

AGENDA

La Vergne Planning Commission
October 28, 2025 at 6:00 PM

- Call meeting to order.
- Determine quorum.

ORDER OF BUSINESS

1. Approve Minutes: September 30, 2025 Regular Meeting and October 14, 2025 Workshop. **(Staff requests deferral.)**
2. Public Comment Period.

OLD BUSINESS

3. Site Plan - Dous Retail Center - Building totaling 4,200 Square Feet on 1.28 Acres. Requested by Chet Rhodes. Property located at 5130 Murfreesboro Road (Tax Map 15M, Group A, Parcel 1). C-2 (Highway Service) Zoning District. Property owned by TN Group Properties, LLC.
4. Recommendation to the Board of Mayor and Aldermen: Rezoning of Property - Requested by Last of the Loggers, LLC - 9.67 Acres. Property located on Sanford Road (Tax Map 28, Parcel 1.01). Current Zoning District: A (Agricultural) Zoning District; Proposed Zoning District: R-3 (High Density Residential) Zoning District. Property owned by Chao Wen Dong. **(DEFERRED)**
5. Site Plan - MBI Building - Building totaling 8,800 Square Feet on 5 Acres. Requested by Griggs & Maloney, Inc. Property located at 393 Mason Road (Tax Map 17, Parcel 15.01). I-2 (Heavy Industrial) Zoning District. Property owned by Mr. Bults, Inc. **(DEFERRED)**

NEW BUSINESS

6. Preliminary Plat - Arbor Ridge, Section 6 - 23 Lots on Approximately 16.81 Acres. Requested by SEC, Inc. Property located off Waldron Rd. (Tax Map 32, Parcel 4). PDR (Planned Density Residential) Zoning District. Property owned by Starlight Homes of Tennessee, LLC.
7. Final Plat - Mission Hills, Section 2B - 26 Lots on Approximately 7.4 Acres. Requested by SEC, Inc. Property located off Waldron Rd. (Tax Map 29, Parcel 22.02). R-3 (High Density Residential) Zoning District. Property owned by Meritage Homes of Tennessee, Inc.
8. Site Plan - 164 Chaney Boulevard - Ten Townhomes on 0.96 Acres. Requested by Morley Corp. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. **(DEFERRED)**

9. Recommendation to the Board of Mayor and Aldermen for Subdivision Acceptance – Uptown Subdivision, Lot 1 (see Final Plat of Lot 1 of the Richland South, LLC Property) Totaling 1 Lot. Requested by Woodhaven Development Group. Property located at 5309 Murfreesboro Road (Tax Map 14 Parcel 72.05). C-2 (Highway Service) Zoning District.
10. Bonds/Letters of Credit Update.

ADJOURN



Item #: 3. Site Plan - Dous Retail Center - Building totaling 4,200 Square Feet on 1.28 Acres. Requested by Chet Rhodes. Property located at 5130 Murfreesboro Road (Tax Map 15M, Group A, Parcel 1). C-2 (Highway Service) Zoning District. Property owned by TN Group Properties, LLC.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

This site plan was first submitted to the City's planning commission in August 2022, then again in March 2024. Although the item has been deliberated in several meetings, ultimately the site plan was never approved.

On behalf of his client, Chet Rhodes is requesting site plan approval for a retail center to be located at 5130 Murfreesboro Road. Currently, the property contains only one structure. The other structure on the adjacent site is a strip-like retail center and contains 11,257 sq. feet. It is no longer part of this lot, but it was in the past.

The applicant has proposed to use the existing building that is comprised of 4,200 square feet with this plan. The building is 1-story and was formerly a car wash.

6' Sidewalks must be shown along all frontages incl. Murfreesboro Road, Old Nashville Hwy., and George Chaney.

This particular site is contained in an overlay district. The building currently contains five (5) bays and two (2) pedestrian doors that face the front of the building. The building itself is already comprised of brick with a metal roof.

