenities that are appropriate for the proposed development. The proposed amenities shall be reviewed in detail as a part of the construction documents submittal.

DEVELOPMENT AGREEMENT

AGREEMENT

This Agreement (“Agreement”) is made and entered into as of the Effective Date as defined herein by and between the City of La Vergne, Tennessee (“City”), and KMC Land, LLC and its successors and assigns (“Developer”).

WHEREAS, the Developer shall be the owner of the ±13.17-acre parcel of property located along Sanford Road in La Vergne, Tennessee, more particularly shown as Parcels 028-002.00-00 and 028-001.01-00, (“Property”); and

WHEREAS, incorporated herein by reference is City Ordinance #2023-XX as it exists on the date the PDR is adopted by the City; and

WHEREAS, the Developer desires to develop the Property into a residential development (“Development”) pursuant to a Planned Density Residential Rezoning Request approved by the City's Board of Mayor and Aldermen on _____ with Ordinance #2025-XX (“PDR”), subject to the City and the Developer entering into this Agreement; and

WHEREAS, development of the Development will increase traffic in and around the same; and

WHEREAS, to facilitate any necessary improvements, in addition to all other rules, regulations ordinances and law with which the Developer must comply, and as an

additional condition for obtaining certificates of occupancy as described herein, the Developer agrees to comply with the requirements set forth herein.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual promises contained herein, and other good and valuable consideration, the receipt and sufficiency of which the parties hereby acknowledge, the receipt and sufficiency of which the parties' contract, covenant, and agree as follows:

1. Dedication of Right-of-Way.

1.1 On the applicable final plat for the Development, the Developer shall dedicate to the City (a) on a temporary basis those temporary easements as necessary to construct any improvements and (b) on a permanent basis that land as permanent right-of-way, which land shall be conveyed to the City in fee simple and free and clear of all liens and encumbrances.

2. Phases. The Development may be phased as needed. No specific financial contributions are required beyond standard fees.

3. All homes will be for sale and not built to rent.

4. Successors and Assigns. This Agreement shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns. The Developer shall have the independent right in its sole judgment to sell, assign or transfer their rights and obligations under Agreement, in whole or in part, to a related or unrelated third-party without the City's consent. If the Developer sells, assigns or transfers all or any portion of its rights, remedies, covenants, and obligations under this Agreement, (a) all such rights, remedies, covenants and obligations of that Developer, whether arising before or after such sale, assignment or transfer, shall be fully binding upon and inure to the benefit of such Developer's buyer(s), assignee(s), or transferee(s) and (b) that Developer shall be released and discharged from all covenants and obligation under this Agreement and the remaining parties shall look solely to that Developer's buyer(s), assignee(s), or transferee(s) for the performance thereof. If the Developer sells, assigns or transfers all or any portion of their rights, remedies, covenants, and obligations under this Agreement, that Developer shall provide City written notice of the same within 10 days of the closing of the sale, assignment or transfer, and said notice shall include the name(s) and address(es) of the buyer(s), assignee(s), or transferee(s).

5. No Government Limitation. This Agreement between Developer and the City shall not be construed to bind any agency or instrumentality of federal, state, county or

municipal government in the enforcement of any regulation, code or law under its jurisdiction.

6. Federal, State and Local Requirements. Developer is responsible for full compliance with all applicable federal, state, county and municipal laws, rules and regulations.
7. Non-Reliance of Parties. The parties hereto explicitly agree that they have not relied upon any earlier or outside representations other than what has been included in this Agreement. Furthermore, neither party has been induced to enter into this Agreement by anything other than the specific written terms set forth herein.
8. Distinction from Regulatory Authority of the City. The parties understand and agree that this Agreement does not and shall not be construed to indicate or imply that the City, acting as regulatory or permitting authority, has hereby granted or is obligated to grant any approval or permit required by law for the Development.
9. Indemnification and Hold Harmless. Pursuant to Tennessee Attorney General Opinion 93-01, the City will not indemnify, defend or hold harmless in any fashion the Developer. Developer shall indemnify and hold harmless the City, its officers, agents and employees from:

8.1. Any claims, damages, costs and attorney fees for injuries or damages arising, in part or in whole, from the negligent or intentional acts or omissions of Developer, its officers, employees and/or agents, including sub or independent contractors, in connection with the performance of the Agreement.

8.2. Any claims, damages, penalties, costs and attorney fees arising from any failure of Developer, its officers, employees and/or agents, including sub or independent contractors, to observe applicable laws, including, but not limited to, labor laws and minimum wage laws; and

8.3. Developer shall pay the City any expenses incurred as a result of Developer's failure to fulfill any obligation in a professional and timely manner under this Agreement.

9. Incorporation of Agreement in PDR. The Developer shall amend the concept plan for the PDR to include compliance with this Agreement as a condition pursuant to Section 5.052.6 of the City's zoning ordinance.

10. Force Majeure. In the event any unforeseen matter or condition beyond the reasonable control of a party, such as, but not limited to war, public emergency or calamity, fire, earthquake, flood, severe weather conditions, act of God, strikes or labor disturbances, civil disturbances or riots, pandemic, or any governmental

restriction, prevent or delay performance of this Agreement, in whole or part, after the employment of all reasonably available and economically feasible means to overcome such condition, avoid delay and mitigate the effects thereof, performance of this Agreement by the party affected thereby shall be suspended or excused to the extent commensurate with such interfering occurrence; provided that the party whose performance is affected shall notify the other party within ten (10) days after its actual knowledge of commencement of such occurrence of the event.

11. Remedies. In the event of a default in the performance of this Agreement by any party, the other parties shall have all rights, remedies, and obligations available under applicable law. Provided, however, notwithstanding anything in this Agreement or the PDR to the contrary: (a) no default in the performance of this Agreement by any party will rescind or repeal the City's approval of the PDR, and (b) this Agreement does not obligate the City to grant any approval or permit for the Development that it otherwise would not be required by law to grant, nor does this Agreement excuse or waive the Developer obligation to comply with applicable law. In the event the PDR or this Agreement is held to be invalid by a trial court of competent jurisdiction, the City shall appeal the trial court's judgment to the state or federal (as applicable) court of appeals, but the City is not obligated to seek a stay of the trial court's judgment, and the Developer agrees that they will not take any action in furtherance of developing the Development pending the decision of the court of appeals. If the aforementioned trial court judgment is affirmed by the court of appeals, this Agreement and the PDR shall be deemed null and void ab initio.

12. Notice. Any notice to be given hereunder by any party to any other party shall be in writing and shall be delivered by personal delivery, including messenger service or overnight courier, or by registered or certified mail, postage prepaid, return receipt requested, and shall be deemed delivered upon receipt or refusal to accept delivery at the address specified below, but each party may change its address by written notice given to the other in accordance with this paragraph.

To the City: City of La Vergne c/o City Administrator 5093 Murfreesboro Road La Vergne, TN 37086

To the Developer: KMC Land, LLC 6700 Tower Circle Franklin, TN 37067

13. Choice of Law, Choice of Venue. This Agreement shall be interpreted in accordance with the laws of the state of Tennessee. In the event of litigation arising out of or relating to this Agreement, the exclusive forum for such litigation shall be in the

Chancery or Circuit Court for Rutherford County, Tennessee or the United States District Court for the Middle District of Tennessee.

14. Non-Waiver. No course of dealing between the parties and no delay or omission of any party in exercising any right arising from another party's default shall impair such right or be construed to be a waiver of a default. No waiver of any provision of this Agreement shall affect the right of any party thereafter to enforce such provision or to exercise any right or remedy available to it in the event of any other default.

15. Signatures and Effective Date. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together constitute one and the same instrument. A signed copy of this Agreement shall be deemed an original for all purposes. This Agreement shall be effective on the last date it is signed and delivered by the parties as reflected beneath their signatures below ("Effective Date").

IN WITNESS WHEREOF, the parties hereto have executed this Development Agreement on the date(s) set forth below:

KMC Land, LLC

By: _____

Printed Name: _____

Title: _____

Date: _____

CITY OF LA VERGNE

By: _____

Jason Cole, Mayor

Date: _____

ATTEST:

Bruce Richardson, City Recorder

Date: _____



ITEM REPORT

Board of Mayor and Aldermen

Date: April 7, 2026

<p>Item #: 2.</p>	<p>Ordinance #2026-07 - An Ordinance to Amend the City of La Vergne Zoning Ordinance by Changing the Official Zoning Map for Tax Map 32, Parcels 3, 3.03, 3.04 and 3.05 and Tax Map 29, Parcels 36, 37, 41.01 and 41.02. Property Consists of Approximately 101 Acres. Property Located on and Near Waldron Road and Blair Road. Current Zoning: R-1 (Low Density Residential) Zoning District; Proposed Zoning: PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. (This received a favorable recommendation from the Planning Commission on February 24, 2026.)</p>		
<p>Department:</p>	<p>Planning</p>	<p>Presented By:</p>	<p>Bo Logan</p>
<p>Item Attachments:</p>	<p>1. Ordinance #2026-07</p>		

Purpose:

This is an ordinance to rezone property located along Waldron Road and Blair Road from R-1 to PDR-R3.

Background:

Equitable Property Company is requesting approval of a concept plan and rezoning for South Waldron Road Mixed Use, a mixed use PDR to consist of 100.95 acres. The accompanying rezoning request would change the 100.95 acres from R-1 to R-3 PDR, Planned Density Residential Zoning District (High Density Residential).

The property is located along the west side of Waldron Road and south of Blair Road in the southern part of La Vergne. Furthermore, this site lies east of The Ridge subdivision. Arbor Ridge, under construction, is across Waldron Rd. A future connection point is shown to Blair Road West when it is completed.

Directly across the street to the east (Arbor Ridge) of this site is zoned R-1 PDR. All the property to the south of this site is zoned R-1. Next door to this site, The Ridge is zoned R-1 and later phases R-2.

The purpose of the plan is to develop the property for construction of 877 dwelling units, up from the 614 that were approved in April last year with the first concept plan. The proposed dwelling units are to include single-family homes and multifamily units as well as 55+ living.

Financial Summary:

Revenues: The city should receive impact fees and property taxes from any development of the property. Expenditures: Other than normal services being provided by the city, there are no specific expenditures required from the city for the development of this property.

Staff Recommendation:

Staff does not typically give recommendations on whether to approve or deny rezoning requests. This is a decision for the Board of Mayor and Aldermen.

ORDINANCE #2026-07

AN ORDINANCE TO AMEND THE CITY OF LA VERGNE ZONING ORDINANCE BY CHANGING THE OFFICIAL ZONING MAP FOR TAX MAP 32, PARCELS 3, 3.03, 3.04, AND 3.05 AND TAX MAP 29, PARCELS 36, 37, 41.01, AND 41.02. PROPERTY CONSISTS OF APPROXIMATELY 101 ACRES. PROPERTY LOCATED ON AND NEAR WALDRON ROAD AND BLAIR ROAD. CURRENT ZONING: R-1 (LOW DENSITY RESIDENTIAL) ZONING DISTRICT; PROPOSED ZONING: PDR-R3 (PLANNED DENSITY RESIDENTIAL WITH A HIGH DENSITY R-3 BASE) ZONING DISTRICT.

WHEREAS, a request has been made by Equitable Property Company, to rezone property located within the City of La Vergne; and

WHEREAS, the City of La Vergne Planning Commission, on February 24, 2026, made a favorable recommendation to the Board of Mayor and Aldermen that this request be approved.

NOW THEREFORE, BE IT ORDAINED BY THE CITY OF LA VERGNE BOARD OF MAYOR AND ALDERMEN THAT:

SECTION 1. That the Zoning Ordinance be and is hereby amended by making certain changes to the Official Zoning Map for the City of La Vergne, by changing the property identified as Tax Map 32, Parcels 3, 3.03, 3.04, and 3.05 and Tax Map 29, Parcels 36, 37, 41.01, and 41.02 from a R-1 (Low Density Residential) Zoning District to a PDR-R3 (Planned Density Residential with a High Density R-3 Base) Zoning District. This property consists of approximately 101 acres and is owned by the Industrial Development Board of the City of La Vergne, B & F Ventures, Michaels Homes, LLC, Randall W. Thomas Etux Amanda H who submitted application #ZR-2026-02 for the rezoning of this property, which is attached to and made a part of this ordinance as though copied herein.

SECTION 2. BE IT FURTHER ORDAINED, that the Codes and Planning Departments are hereby authorized and directed, upon approval of this Ordinance to cause the change to be made on the Official Zoning Map, as set out in Section 1 of this Ordinance, and to make notation thereon of reference to the date of passage and approval of this Ordinance.

SECTION 3. BE IT FURTHER ORDAINED, that this Ordinance take effect immediately after its passage and such change be published in a newspaper of general circulation, the welfare of the City of La Vergne requiring it.

LEGAL STATUS PROVISIONS

Approved and certified by the Planning Commission:

_____ Chairman

_____ Date

Public Hearing Held: _____

Approved by the Mayor and Board of Aldermen:

_____ 1st Reading

_____ Jason Cole, Mayor

_____ 2nd Reading

ATTEST:

_____ Joshua Miller, City Recorder

Published in the Murfreesboro Post on _____.

City of La Vergne, Tennessee
5175 Murfreesboro Road, La Vergne, TN 37086 ♦ (615) 287-8702

REZONING REQUEST APPLICATION

For a Rezoning Request, the City of La Vergne **requires** the following:

1. Completion of this application. Please type or print the information in blue or black ink.
2. A map of the property. (See Zoning Ordinance for Specific Details.)
3. A label matrix with a list of Names **and** addresses of all adjacent property owners within 500 feet.
4. A legal description of the property, if available.
5. If the applicant is not the property owner, a letter from the property owner must be attached giving the applicant the authority to request rezoning.
6. A letter summarizing the project proposal, including the proposed usage of the land, reason for the rezoning request and justification for the rezoning request.
7. Payment of a Non-Refundable \$300.00 application fee. (Checks should be made payable to "City of La Vergne")

Request No. ZR-2026-02
(Assigned by the City Recorder)

Date Submitted: 01/08/26

SECTION 1 - Applicant Information (Any Correspondence from the City will be addressed to the applicant.)

Property Owner
 Purchaser of Property
 Engineer
 Trustee
 Architect
 Other: _____

Name: Land Deleot Phone #: 615-948-6807

Business: Equitable Property Co E-Mail: land@equitabletn.com

Address: 3201 Trevor St, Suite 200 Best Way to Contact: E-Mail

City: Nashville State: TN Zip: 37209 (Mail, E-Mail, Phone)

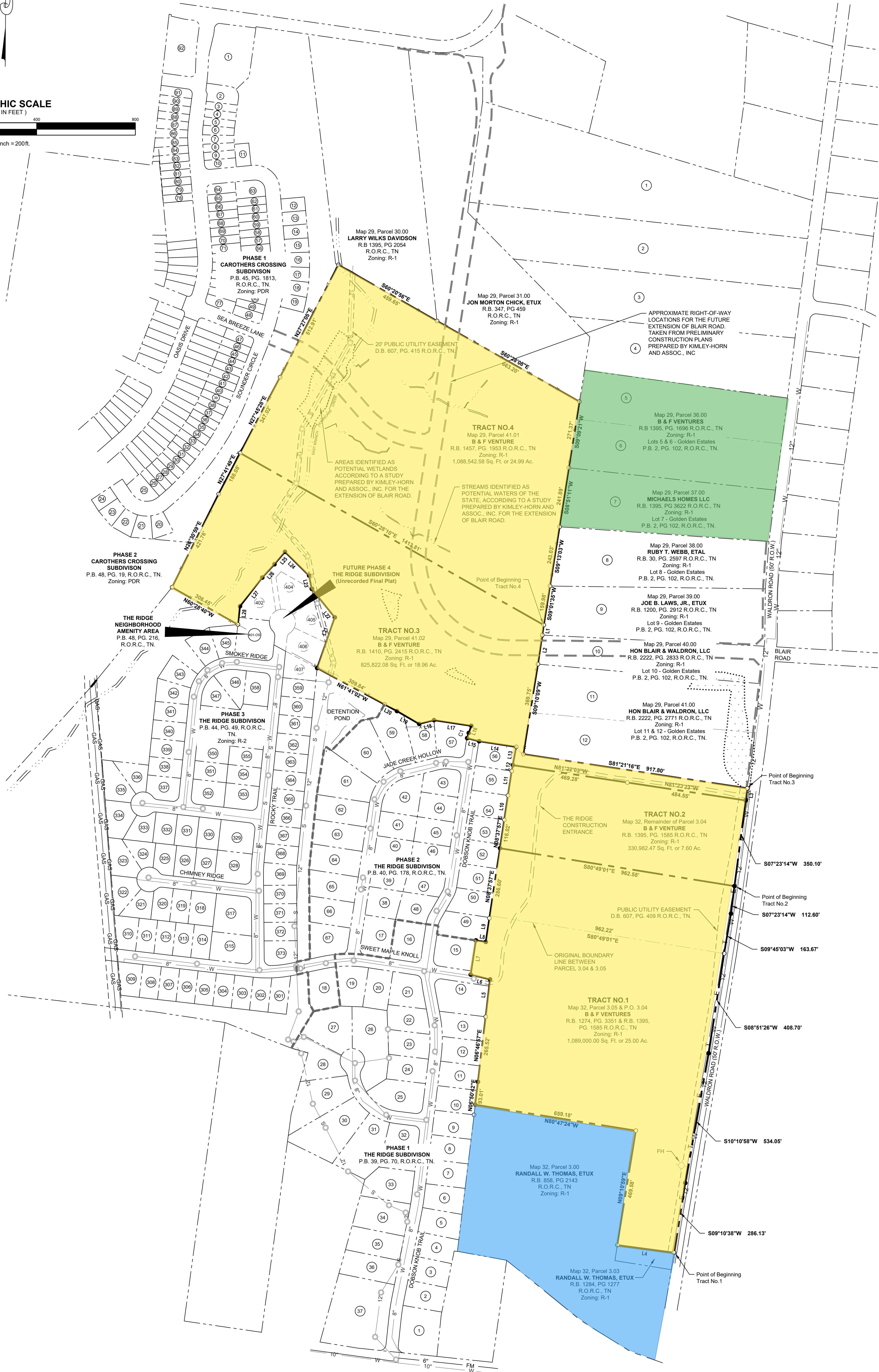
SECTION 2 - Property Information for the Rezoning Request

Tax Map	Parcel(s)	Current Zoning District	Requested Zoning District	# of Acres	Property Owner
					Attached

*** Reason for Rezoning must be included on an attached sheet.

Tax Map	Parcel(s)	Current Zoning District	Requested Zoning District	# of Acres	Property Owner
29	029-036.00-000	R1	PDR	7.40	FIRST FRUITS FOUNDATION TRUST
29	029-037.00-000	R1	PDR	4.26	MICHAELS HOMES LLC
29	029-041.01-000	R1	PDR	24.99	INDUSTRIAL DEVELOPMENT BOARD OF THE CITY OF LA VERGNE
29	029-041.02-000	R1	PDR	18.96	INDUSTRIAL DEVELOPMENT BOARD OF THE CITY OF LA VERGNE
32	032-003.00-000	R1	PDR	12.18	THOMAS RANDALL W ETUX AMANDA H
32	032-003.03-000	R1	PDR	0.40	THOMAS RANDALL W ETUX AMANDA H
32	032-003.04-000	R1	PDR	7.60	INDUSTRIAL DEVELOPMENT BOARD OF THE CITY OF LA VERGNE
32	032-003.05-000	R1	PDR	25.00	INDUSTRIAL DEVELOPMENT BOARD OF THE CITY OF LA VERGNE

GRAPHIC SCALE
(IN FEET)



Line #	Direction	Length
L1	S08° 58' 31" W	41.20'
L2	S08° 21' 17" W	118.97'
L3	S08° 00' 17" W	49.68'
L4	N82° 23' 01" W	231.77'
L5	N06° 41' 29" E	152.28'
L6	N76° 05' 41" W	80.86'
L7	N08° 39' 15" E	140.13'
L8	S81° 19' 11" E	40.45'
L9	N08° 37' 55" E	97.36'
L10	N08° 40' 09" E	100.00'


Line #	Direction	Length
L11	N08° 40' 47" E	100.02'
L12	N10° 34' 07" E	24.56'
L13	N10° 34' 07" E	75.13'
L14	N81° 21' 20" W	152.03'
L15	N75° 21' 15" W	50.00'
L16	N19° 38' 48" E	30.73'
L17	N81° 21' 20" W	152.82'
L18	S75° 52' 06" W	62.10'
L19	N60° 00' 51" W	103.94'
L20	N61° 35' 37" W	57.19'

Line #	Direction	Length
L21	N19° 12' 08" E	217.46'
L22	N38° 56' 35" W	148.60'
L23	N11° 21' 07" W	54.97'
L24	N45° 31' 30" W	137.19'
L25	S40° 12' 09" W	65.87'
L26	S42° 34' 30" W	72.93'
L27	S37° 43' 40" W	146.97'
L28	S06° 41' 10" W	74.83'

Curve #	Radius	Length	Chord Direction	Chord Length
C1	250.00'	21.82'	N17° 06' 47" E	21.81'

Project Name: Twining Station
Project Address: Not Assigned - Approx west side of Waldron Rd north of Lake Rd
Existing Land Use: Vacant Land & Single Family Homes
Proposed Land Use: Mixed Use Planned Development
Total Acreage of Project / Rezoning: ±101 acres

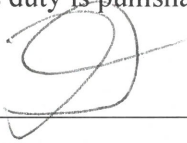
The rezoning process takes approximately three to four months depending on when the application is received by the City. The request must go to the Planning Commission where it receives a recommendation to the Board of Mayor and Aldermen. The Board of Mayor and Aldermen must approve a Rezoning Ordinance on two readings and hold a public hearing before the rezoning request is considered approved.

Applicant's Signature:  Date: 1/8/26

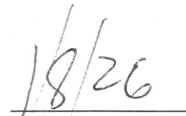
Certification Statement

I hereby certify that Randall Thomas is the owner of the property located at 926 & 930 Waldron Rd which is the subject of this application, and that I, Land Deleot, in my capacity as purchaser and developer, am authorized to sign this application on behalf of the owner.

I understand that knowingly providing false information on this Application may result in any action taken heron being declared null and void. I further understand that pursuant to TCA 39-16-301 et seq., knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his duty is punishable as a Class B misdemeanor.



Signature

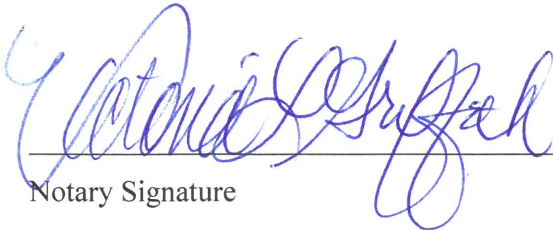


Date

Land Deleot, President

Printed Name and Title

Note: A Certification Statement must be submitted with an application form requiring the owner's signature if the owner of the subject property is a corporation, limited liability company, partnership, association, trustee, etc., or if someone other than the owner signs the application. All Certification Statements **must** be notarized.



Notary Signature



Date

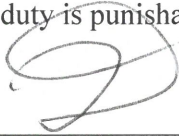


City of La Vergne Planning Department
5175 Murfreesboro Road
La Vergne, TN 37086
Phone: 615-287-8702 Fax: 615-213-8692

Certification Statement

I hereby certify that B&F Ventures & Michaels Homes is the owner of the property located at 774 Waldron Rd & Parcel to the North which is the subject of this application, and that I, Land Deleot, in my capacity as purchaser & developer, am authorized to sign this application on behalf of the owner.

I understand that knowingly providing false information on this Application may result in any action taken heron being declared null and void. I further understand that pursuant to TCA 39-16-301 et seq., knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his duty is punishable as a Class B misdemeanor.



Signature

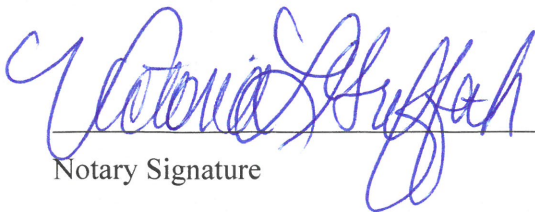


Date

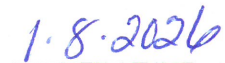
Land Deleot, President

Printed Name and Title

Note: A Certification Statement must be submitted with an application form requiring the owner's signature if the owner of the subject property is a corporation, limited liability company, partnership, association, trustee, etc., or if someone other than the owner signs the application. All Certification Statements **must** be notarized.



Notary Signature



Date



Certification Statement

I hereby certify that INDUSTRIAL DEVELOPMENT BOARD OF THE CITY OF LA VERGNE is the owner of the property located at Approx West Side of Waldron Rd at Blair Rd which is the subject of this application, and that I, Land Deleot, in my capacity as purchaser & developer, am authorized to sign this application on behalf of the owner.

I understand that knowingly providing false information on this Application may result in any action taken heron being declared null and void. I further understand that pursuant to TCA 39-16-301 et seq., knowingly making a material false statement, or otherwise providing false information with the intent to mislead a public servant in the performance of his duty is punishable as a Class B misdemeanor.



Signature

1/8/26
Date

Land Deleot, President

Printed Name and Title

Note: A Certification Statement must be submitted with an application form requiring the owner's signature if the owner of the subject property is a corporation, limited liability company, partnership, association, trustee, etc., or if someone other than the owner signs the application. All Certification Statements **must** be notarized.