The applicant has decided to brick parts of the building and add windows as well. Also, the applicant has added more parking spaces as well as added a dumpster location to the site plan.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavernetn.gov; and Jake Blair - jblair@lavernetn.gov)

1. Applicant must submit an architectural materials board with actual samples of all exterior materials, including samples of all paint colors;
2. 6' Sidewalks must be shown along all frontages incl. Murfreesboro Road, Old Nashville Hwy., George Chaney;
3. The address is incorrect and should be 5130 Murf. Road;
4. Parking requirements must be included in the Site Data Table;
5. Add note on appropriate sheet to indicate van-accessible handicap space with provided van-accessible loading zone;
6. It appears there is now a door missing.

Engineering (Gary Lide - glide@lavernetn.gov)

Comments addressed.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

Comments addressed.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

Show existing hydrants. Hydrants should be located within 400 feet of property suitable for fire suppression efforts.

Police

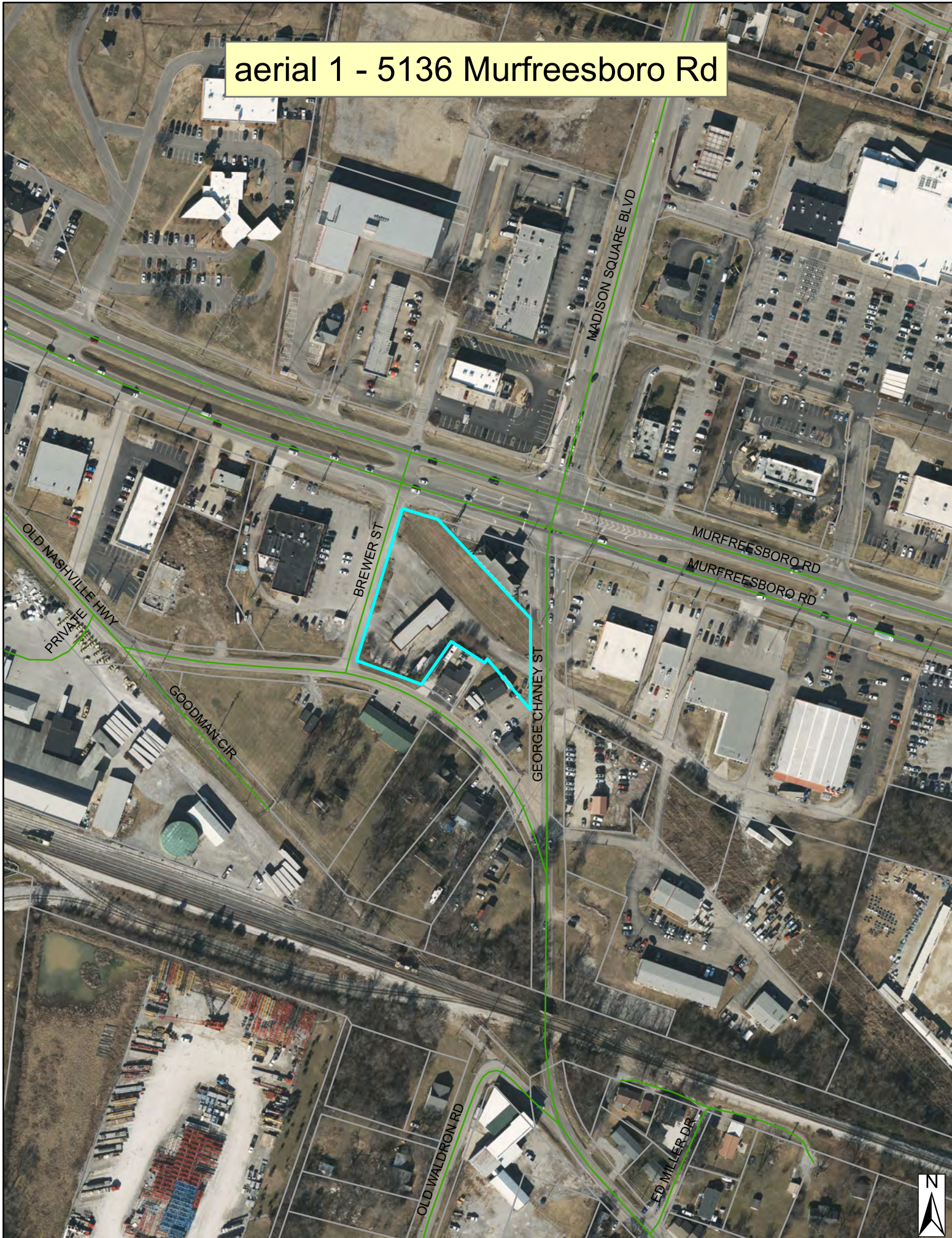
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