Notary Signature

1-8-2026
Date

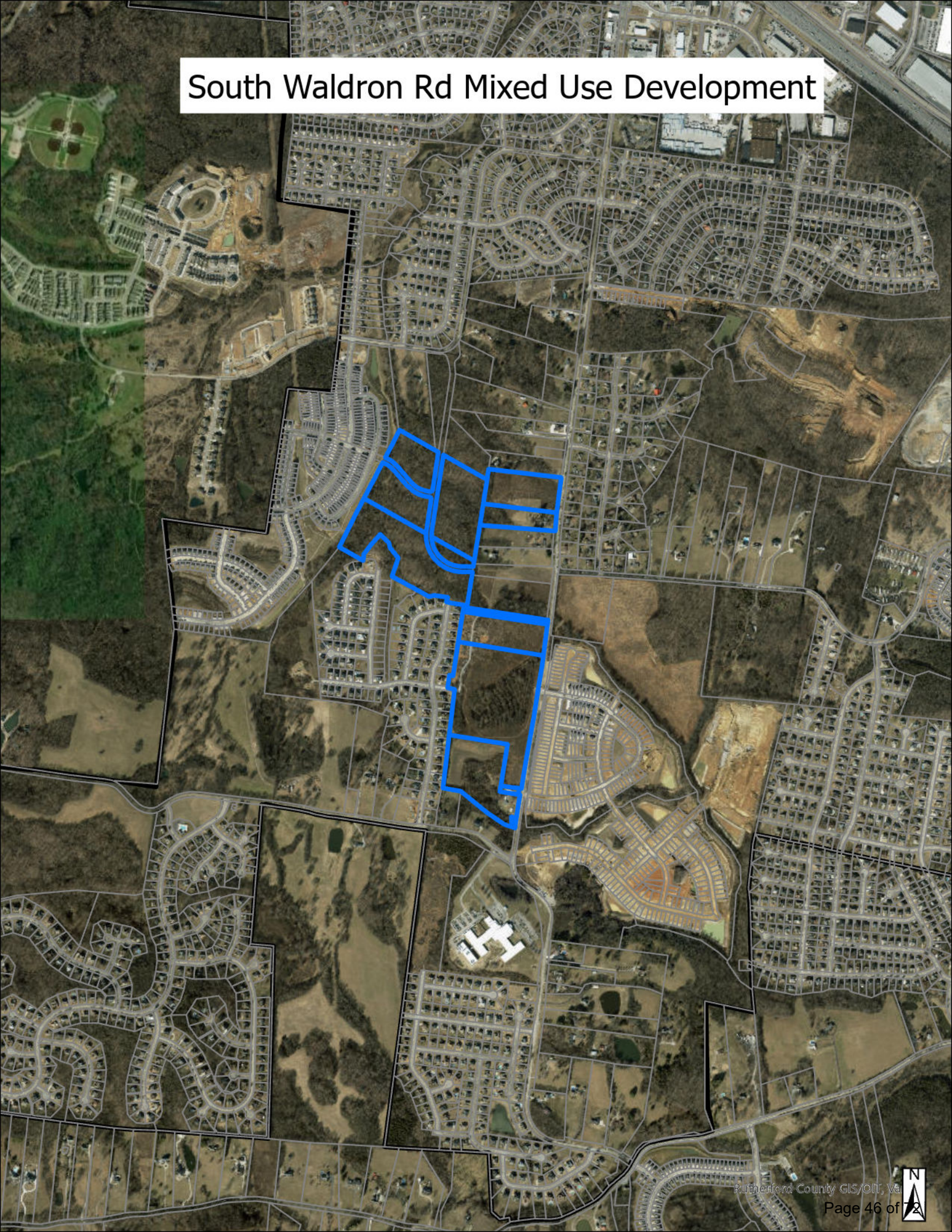


City of La Vergne Planning Department
5175 Murfreesboro Road
La Vergne, TN 37086
Phone: 615-287-8702 Fax: 615-213-8692

South Waldron Rd Mixed Use Development



South Waldron Rd Mixed Use Development





FOR SALE
Redfin REALTY
Priced to Sell





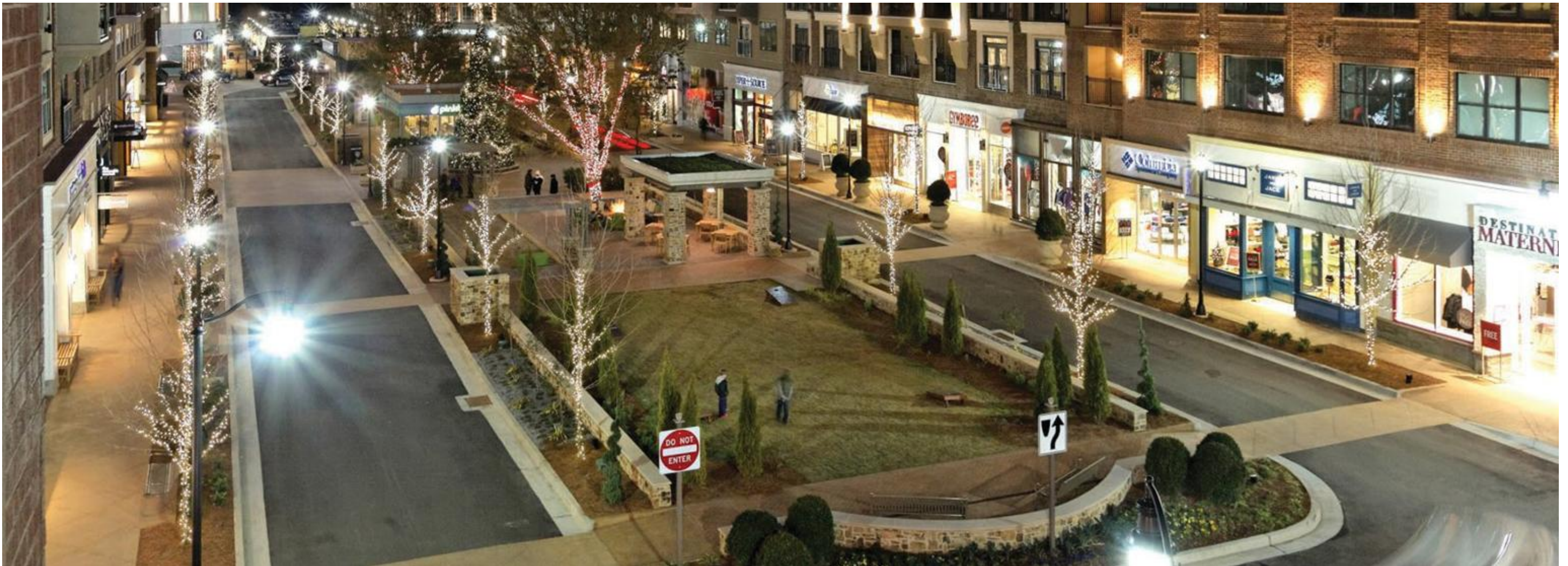
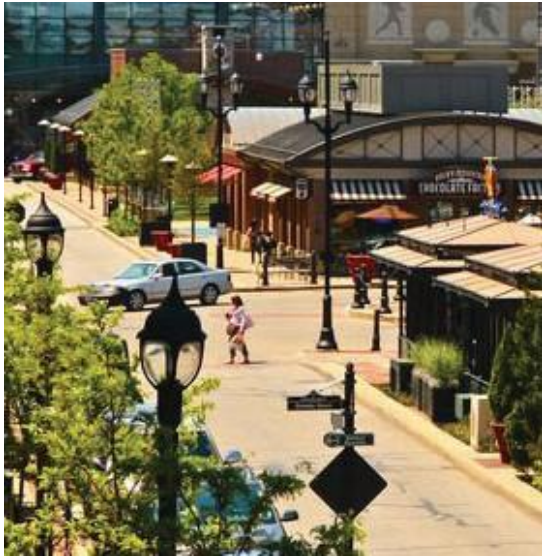




PROPERTY
OF
SEAY OIL CO.
FUEL SERVICES

SOUTH WALDRON ROAD MIXED USE DEVELOPMENT CITY OF LA VERGNE, TN

A REQUEST TO UPDATE THE PREVIOUSLY APPROVED PDR TO INCLUDE ADDITIONAL PARCELS AND RESULTING SITE PLAN UPDATE



PROJECT VISION

The proposed South Waldron Mixed-Use Development encompasses approximately 101 acres and is designed to establish a vibrant, integrated community that harmonizes residential, commercial, and recreational elements. The master-planned development will feature a balanced mix of housing, retail, and open spaces, fostering pedestrian connectivity and long-term growth potential. This project is positioned to become a key destination for living, working, shopping, and leisure, attracting both local and national interest. The development team proposes to amend the original PDR by adding parcels B (12.55 acres) & C (11.85 acres) as further defined below.

Rezoning Request & Site Plan

The subject property is strategically located along Waldron Road, with direct integration into the planned Blair Road Extension. To accommodate the proposed development, we seek rezoning from Low-Density Residential (R-1) to a PDR to support a diverse range of residential and commercial uses. Approximately 4 acres of the original IDB property has been allocated for road infrastructure improvements, ensuring enhanced connectivity with the city's broader transportation network. In addition, the PDR includes ±2 acres graded and donated to the City of LaVergne for a fire hall.

Residential Components

This private development shall include a mix of single family, multi-family, townhomes, and 55+ residential with open, gated and access control communities. All connected by both trail and road access through the full development.

Active Adult (Parcel C) – A cohesive for-rent community offering continuum of care with 8 Townhomes, 28 Villas, and 140 active adult units. The community will feature extensive common facilities including dining, gathering spaces, clubhouse, indoor pool, and fitness center. (A deeded restriction for residents 55 and older)

Residential – A mix of gated and controlled access single family townhome, and multi family buildings.

- 16 single family lots featuring 50% percent masonry exteriors and options for front-entry or alley loaded garages ensuring architectural consistency.

- **Multifamily Residences (Parcels A)** – The residential and pedestrian- friendly section will feature 330 units within three- to four-story buildings, offering a mix of on-street, surface, garage, and carport parking for resident convenience. Additionally, the commercial and mixed-use portion of the development will include 258 units, integrating residential living with retail and office spaces for a dynamic, walkable community.

- **Townhomes** – 42 units with 50% percent masonry exteriors and options for front-entry or alley loaded garages ensuring architectural consistency.

55+ Single Family and Townhomes– The Southern end of the development connected by trail and road is exclusively 55+ for sale residences. The section will include 27 Single-story single-family homes and 28 accessible townhomes all with garage and off-street parking. The community will be pedestrian friendly and anchored by an amenity center and outdoor communal space.

All residential units will feature 50 % masonry exteriors, foundation landscaping, and sod in the primary and secondary front yards.

Town Center & Retail Spaces

At the heart of the development, the Town Center will serve as a pedestrian-friendly hub, integrating retail, dining, and community gathering spaces.

- **Retail / Office** – 160,741 square feet of scale retail space, strategically positioned on out parcels and along the central median to maximize visibility and accessibility. Pursuant to Section 5.052.6, we are requesting an exception to the 3,000-square-foot limit on individual retail spaces. Based on current market demand, projected tenant needs, and leasing interest, retail tenant spaces will exceed 3,000 square feet. Granting this exception will ensure alignment with market conditions and support the economic viability and long-term success of the development.

- **Grocery Store** – A ±54,954 square-foot grocery store to serve both residents and the surrounding community.

- **Sidewalk & Trail Connectivity** – Pedestrian access will be prioritized through an interconnected network of walkways and mulched walking trails, seamlessly linking retail, dining, and residential areas.

- **Vibrant Streetscape** – Designed to promote foot traffic, featuring dining terraces and retail frontages, fostering an active and engaging environment for both residents and visitors.

- **Amenities & Open Spaces** - Approximately 25% of the total site is dedicated to open space, ensuring a high quality of life for residents and visitors. These areas will include Pocket Parks & Village Greens – Strategically distributed throughout the development to provide accessible green spaces.

Amenity Center – A central clubhouse with a pool, sun deck, playgrounds, and fire pits, fostering a sense of community.

Trail System – Designed to complement natural tributaries, providing scenic walking and biking opportunities while ensuring connectivity across the development.

Creeks - Restoration of the creeks creating natural buffer areas throughout the site.

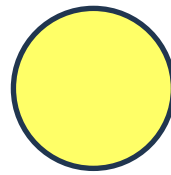
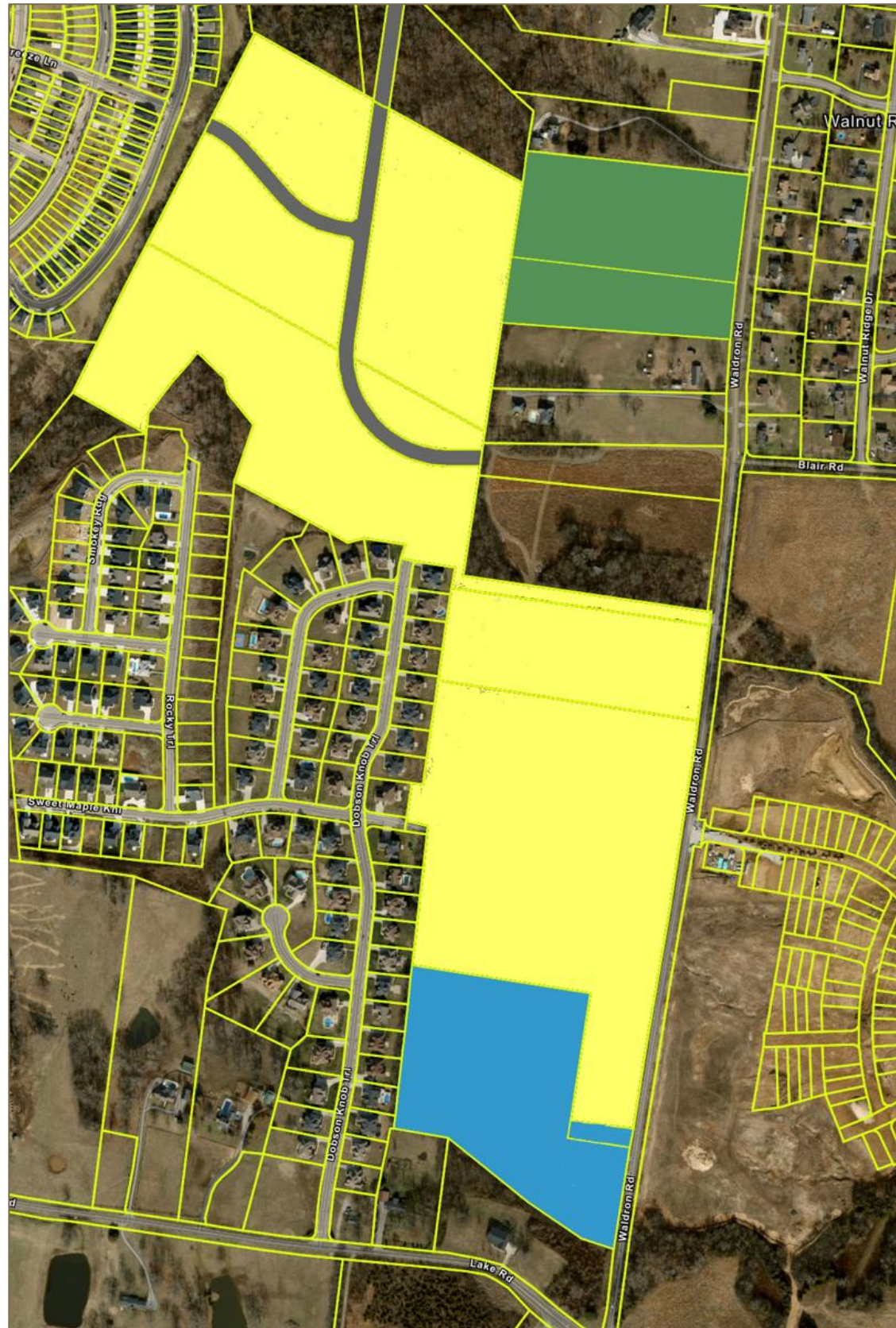
Community Oversight & Maintenance

In this private community, Residential and Commercial Homeowners Association (HOA) will be established to oversee the following:

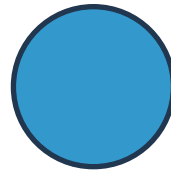
- Common area maintenance
- Primary entrance aesthetics and upkeep
- Signage regulations to maintain cohesive branding and architectural consistency
- Bylaws and Restrictive Covenants have been submitted for review to the City of La Vergne (April 30, 2026).

This rezoning request is critical to achieving the envisioned mixed-use development, which will increase housing diversity, enhance economic vitality, and strengthen the community's overall infrastructure.

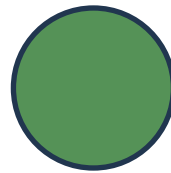
DEVELOPMENT VISION



Original IDB Parcels
76.55 Acres



New Parcel B
12.55 Acres



New Parcel C
±11.85 Acres

OVERALL SITE PLAN

South Waldron Site represents versatile commercial properties designed to serve a wide range of business needs and community services providing convenience and connectivity. With thoughtfully planned infrastructure, ample parking, and enhanced landscaping, the site is ideal for businesses seeking a dynamic location with easy access and sustainable design with the goal to provide a well-integrated and sustainable environment for businesses to thrive.

- **Diverse Business Potential:** Approved uses include retail, food and beverage, professional services, animal care, daycare, medical services, and more.
- **Strategic Accessibility:** Located along Waldron and Blair Roads, featuring pedestrian and vehicular connections for easy access.
- **Sustainable & Aesthetic Design:** Includes foundation planting, architectural details, and landscaping that enhance property value and appeal.
- **Functional & Safe Spaces:** Compliance with safety standards, solid waste management, and the latest in stormwater systems.
- **Modern Signage and Lighting:** Exterior illumination aligned with La Vergne's zoning standards and lighting ordinance.
- **Building Design:** Up to 4 stories with architectural enhancements such as base differentiation and main entry articulation.
- **Landscaping & Screening:** Landscape screening for parking, perimeter edge screening, and foundation planting around buildings.
- **Parking & Accessibility:** Setbacks of 10 feet from rights-of-way, shared parking options, and connectivity with nearby roads.
- **Waste & Utilities Management:** Private solid waste collection, screened equipment, and shared drainage and parking maintenance by an owners' association where applicable.
- **Community Safety:** Donation of land for a new fire department, an essential resource for La Vergne. The new fire station will serve the growing community's needs. Located within close proximity to both residential and commercial zones, this new facility will bolster emergency response capabilities, benefiting residents, businesses, and surrounding neighborhoods alike.

DEVELOPMENT COMPONENTS



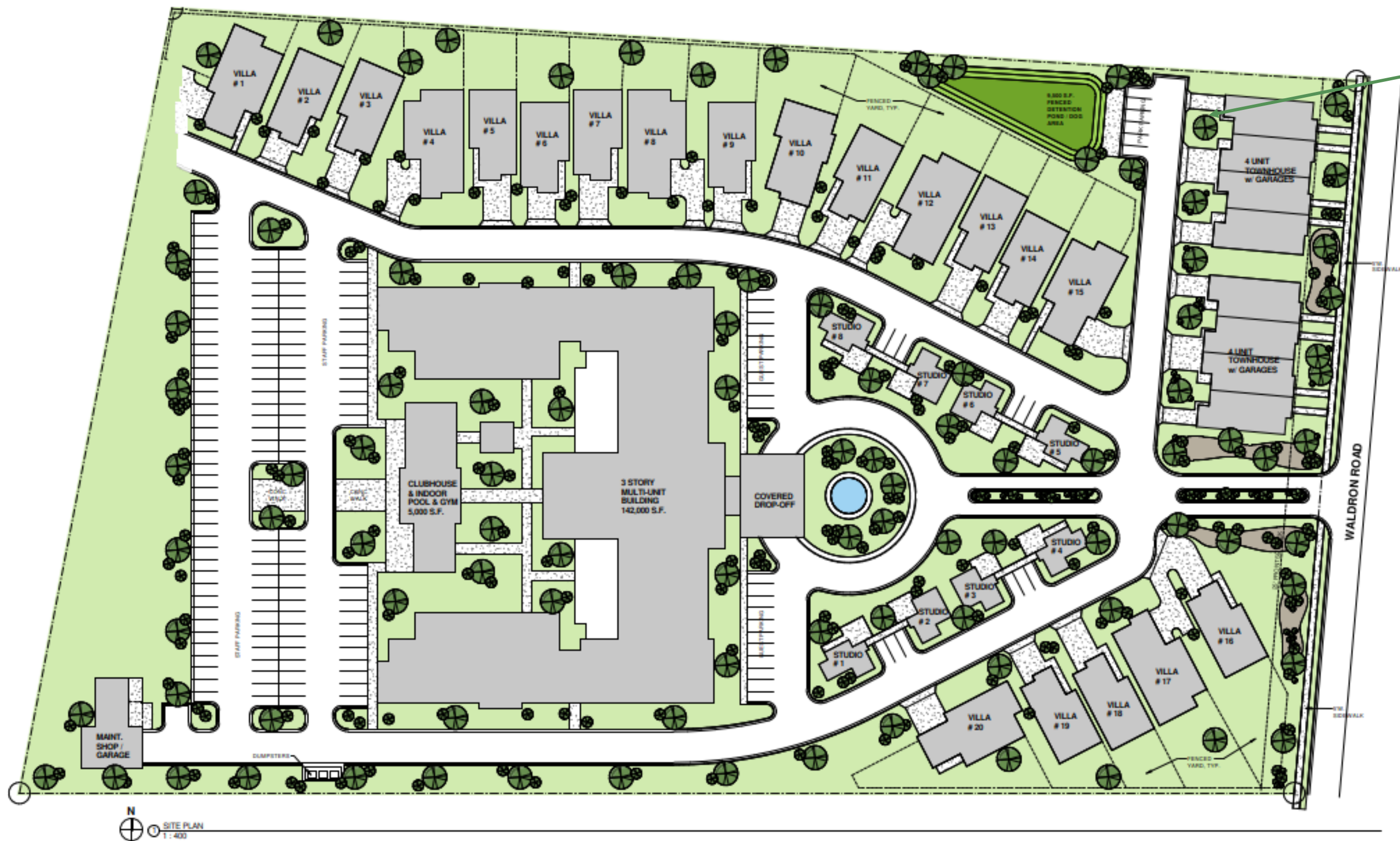
ACTIVE ADULT

RESIDENTIAL

MIXED USE

55+

ACTIVE ADULT | UNIT LAYOUT



ACTIVE ADULT | UNIT COUNT

Multi Family Active Adult					
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF
Studio	20.00%	28	622	17,416	13.47%
One Bedroom	45.00%	63	726	45,738	35.37%
Two Bedroom	25.00%	35	1,350	47,250	36.54%
XL - Large 2 BR / 3 BR	10.00%	14	1,350	18,900	14.62%
	100.00%	140		129,304	

Gross SF Factor	1.25
Project Gross SF	161,630
Parking Total	162

Villa Active Adult						
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF	Parking
Studio: 1 BR / 1.5 BA	28.57%	8	1,100	8,800	22.68%	12
Cottage Units: 2 BR / 2 BA	71.43%	20	1,500	30,000	77.32%	2 car garage + driveway
	100.00%	28		38,800		12

Townhome Active Adult						
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF	Estimated Parking
Townhome: 2 BR / 2 BA	100.00%	8	1,300	10,400	100.00%	1-2 car garage + driveway
	100.00%	8		10,400		

Amenities	SF
Indoor Pool / Fitness Center	5,000
Maintenance Building	2,000
	7,000

Total Phases		One Bedroom	Two Bedroom	Three Bedroom	Total	
Multifamily	Units	99	63	14	176	
	Unit Mix	56.25%	35.80%	7.95%	100.00%	Average Unit SF
	Total Gross SF	87,743	99,463	23,625	217,830	1014.23
	Total Net SF	71,954	87,650	18,900	178,504	
Parking				174		