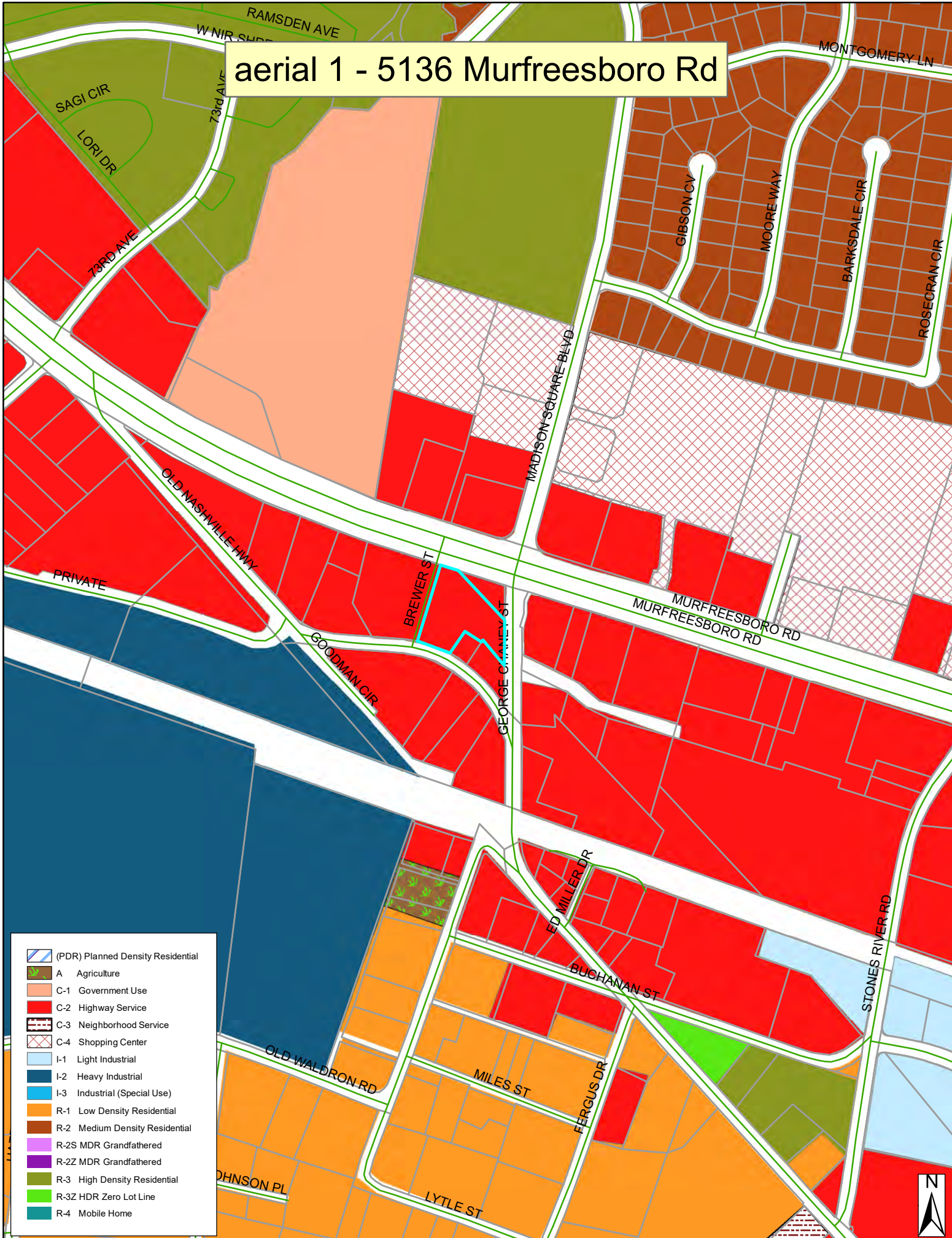
aerial 1 - 5136 Murfreesboro Rd















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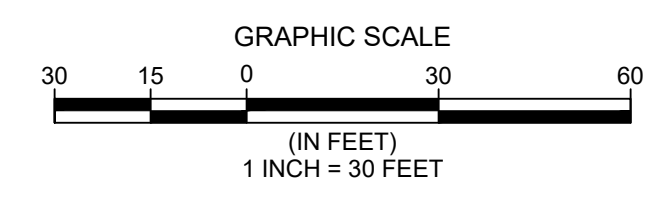
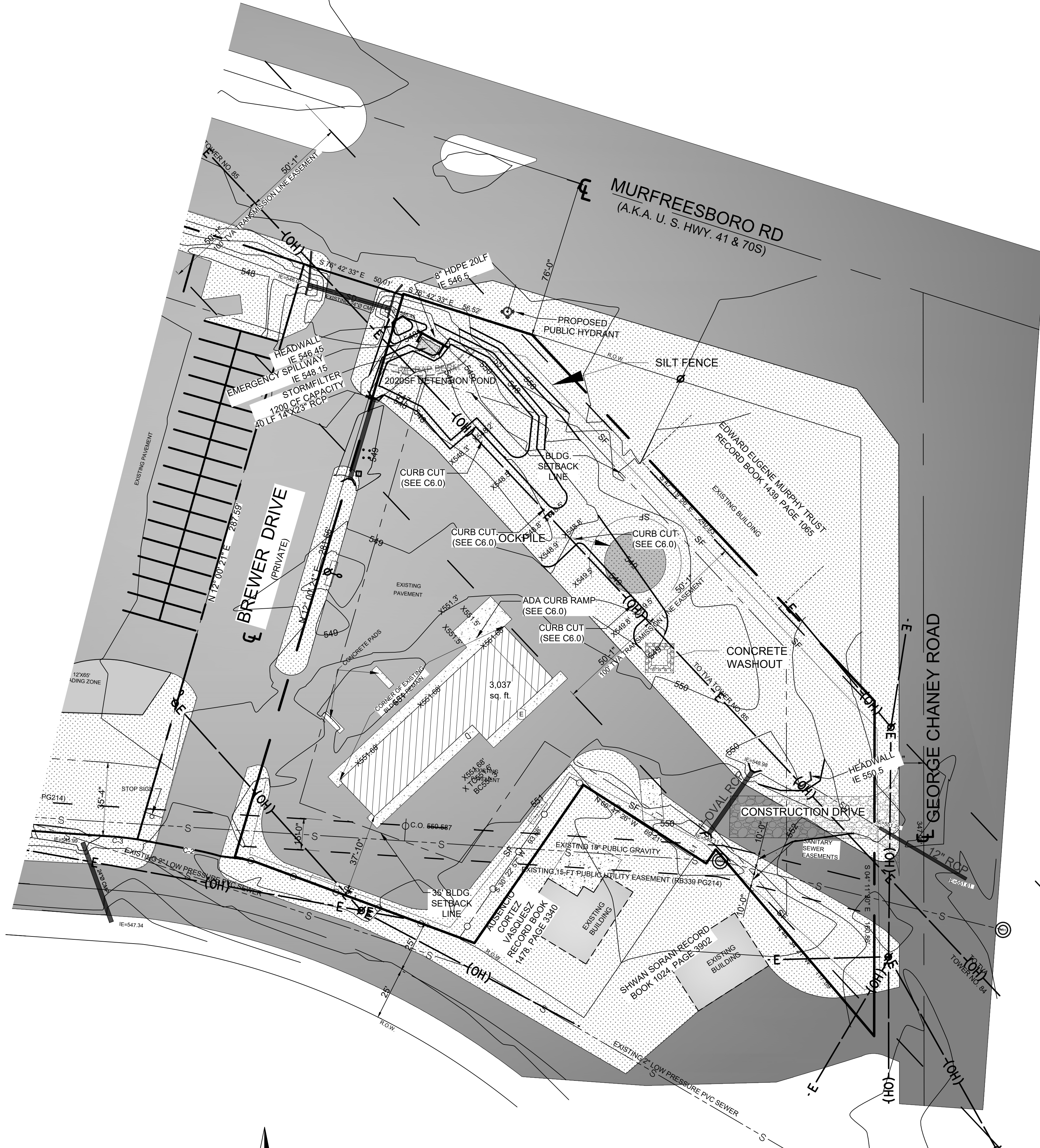
-  (PDR) Planned Density Residential
-  A Agriculture
-  C-1 Government Use
-  C-2 Highway Service
-  C-3 Neighborhood Service
-  C-4 Shopping Center
-  I-1 Light Industrial
-  I-2 Heavy Industrial
-  I-3 Industrial (Special Use)
-  R-1 Low Density Residential
-  R-2 Medium Density Residential
-  R-2S MDR Grandfathered
-  R-2Z MDR Grandfathered
-  R-3 High Density Residential
-  R-3Z HDR Zero Lot Line
-  R-4 Mobile Home