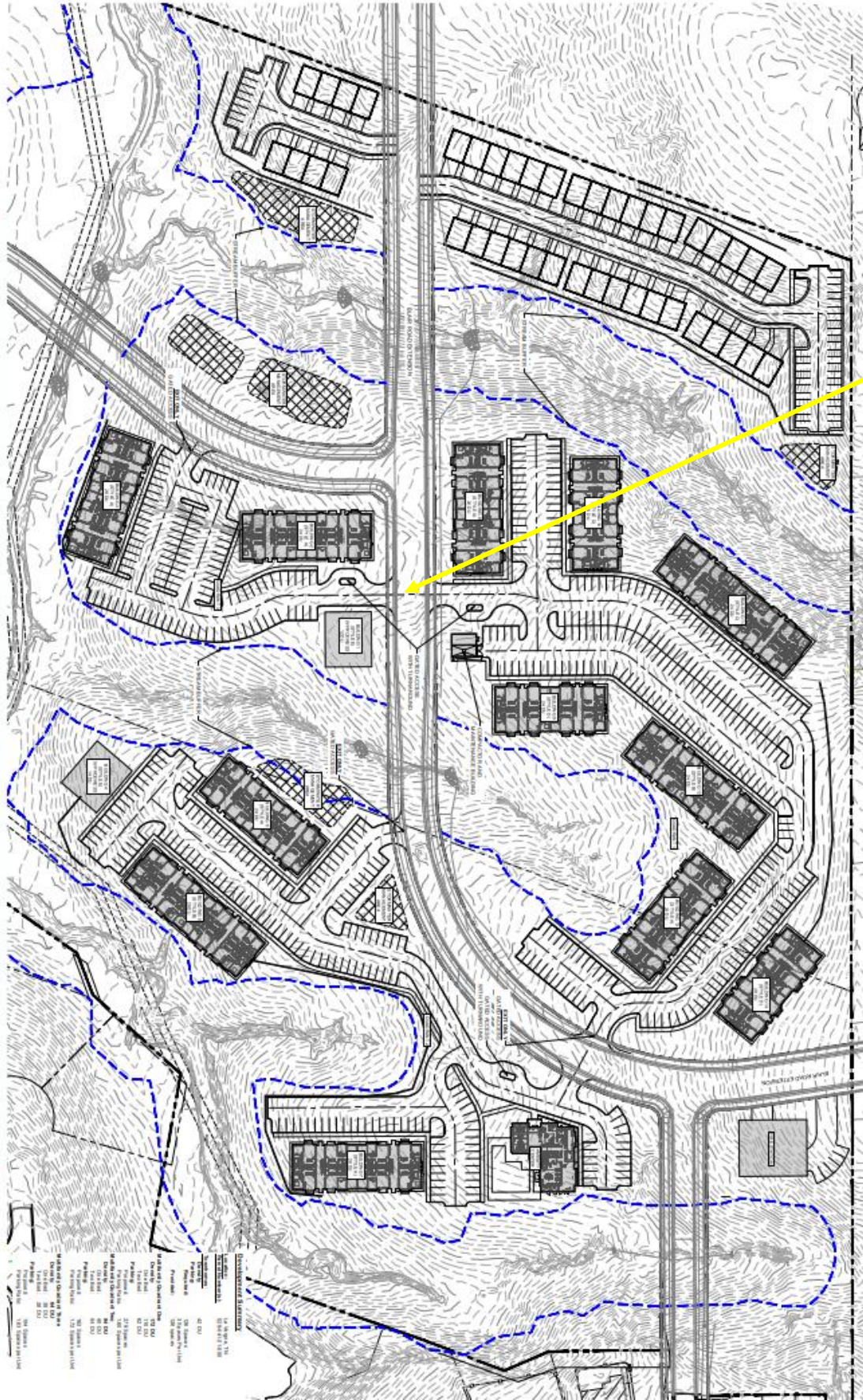


RESIDENTIAL - LAYOUT

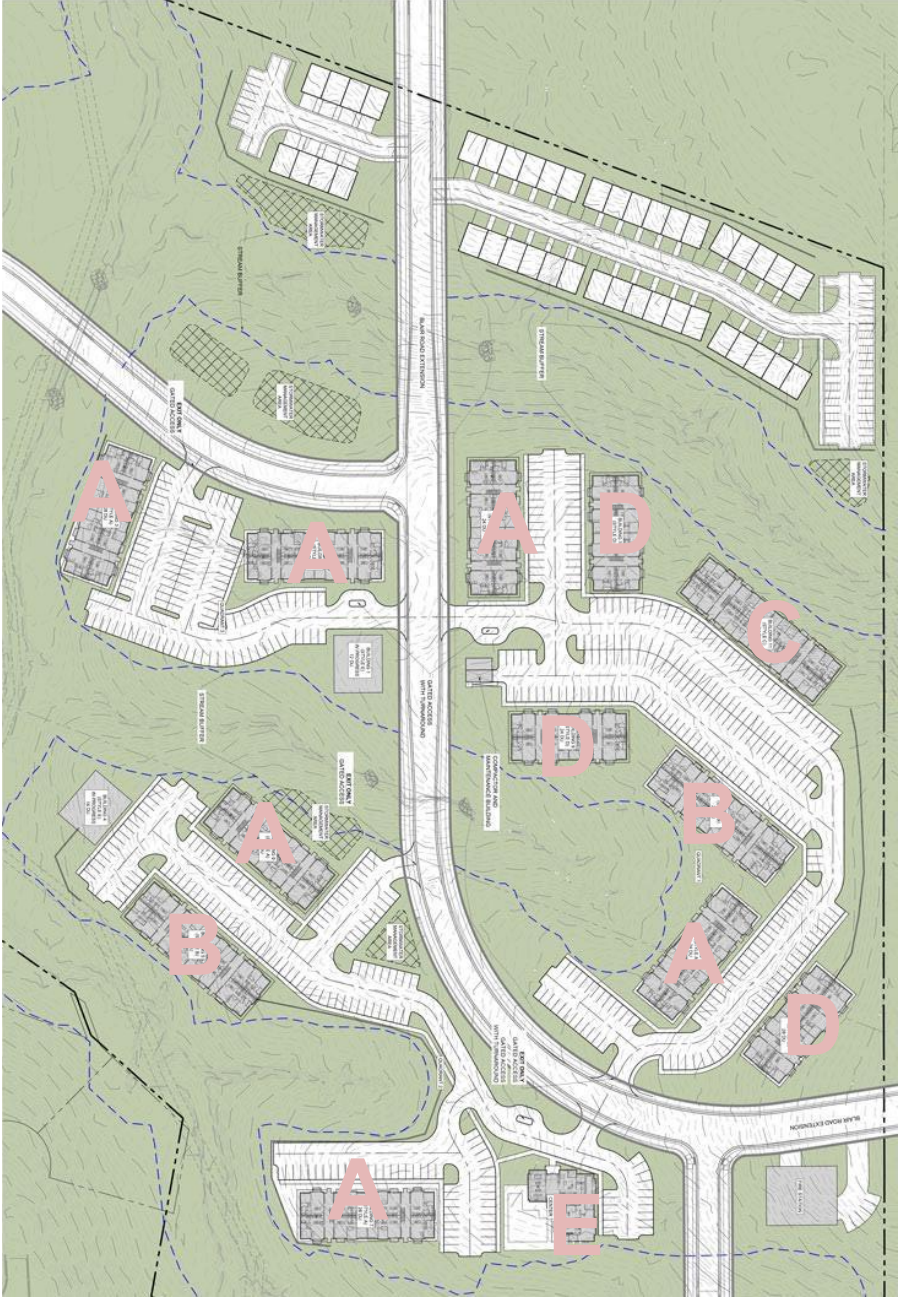
Kimley-Horn

South Waldron Residential

Overall Site Plan
November 11, 2020



RESIDENTIAL



CENTRAL AMENITY CENTER - E

NORTHERN PARCEL | ENLARGED SITE PLAN



BUILDING STYLE - A



BUILDING STYLE - B



BUILDING STYLE - C



BUILDING STYLE - D



RESIDENTIAL - COUNT



Single Family									
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	Gross (Net+Garage)	Gross SF	% of Total SF	Parking Ratio	Estimated Parking
Single Family	38.10%	16	2,920	46,720	3,400	54,400	41.85%	2.00	32.00
	38.10%	16		46,720		54,400			32

Townhomes									
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	Gross (Net+Garage)	Gross SF	% of Total SF	Parking Ratio	Estimated Parking
Townhome	100.00%	42	2,658	111,636	3,138	131,796	100.00%	3.00	126.00
	100.00%	42		111,636		131,796			126

Multifamily Quadrant 1									
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	Gross	Gross SF	% of Total SF	Parking Ratio	Estimated Parking
One Bedroom	63.95%	110	738	81,180	820	90,200	55.73%	1.62	178.20
Two Bedroom	36.05%	62	1,040	64,480	1,135	70,370	44.27%	1.62	100.44
	100.00%	172		145,660		160,570			279

Multifamily Quadrant 2									
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	Gross	Gross SF	% of Total SF	Parking Ratio	Estimated Parking
One Bedroom	23.26%	40	738	29,520	820	32,800	20.27%	1.72	68.80
Two Bedroom	31.40%	54	1,040	56,160	1,135	61,290	38.56%	1.72	92.88
	54.65%	94		85,680		94,090			162

Multifamily Quadrant 3									
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	Gross	Gross SF	% of Total SF	Parking Ratio	Estimated Parking
One Bedroom	22.09%	38	738	28,044	820	31,160	19.25%	1.63	61.94
Two Bedroom	15.12%	26	1,040	27,040	1,135	29,510	18.56%	1.63	42.38
	37.21%	64		55,084		60,670			104

Amenities	SF
Fire Station	6,000
Amenity Center	5,416
	11,416

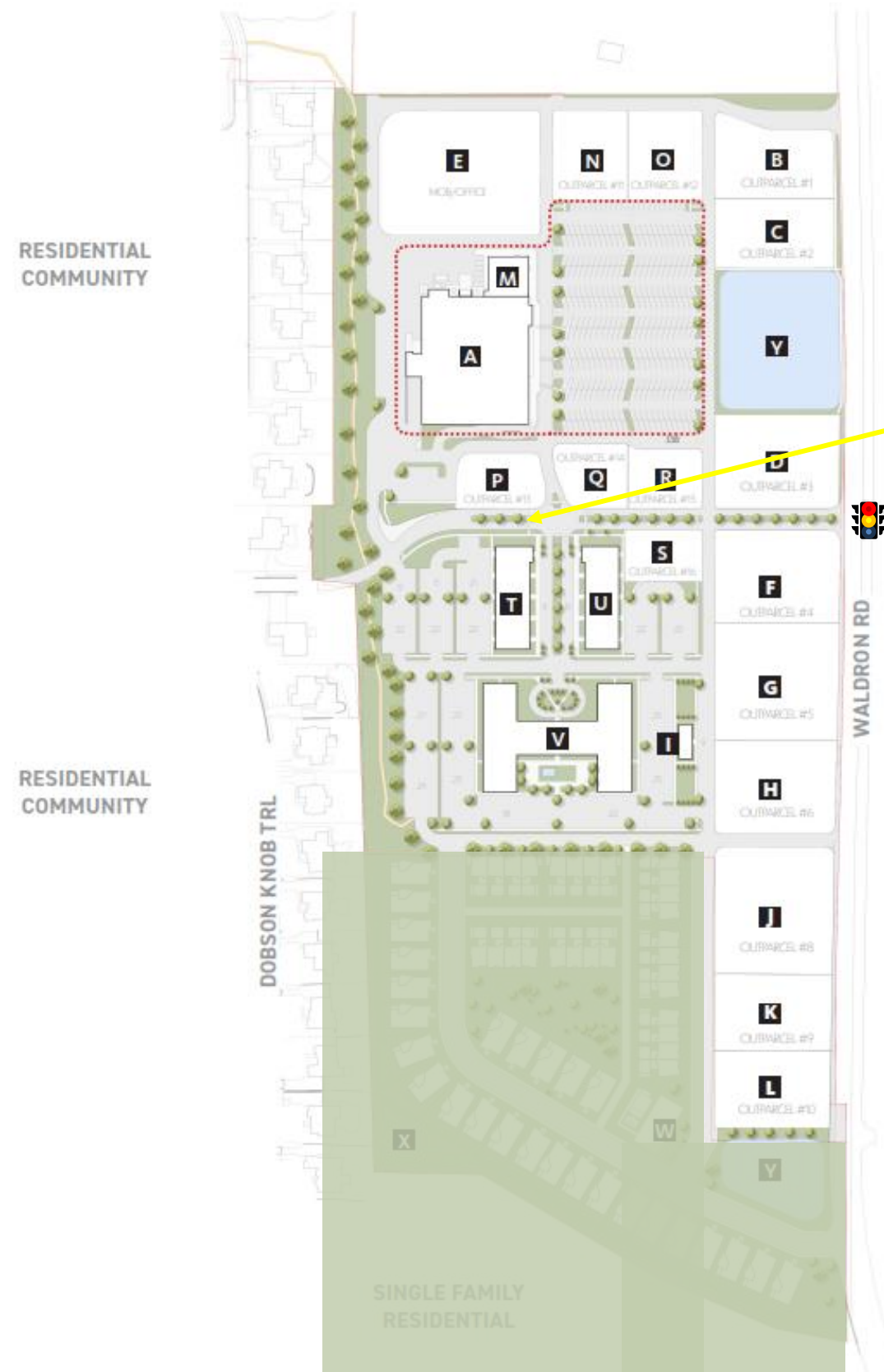
Total Phases		Townhome	Single Family	One Bedroom	Two Bedroom	Total
Multifamily	Units	42.00	16.00	188.00	142.00	388.00
	Unit Mix	10.82%	4.12%	48.45%	36.60%	100.00%
	Total Gross SF	131,796	54,400	154,160	161,170	512,942
	Total Net SF	111,636	46,720	138,744	147,680	444,780
Parking		126.00	32	308.94	235.70	702.64