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INITIAL EPSC

EROSION CONTROL NOTES

- 1. THIS IS A SUGGESTED EROSION CONTROL PLAN. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY AS WORK PROGRESSES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND ADJUSTING THE EROSION CONTROL MEASURES AS NECESSARY THROUGHOUT THE LIFE OF CONSTRUCTION, AND UNTIL FULL STABILIZATION OF THE SITE AND/OR THE COMPLETION OF CONSTRUCTION WHICH EVER COMES LATER.
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INITIAL EROSION CONTROL MEASURES

- 1. INSTALL CONSTRUCTION ENTRANCE.
2. INSTALL TEMPORARY SEDIMENT BASINS IN PROPOSED DETENTION AREA WHERE INDICATED.
3. INSTALL SILT FENCE PRIOR TO LAND DISTURBANCE.
4. BEGIN CLEARING VEGETATION, THEN GRADING CAN BEGIN.

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902 OLACID COURT
BRENTWOOD, TN 37027
PH # 615-423-4519
EMAIL: erian.g@yahoo.com
TN GROUP PROPERTIES LLC
9402 PLACID CT
BRENTWOOD TN 37027



10/17/2025

ENGINEER: RE
RHODES ENGINEERING AND ENVIRONMENTAL SERVICES, LLC
PHONE: 615.480.7535
1117 WHITNEY DRIVE
COLUMBIA, TN 38401
ZONING: ENVIRONMENTAL
SITE DEVELOPMENT WATER/WASTEWATER

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Table with columns for REVISIONS, DATE, and DESCRIPTION.