Average Unit SF
1322.02

MIXED USE - LAYOUT

PROGRAM

- | | |
|---|---|
| A. PROPOSED GROCER
54,954 gsf | N. OUTPARCEL #11
0.55 acres |
| B. OUTPARCEL #1
0.71 acres | O. OUTPARCEL #12
0.55 acres |
| C. OUTPARCEL #2
0.68 acres | P. OUTPARCEL #13
0.39 acres |
| D. OUTPARCEL #3
0.96 acres | Q. OUTPARCEL #14
0.36 acres |
| E. MOB/OFFICE
1.63 acres | R. OUTPARCEL #15
0.36 acres |
| F. OUTPARCEL #4
0.95 acres | S. OUTPARCEL #16
0.33 acres |
| G. OUTPARCEL #5
1.19 acres | T. RETAIL & MULTIFAMILY
4 levels
12,596 gsf retail
37,788 gsf multifamily |
| H. OUTPARCEL #6
0.92 acres | U. RETAIL & MULTIFAMILY
4 levels
12,596 gsf retail
37,788 gsf multifamily |
| I. JEWEL BOX #7
1,625 gsf | V. MULTIFAMILY
4 levels
143,480 gsf multifamily |
| J. OUTPARCEL #8
1.22 acres | W. CLUBHOUSE AMENITY |
| K. OUTPARCEL #9
0.73 acres | X. RESIDENTIAL (55+) |
| L. OUTPARCEL #10
0.72 acres | Y. STORMWATER RETENTION |
| M. RETAIL
5,600 gsf | |



MIXED USE - COUNTS

Multi Family Unit Mix							
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF	Parking Ratio	Estimated Parking
Studio	10.00%	21	610	12,772	7.29%	1.00	20.94
One Bedroom	35.00%	73	720	52,762	30.11%	1.00	73.28
Two Bedroom	45.00%	94	920	86,680	49.46%	1.50	141.33
Three Bedroom	10.00%	21	1,100	23,031	13.14%	2.00	41.87
	100.00%	209		175,245			277.42

Gross SF Factor	1.25
Project Gross SF	219,056.00
Projected Unit Count	209



Mixed Use Summary						
Level	Building 2	Building 4	Building 5	Building 6	Building 7	Total SF
1st Floor	-	-	0	0	29,870	29,870
2nd Floor	-	-	12,596	12,596	35,870	61,062
3rd Floor	-	-	12,596	12,596	35,870	61,062
4th Floor	-	-	12,596	12,596	35,870	61,062
Amenities	-	-	0	0	6,000	6,000
Total Multi Family	-	-	37,788	37,788	143,480	219,056

Level	Building 2	Building 4	Building 5	Building 6	Building 7	Building 7a	Building 7b	Total SF
1st Floor Retail	12,596	12,596	-	-	-	-	-	25,192
2nd Floor Office	15,360	15,360	-	-	-	-	-	30,720
Total	27,956	27,956	-	-	-	-	-	55,912

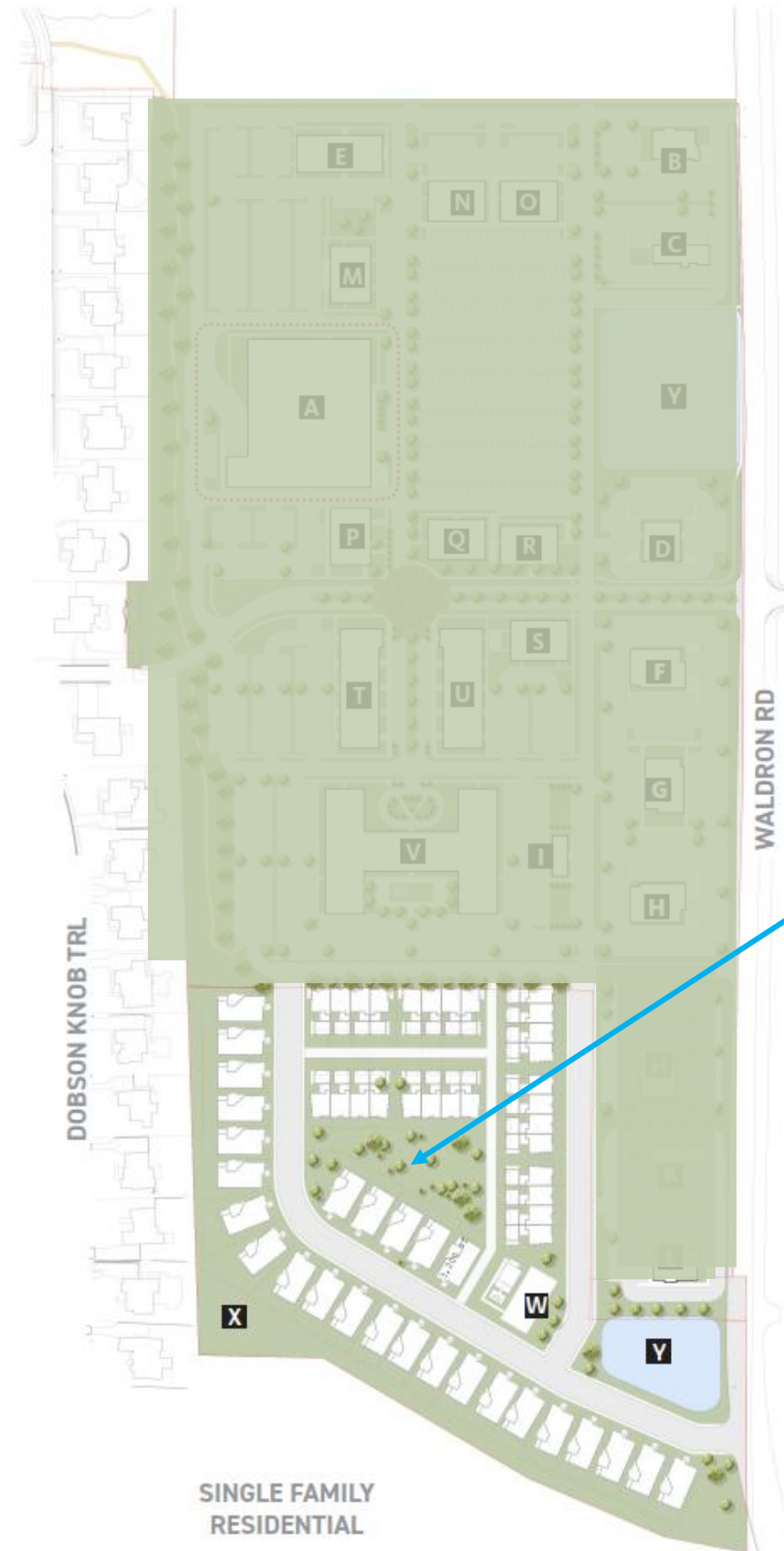
Retail	Grocer	M	N	O	P	Q	R	S	Total SF
Gross SF	54,954	5,600	6,000	6,000	6,000	6,000	6,000	6,000	96,554

Outparcel	1	2	3	4	5	6	7	8	9	10	Total SF
Planned Use	Full-Service	FF Coffee	Retail	Retail	Retail	Retail	Jewel Box	Retail	Retail	Retail	
Gross SF	3,575	2,905	4,000	5,470	5,470	5,470	1,625	4,000	2,905	3,575	38,995

Retail Total	160,741
1st Floor Retail	25,192
Retail	96,554
Outparcel	38,995

Office Total	30,720				
Multifamily Total	219,056	Unit Count	Gross SF/Unit	Efficiency Factor	Avg. Net Rentable
Multifamily	Info	209	1046	0.82	858
Parking Total	1,512	SF Base	Spaces per 1,000 SF		
Parking	Info	410,517.00	3.7		

55+ | LAYOUT



55+ | UNIT COUNT

Multi Family Active Adult					
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF
Studio	0.00%	0	622.00	0	0.00%
One Bedroom	0.00%	0	726.00	0	0.00%
Two Bedroom	0.00%	0	1,350.00	0	0.00%
XL - Large 2 BR / 3 BR	0.00%	0	1,350.00	0	0.00%
	0.00%	0		0	
Gross SF Factor				1.25	
Project Gross SF				0	
Parking Total				0	



Single Family 55+						
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF	Parking
Single Family	100.00%	27	3,200.00	86,400	100.00%	Garage and driveway
	100.00%	27		86,400		

Townhome 55+						
Unit Type	% Mix	Unit Count	Net Rentable	Total Net Rentable	% of Total SF	Estimated Parking
Townhome	100.00%	28	2,100.00	58,800	100.00%	Garage and driveway
	100.00%	28		58,800		

Amenities	SF
Amenities	5,000.00
	5,000.00

Total Phases		Single Family	Townhome	Total	
Multifamily	Units	27	28	55	Average Unit SF 2640.00
	Unit Mix	49.09%	50.91%	100.00%	
	Total Gross SF	86,400	58,800	145,200	
	Total Net SF	86,400	58,800	145,200	
Parking				0.00	

COMBINED DEVELOPMENT SUMMARY

Northern 55+ Parcel: For Rent							
Unit Type	% Mix	Unit Count	Average Unit SF	Total Net SF	% of Total Net SF	Total Gross SF	Parking
Multifamily Active Adult	79.55%	140	924	129,304	72.44%	161,630	162
Villa Active Adult	15.91%	28	1,386	38,800	21.74%	38,800	12
Townhome Active Adult	4.55%	8	1,300	10,400	5.83%	10,400	0
Amenities	0.00%	0	0	0	0.00%	7,000	0
	100.00%	176		178,504		217,830	174

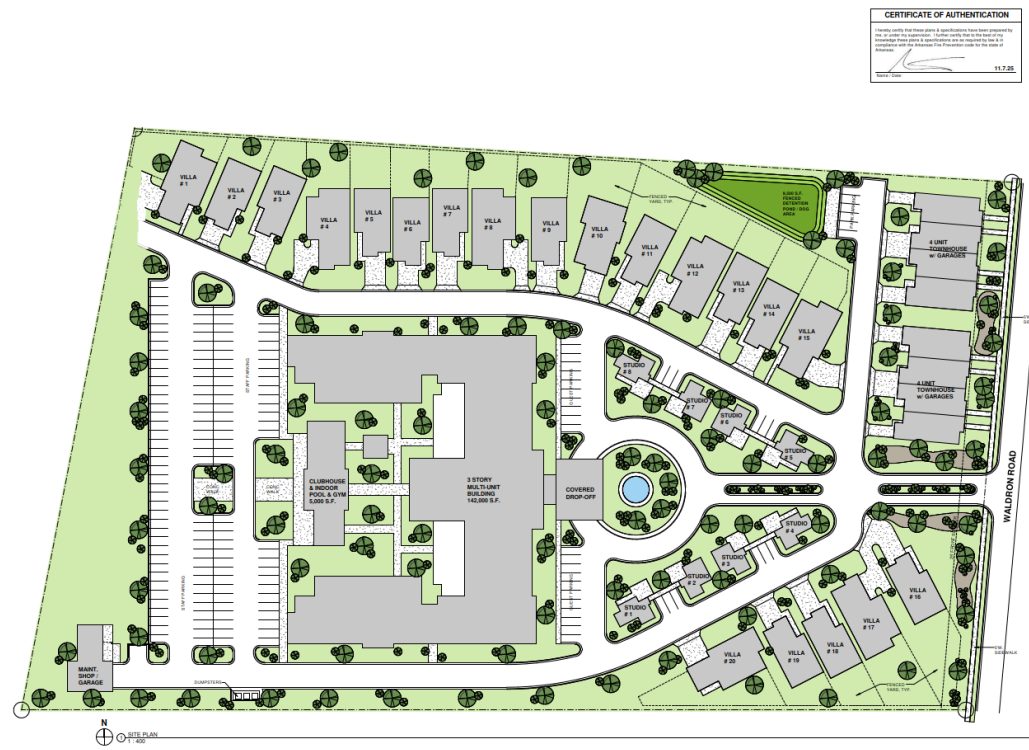
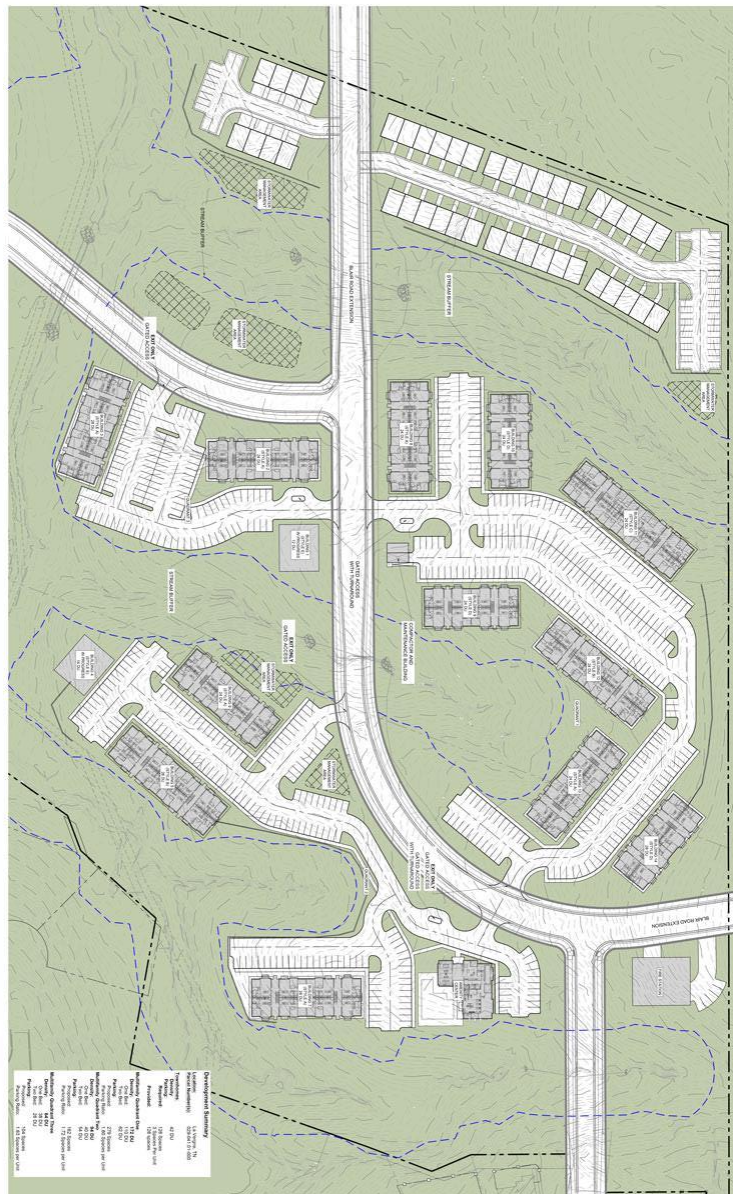
Northern Residential							
Unit Type	% Mix	Unit Count	Average Unit SF	Total Net SF	% of Total Net SF	Total Gross SF	Parking
Single Family	4.12%	16	2,920	46,720	10.50%	54,400	32
Townhome	10.82%	42	2,658	111,636	25.10%	131,796	126
Multifamily Quadrant 1	44.33%	172	847	145,660	32.75%	160,570	279
Multifamily Quadrant 2	24.23%	94	911	85,680	19.26%	94,090	162
Multifamily Quadrant 3	16.49%	64	861	55,084	12.38%	60,670	104
Amenities	0.00%	0	0	0	0.00%	11,416	0
	100.00%	388		444,780		512,942	703

Southern Multi Family							
Unit Type	% Mix	Unit Count	Average Unit SF	Total Net SF	% of Total Net SF	Total Gross SF	Parking
Studio	10.00%	26	610	15,738	7.29%	19,673	26
One Bedroom	35.00%	90	720	65,016	30.11%	81,270	90
Two Bedroom	45.00%	116	920	106,812	49.46%	133,515	174
Three Bedroom	10.00%	26	1,100	28,380	13.14%	35,475	52
	100.00%	258		215,946		269,933	342

Southern 55+ Parcel: For Sale							
Unit Type	% Mix	Unit Count	Average Unit SF	Total Net SF	% of Total Net SF	Total Gross SF	Parking
Single Family	49.09%	27	3,200	86,400	59.50%	86,400	Garage and driveway
Townhome	50.91%	28	2,100	58,800	40.50%	58,800	Garage and driveway
Amenities	0.00%	0	0	0	0.00%	5,000	0
	100.00%	55		145,200		150,200	0

		N 55+ (Rent)	N Residential	S Mixed Use	S 55+ (Sale)	Total	
Residential	Units	176.00	388.00	258.00	55.00	877.00	
	Total Gross SF	217,830	512,942	269,933	150,200	1,150,905	Average Unit SF 1312.32
	Total Net SF	178,504	444,780	215,946	145,200	984,430	
Office	Total Gross SF	0	0	30,720	0	30,720	
Retail	Total Gross SF	0	0	105,787	0	105,787	
Grocery	Total Gross SF	0	0	54,954	0	54,954	
Parking		174	702.64	1,716.38	0.00	2,593.02	





blue ROCK
DESIGN BUILD
17419 20th St., Nashville, TN 37214

PROPOSED PROJECT FOR:
THE GRANDVIEW @ TWINNING
STATION
774 WALDRON ROAD - LA VERGNE, TN

TITLE SHEET
PROJECT DATA
GENERAL NOTES
SITE & LANDSCAPING PLAN

11.25
25-100
A1.0

REQUIRED OPEN SPACE:
20% Open Space

PROVIDED OPEN SPACE:
+/- 25% Open Space

OPEN SPACE - NORTH

The South Waldron Mixed Use Site will transform over 25% of its area into thoughtfully designed open space, fostering a welcoming environment for residents and visitors alike. This extensive open space will include a mix of pocket parks, communal green areas, village greens, and natural buffers around existing tributaries. Recreational trails will wind through these green spaces, connecting the community with preserved natural stream buffers and enhancing accessibility to outdoor areas.

Central to the development, the Amenity Center will serve as a community hub, providing a variety of recreational and social amenities. Residents will enjoy a community clubhouse and cabana, a large pool with a sun deck, playgrounds, outdoor fire pits, and convenient access to a comprehensive walking trail network that spans the community. This center will offer ample outdoor seating areas, providing spaces for relaxation and community gatherings, as well as a dedicated playground for children.

In the heart of the mixed-use town center, a pedestrian-friendly network of sidewalks and trails will link the central village green with other community features. Retail jewel boxes, positioned along a central median, will create a dynamic retail experience, while pedestrian zones and robust streetscapes dotted with retail outlets and dining terraces will enrich the community's social scene. This interconnected design will encourage foot traffic, promoting a vibrant, accessible town center where residents can shop, dine, and enjoy outdoor areas in a cohesive, lively environment.



OPEN SPACE EXHIBIT

CONNECTED - FOCUSED VISION

The Trail



RESIDENTIAL COMMUNITY

Main Street



RESIDENTIAL COMMUNITY

The Terminus



The Boulevard



Central Plaza



The Neighborhood



The Basin



PEDESTRIAN | STREET ACCESS

- COMMUNITY
- CULTURE
- CONNECTIVITY
- SCALE
- ART
- NATURE

CONNECTED MIXED USE VISION

RESIDENTIAL
COMMUNITY

RESIDENTIAL
COMMUNITY

RESIDENTIAL
COMMUNITY



PEDESTRIAN | STREET ACCESS

SINGLE FAMILY
RESIDENTIAL

- SECONDARY CIRCULATION PATH
- COMMERCIAL + RESIDENTIAL GRADIENT

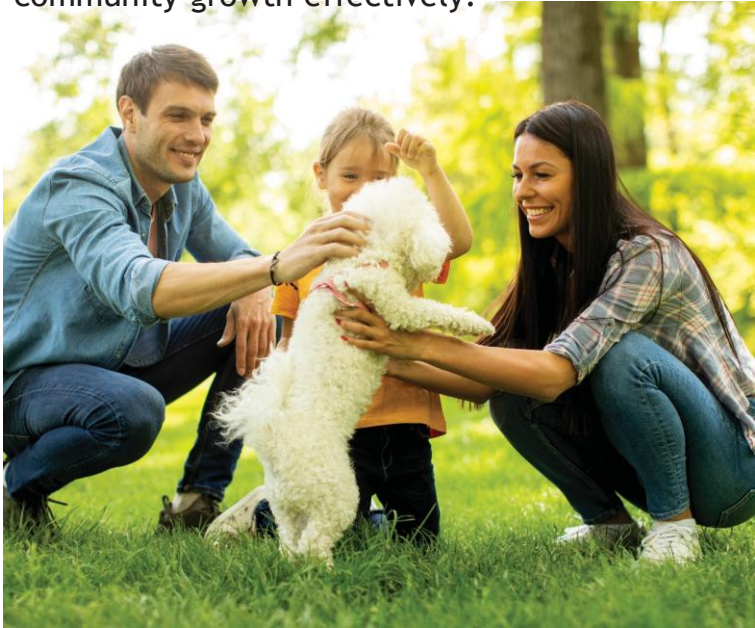
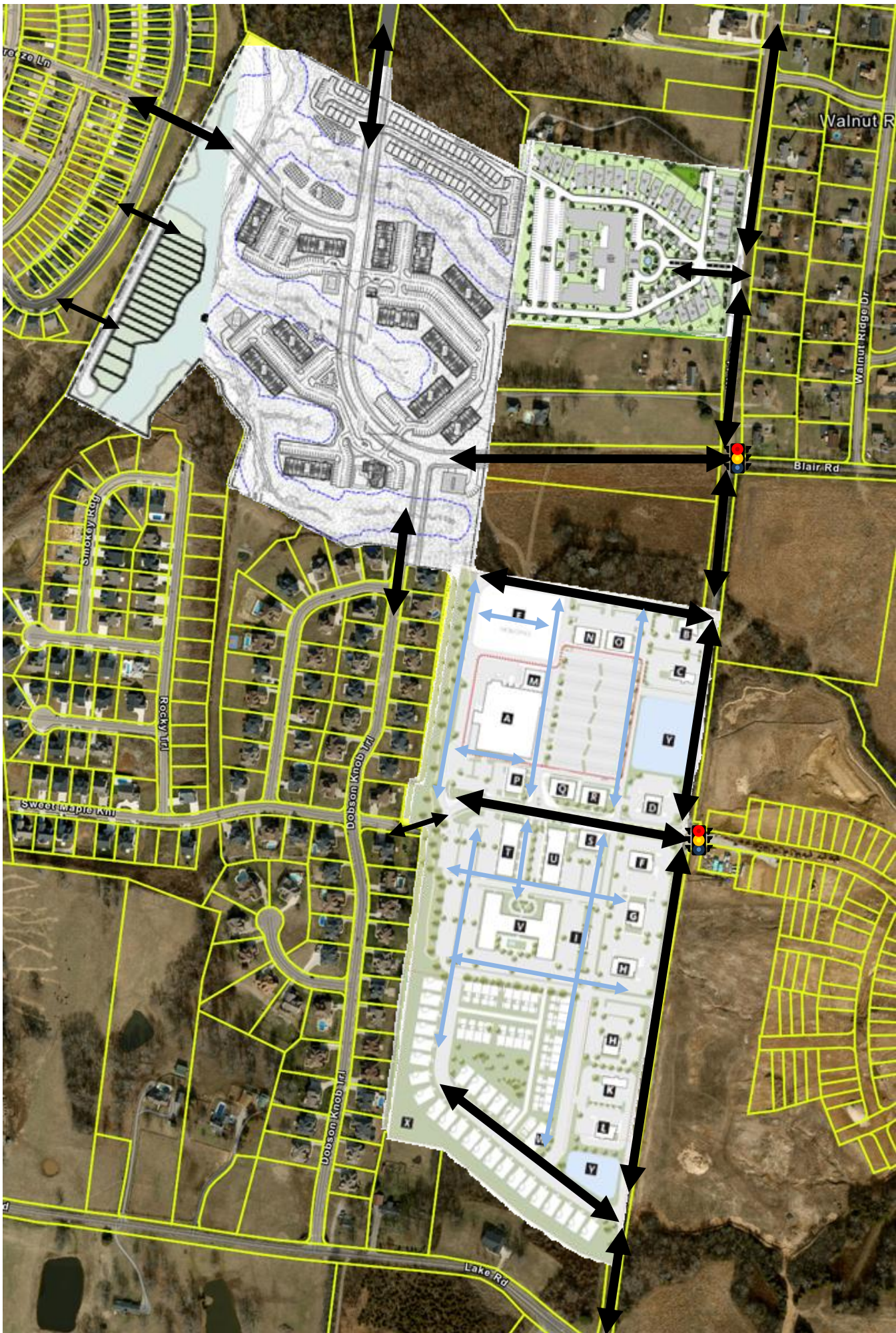
VEHICULAR STREET ACCESS

The South Waldron Mixed Use Site has been strategically designed to integrate seamlessly with existing and planned infrastructure, promoting strong vehicular connectivity and accommodating anticipated traffic demands on key thoroughfares. The site will benefit from access to both the current and proposed improvements on Waldron Road and the future Blair Road Extension. To support traffic flow, the design incorporates primary, secondary, and tertiary street patterns within the development.

With the increased traffic expected from the South Waldron development, both Waldron Road and Blair Road are poised for enhancements by the City of La Vergne. Waldron Road is set to become a 3-lane roadway through realignment, with potential expansion to 5 lanes in the future, ensuring capacity for projected vehicular demands. Blair Road improvements include widening to 3 lanes, along with the installation of a traffic signal at the Waldron Road intersection. Additionally, Lake Road will be realigned to intersect with Waldron Road, facilitating smoother transitions and access points.

The South Waldron Mixed Use Site will feature four residential access points and include five commercial entrances onto Waldron and Blair Roads, equipped with designated travel lanes for efficient ingress and egress. An internal street network will promote connectivity within the development, as well as link to the surrounding roadways, providing accessible routes throughout.