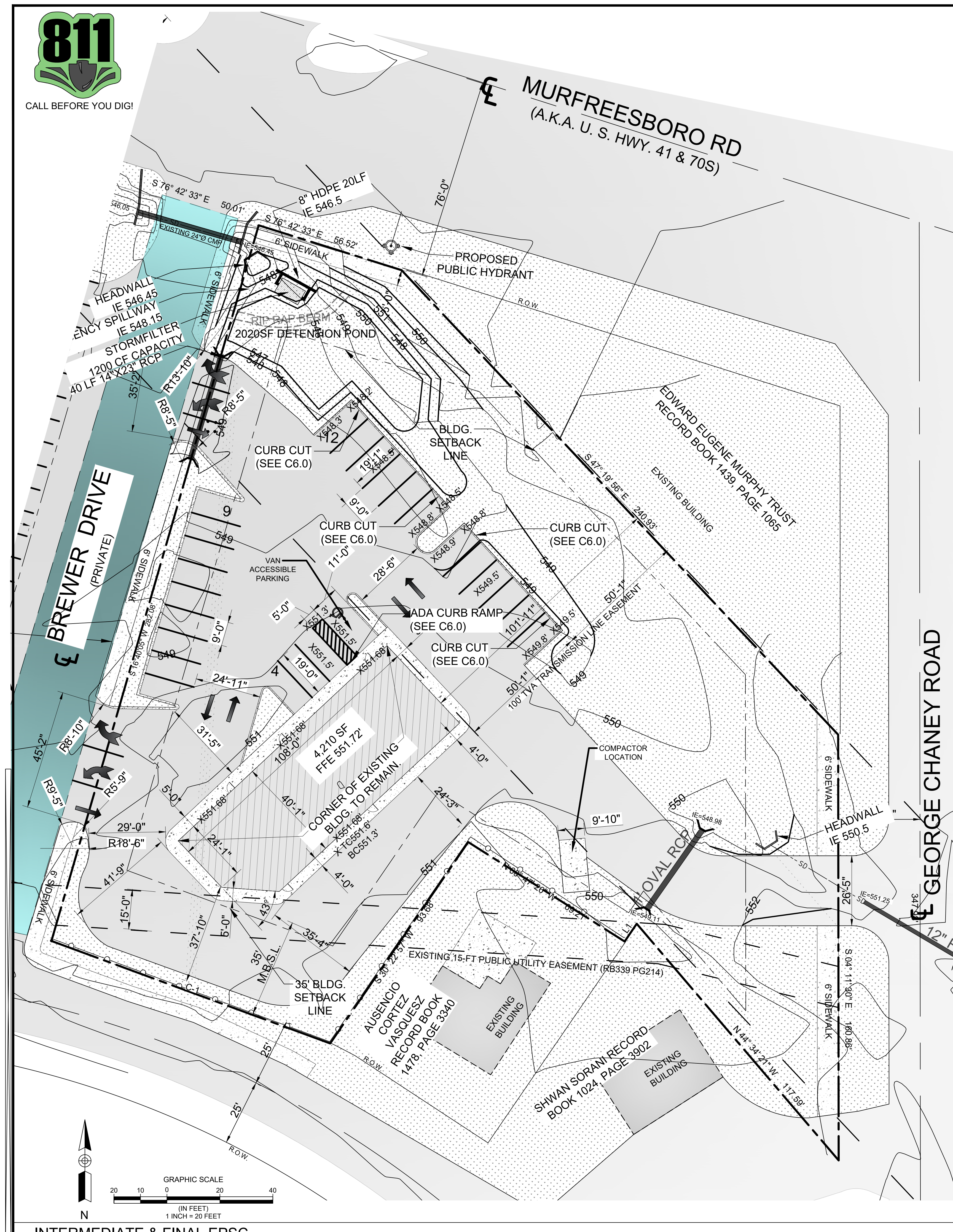
Table with columns for APPROVAL, DRAWN, DESIGN, CHECKED, APPROVED, and SAVED DATE.

OSAMA DOUS
RETAIL CENTER
5130 MURFREESBORO ROAD, LA VERGNE, TN 37086
INITIAL EPSC

DWG. No. C-7.0
SCALE: NOTED
CADFILE:
JOB No.



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INTERMEDIATE EROSION CONTROL MEASURES

- 5. COMPLETE GRADING AND DRAINAGE PER APPROVED PLANS AND PLACE THE EROSION CONTROL MATTING IN AREA OF EMBANKMENT LOCATIONS AS SHOWN AND PER SHEET C-4.3 EROSION CONTROL DETAILS.

FINAL EROSION CONTROL MEASURES

- 6. PREPARE FINAL SEEDING AND LANDSCAPING.
7. MONITOR STABILIZED AREAS UNTIL FINAL STABILIZATION IS ACHIEVED.
8. RESEED AND STRAW THESE AREAS WITH NATIVE GRASSES/SPECIES.
9. ESTABLISH VEGETATION BEFORE REMOVING THE EPSC CONTROLS.
10. REMOVE EPSC CONTROLS REMAINING.

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Ph # 615-423-4519
EMAIL: erian.g@yahoo.com
TN GROUP PROPERTIES LLC
9402 PLACID CT
BRENTWOOD TN 37027



10/17/2025

ENGINEER: RE
RHODES ENGINEERING AND ENVIRONMENTAL SERVICES, LLC
PHONE: 615.480.7535
EMAIL: RhodeEngineering@gmail.com
1117 WHITNEY DRIVE
COLUMBIA, TN 38401
ENVIRONMENTAL
SITE DEVELOPMENT WATER/WASTEWATER

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Table with columns: DATE, DRAWN, CHECKED, DESIGNED, APPROVED, PWB, ATD, CAR, CAR, and a grid for revisions.