All infrastructure will meet City of La Vergne Standards, with any deviations requiring approval from the City Engineer, ensuring that the development aligns with local regulations and supports community growth effectively.



OPEN SPACE - SOUTH

The South Waldron Mixed Use Site will transform over 25% of its area into thoughtfully designed open space, fostering a welcoming environment for residents and visitors alike. This extensive open space will include a mix of pocket parks, communal green areas, village greens, and natural buffers around existing tributaries. Recreational trails will wind through these green spaces, connecting the community with preserved natural stream buffers and enhancing accessibility to outdoor areas.

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REQUIRED OPEN SPACE:
20% Open Space

PROVIDED OPEN SPACE:
+/- 25% Open Space

OPEN SPACE EXHIBIT

SUMMARY OF PDR VARIANCES & DECLARATIONS

General

Building Height

- 4 Story Buildings (exceeding 35' in height)

Retaining Walls

- No Restriction on max height of retaining walls.

Residential

Parking (Gated & Un-Gated)

- Townhomes 3 spaces per unit
- Multifamily 1.6 Spaces per unit across unit mix
- Parking spaces will be a minimum of 9x18
- Option of on street parking where appropriate
- Landscape Islands placed at ends of parking rows with standard canopy trees

Building Materials

- Façades to exceed minimum 50% combination of Brick, Stone, Fiber Cement, or Concrete product excluding windows, trim, and doors

Parking

- Parking spaces will be a minimum of 9x18

Zoning

- Change underlying from R-1 to R-3

Commercial

Parking

- Parking spaces will be a minimum of 9x18
- Option of on street parking where appropriate
- Landscape Islands placed at ends of parking rows with standard canopy trees

Building Materials

- Commercial façades visible from a public street to have a minimum 50% use primary materials: brick, stone, decorative concrete or glass.

Declarations:

Access

- Twinning Station will, at its own expense, install light at main intersection across from Snowdrop Ave on Waldron Rd.

Future Easements

- Twinning Station acknowledges and agrees to work with city if future utility easements are required to cross undeveloped or open areas of the development

DEVELOPMENT STANDARDS

RESIDENTIAL

Uses Permitted:

- Single family detached homes shall be on its own lot of record and sold fee simple.
- Townhomes shall be its own land record as fee simple or horizontal property regime.
- Multifamily dwelling units shall be for rent.

Residential Development Standards:

- Entrances off Waldron Road and Blair Road shall have new entrance signage constructed of masonry materials and anchored by landscaping.
 - Building heights shall not exceed 4 stories in height.
 - Builders shall install sod and landscaping along foundations of all primary and secondary front yards along R.O.W.s of all buildings. Seed/Straw will be installed on the side and rear foundations of all buildings.
 - All townhome buildings shall be comprised of fifty percent masonry and brick.
 - All mechanical equipment (i.e. HVAC and transformers) to be screened and located in the rear/side of all units.
 - All on-site utilities shall be underground.
 - All unit types will be serviced by a 3rd party trash company.
 - Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
 - Parking for the residential units will comply with the City of La Vergne requirements.
 - Residential units shall have a mix of concrete and asphalt driveways.
 - All streets will be classified as a mix of public rights-of-way or private drives.
 - All streets have been designed to comply with City of La Vergne Streets Standards.
 - Public sidewalks will be provided on both sides of all public streets throughout the development to create a pedestrian friendly community. There will also be pedestrian connections between the residential portion of the development to the mixed uses town center.
 - Mail service will be provided via CBU.
 - Decorative streetlights will be coordinated with MTEMC.
 - All homeowners shall be required to be a member of the H.O.A.
 - As a member of the H.O.A., the residents shall be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
 - HOA will be managed by independent 3rd party management company.
 - The common areas will be owned and maintained by an H.O.A.
 - All infrastructure shall comply with City of La Vergne Standards. Any exceptions must be approved by the City Engineer.
 - Fencing shall be constructed of durable materials. Wooded and chain-link fences are prohibited.
 - All parking shall be located at least 10-feet from the public R.O.W. along Waldron and Blair Road.
 - All parking areas to be screened from public rights-of-way by landscaping or in combination with berms.
 - A mix of Type 1 & Type 2 Transitional Screening applications shall be provided at the perimeter edges of the proposed development and as identified/labeled.
 - Monument signage shall be placed no closer than 5-ft to the R.O.W. along Waldron and Blair Roads.
 - Monument signage shall have materials consistent with the building architecture and be accented with landscaping. Signage lighting will be exterior or push-thru style illumination. Signage shall comply with applicable zoning ordinance at the time of request.
 - All mechanical equipment located on the ground (i.e., hvac and transformers) to be screened with landscape or fencing. If mechanical equipment is located on the roof, then they shall be screened from view.
 - Any solid waste enclosures shall be constructed of materials consistent with building architecture, be at least 8-feet tall, with opaque gates, and shall be screened with landscaping. Solid waste collection service shall be provided by a private hauler.
 - All on-site utilities will be underground.
 - On-site lighting will comply with the LZ-2 standards outlined in the Model Lighting Ordinance by the International Dark-Sky Association to prevent light pollution and provide safety for patrons and employees.
 - Parking will comply with the City of La Vergne Zoning Ordinance for the allowable uses outlined to the right. Shared parking shall be implemented as needed/requested.
 - All parking will have curbing.
 - Fencing shall be constructed of durable materials. Wooded and chain-link fences are prohibited.
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- Multi-Family: 26% Brick/Stone, 55% Fiber Cement, and 19% Glazing/Door's material, with natural wood accents for exterior materials. Building elevations exemplified provided in slide. Note, the long faces carry most of the masonry, so the buildings look to have more masonry than as calculated.
 - Townhomes: 60% Fiber Cement Board and 40% masonry/stone with natural wood accents for the exterior materials.
 - Single Family Homes: 20% Fiber Cement Board and 80% masonry/stone, with natural wood accents for the exterior materials.
 - Masonry shall include traditional brick as available in a variety of sizes such as modular, standard, queen, utility, and monarch.
 - Stone shall include the following: natural stone products, stone veneer, and panelized stone.
 - Cemntitious products shall include the following: Allura, LP Smartside, GAF Weatherside, James Hardie, Nichiha, and Certain Teed. Each of these products have offer lap siding, panel siding, plank siding, shingle/shak siding, trim boards, and soft boards.
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- 55+ Single Family: Home facades shall be constructed of 100% Masonry. Masonry shall include Fiber Cement Siding, Brick, Stone, or Concrete product. Stucco and exterior insulation and finish systems (EIFS) are not considered masonry. This design standard will allow for farmhouse style homes with a broader color palette in addition to more traditional masonry style homes.

COMMERCIAL

While the exact uses for the commercial properties are unknown at this time, the allowable uses for this development are listed below. The list of allowable uses is based on the allowable uses listed under (C-2) Highway Service District and (C-3) Neighborhood Service Business District in the current zoning ordinance. Therefore, additional standards for those anticipated uses have been outlined below. The proposed sites will provide for adequate parking (including shared parking), vehicular and pedestrian circulation, solid waste management, stormwater management and landscaping.

Uses Permitted:

- Convenience retail sales and services
- Consumer Repair Services
- Financial, insurance, real estate and consulting services
- Food and beverage services
- Food Service (take out and drive-thru)
- Animal Care & Veterinarian (provided no outside housing of animals)
- General business services
- General personal services
- General retail trade
- Medical Services
- Professional Services (not otherwise listed)
- Religious facilities
- Daycare
- Grocery Stores
- Gasoline Station (including beer and tobacco sales)
- Beauty Parlor
- Barbershops
- Hardware Store
- Drug Store & Pharmacy
- Liquor Store
- Hotel
- Professional Office

Uses Prohibited:

- Bus transit station
- Bus or truck vehicle repair, meaintenance or storage facility
- Building materials and farm equipment sales
- Concrete or asphalt plant
- Rock quarry
- Residential homes leased on a short-term basis of less than 30 days, such as VRBO and Air B&B, but hotels and motels are expressly permitted
- Automobile sales, rental (other than as part of a hote's services) and delivery, aircraft dealers, boat dealers, recreational and utility trailer dealers
- Wholesale sales
- Plant and forest nurseries
- Mortuaries, crematoriums and funeral homes
- Self-Storage, Mini Storage and Mini-Warehousing
- Outside kennels/Stables
- Manufacturing, Industrial and Warehousing
- Sporting and recreational vehicle campgrounds and tracks
- Automotive Repairs & Service
- Cellular Towers over 25' tall
- Automotive wrecking & recycling
- Junk or salvage yards
- Vehicle Storage Areas
- Truck Terminals
- Automotive, marine craft, aircraft and accessories
- Self-Service Laundries
- Marijuana Dispensary and/or Marijuana Paraphernalia
- Beer & Tobacco Store (but specifically excluding convenience retail sales, grocery, and services)
- Vape/CBD Tattoo or Check Cashing Store
- Hookah Lounge *
- Extended Stay Hotel **

Commercial Development Standards:

- Building heights shall not exceed 4 stories in height.
- All parking shall be located at least 10-feet from the public R.O.W. along Waldron and Blair Road.
- All parking areas to be screened from public rights-of-way by landscaping or in combination with berms.
- A mix of Type 1 & Type 2 Transitional Screening applications shall be provided at the perimeter edges of the proposed development and as identified/labeled.
- Drive-thru windows shall be permitted for uses such as restaurants, financial institutions, dry cleaners, etc.
- Commercial buildings shall have a well-defined architectural base by use of different materials, colors or change in pattern or a combination of these techniques.
- Building elevations will have articulation or multiple building planes to promote quality architecture, and main entrances that are well defined and easily recognizable.
- Buildings shall have a minimum of 3' of foundation planting, except where access for drive-through windows are needed.
- The commercial lots shall have a pedestrian network that connects to Waldron Road and Blair Road. There will also be pedestrian connections between the residential portion of the development from the commercial property.
- Monument signage shall be placed no closer than 5-ft to the R.O.W. along Waldron and Blair Roads.
- Monument signage shall have materials consistent with the building architecture and be accented with landscaping. Signage lighting will be exterior or push-thru style illumination. Signage shall comply with applicable zoning ordinance at the time of request.
- Building signage shall follow standards outlined in the City of La Vergne sign ordinance.
- All mechanical equipment located on the ground (i.e. hvac and transformers) to be screened with landscape or fencing. If mechanical equipment is located on the roof, then they shall be screened from view.
- Any solid waste enclosures shall be constructed of materials consistent with building architecture, be at least 8-feet tall, with opaque gates, and shall be screened with landscaping. Solid waste collection service shall be provided by a private hauler.
- All on-site utilities will be underground.
- On-site lighting will comply with the LZ-2 standards outlined in the Model Lighting Ordinance by the International Dark-Sky Association to prevent light pollution and provide safety for patrons and employees.
- Parking will comply with the City of La Vergne Zoning Ordinance for the allowable uses outlined to the right. Shared parking shall be implemented as needed/requested.
- All parking will have curbing.
- Commercial lots will not be a part of the residential H.O.A.
- Commercial lots that utilize communal facilities shall be part of an owner's organization responsible for the care and upkeep of shared drainage, parking, etc.
- Fencing shall be constructed of durable materials. Wooded and chain-link fences are prohibited.
- Commercial will be 35% Brick/stone and 65% Fiber Cement Board with natural wood accents.
- Hookah Lounge shall be further defined as any establishment, business, or premises, whether operated for profit or not, where customers, patrons, members, or other persons are permitted or allowed to smoke, inhale, vaporize, or otherwise consume tobacco, shisha, herbal substances, synthetic substances, or any similar product or material through a hookah, waterpipe, or any similar device, whether provided by the establishment or brought in by the patron. The term "hookah lounge" includes, but is not limited to, establishments where such activity occurs as the primary or ancillary use, regardless of whether food, beverages, or entertainment are also offered. For purposes of this definition, it shall be irrelevant whether the products consumed contain nicotine or other controlled substances, and whether the devices used are personal or communal.
- Extended Stay Hotels shall be further defined as any building, group of buildings, or portion thereof, designed, used, maintained, advertised, or offered for occupancy by guests or tenants for temporary lodging or residence, where individual units are equipped with kitchen facilities, kitchenettes, or any type of cooking appliance or equipment, and where accommodations are rented, offered, or intended to be rented for periods of more than seven (7) consecutive days, or where the business model, pricing structure, or operational policies are designed to encourage or accommodate occupancy for more than seven (7) consecutive days. This definition applies regardless of the actual duration of any individual guest's stay, and includes any facility that offers weekly rates, discounts for extended stays, or marketing directed toward business travelers, temporary workers, relocating residents, or others seeking accommodations for more than seven (7) days. The presence of housekeeping, concierge, hotel licensing, or transient occupancy tax status does not exempt a facility from classification as an extended stay hotel.