Table with columns: DRAWN, PWB, 00/00/0000, DESIGN, ATD, 00/00/00, CHECKED, CAR, 00/00/00, APPROVED, CAR, 00/00/00, and a row for SAVED DATE: 10/20/2025 11:20:47 AM Jbrad

Table with columns: APPROVAL, DRAWN, PWB, 00/00/0000, DESIGN, ATD, 00/00/00, CHECKED, CAR, 00/00/00, APPROVED, CAR, 00/00/00, and a row for SAVED DATE: 10/20/2025 11:20:47 AM Jbrad

OSAMA DOUS
RETAIL CENTER
5130 MURFREESBORO ROAD, LA VERGNE, TN 37086
INTERMEDIATE & FINAL EPSC

INTERMEDIATE & FINAL EPSC

DWG No. C-7.1
SCALE: NOTED
CADFILE: 10/20/2025 11:20:47 AM
JOB No.
NOTED



PHOTOMETRIC SITE PLAN
 SCALE: 1" = 20'

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER MODEL	NO. LAMPS	LAMP OUTPUT	MOUNTING	INPUT POWER
P1	D-SERIES SIZE 1 AREA LUMINAIRE P4 PERFORMANCE PACKAGE 3000K CCT 80CRI FORWARD THROW	LITHONIA LIGHTING DSX1 LED P4 30K 80CRI TFTM	1	14272	20' POLE	123.94
WP	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	LITHONIA LIGHTING WDGE2 LED P4 30K 80CRI TFTM	1	4002	WALL 10.5'	46.6589

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
PARKING AREA	+	1.0 fc	4.2 fc	0.0 fc	N/A	N/A

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft
 Length: 32.71"
 Width: 14.26"
 Height H1: 7.88"
 Height H2: 2.77"
 Weight: 34 lbs

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information		EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRH DDBXD	
Series	LEDs	Color Temperature	Color Rendering Index
DSX1 LED	Forward optics (this fixture 70CRI only)	40K	90
	Reverse optics	30K	90

WDGE2 LED Architectural Wall Sconce Visual Comfort Optic

Specifications

Depth (D1): 7"
 Depth (D2): 1.5"
 Height: 9"
 Width: 11.5"
 Weight: 13.5 lbs

Introduction

The WDGE2 family is designed to meet specifiers' every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with Light-AID wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18V cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE2 LED Family Overview	
Luminaire	Approximate Lumens (20'x20')
WDGE2 LED - Wall Sconce	1,200 - 2,500
WDGE2 LED - Recessed Reflector	1,200 - 2,500 - 5,000 - 10,000

Win ENGINEERING
 404 BNA Drive, Suite 305, Nashville, TN 37217
 Phone: 615.891.4565 | Fax: 615.250.0580
 Email: walters@winengineer.com | www.winengineer.com

**OSAMA DOUS
 RETAIL CENTER**

5130 MURFREESBORO ROAD
 LA VERGNE, TN 37086

Win Engineering Project No. 01324
 04.05.24

Sheet Title:
**PHOTOMETRIC
 SITE PLAN**

Sheet Number:
PH-1.0



CALL BEFORE YOU DIG!

OSAMA DOUS
902 OLACID COURT
BRENTWOOD, TN 37027
PH # 615-423-4519
EMAIL: erian.g@yahoo.com
TN GROUP PROPERTIES LLC
9402 PLACID CT.
BRENTWOOD TN 37027



10/17/2025

ENGINEER:



RHODES ENGINEERING
AND ENVIRONMENTAL
SERVICES, LLC
PHONE: 615.480.7535
EMAIL: Rhodes.Engineering@gmail.com
117 WHITNEY DRIVE
COLUMBIA, TN 38401
SPECIALTY: CIVIL, ENVIRONMENTAL, SITE DEVELOPMENT, WATER/WASTEWATER

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DATE: 10/17/2025

REVISIONS

NO.

APPROVAL

SAVED DATE: 10/20/2025 11:20:47 AM JBrad

DRAWN: PWB 00/00/0000

DESIGN: ATD 00/00/00

CHECKED: CAR 00/00/00

APPROVED: CAR 00/00/00

DWG. No.

SCALE: NOTED

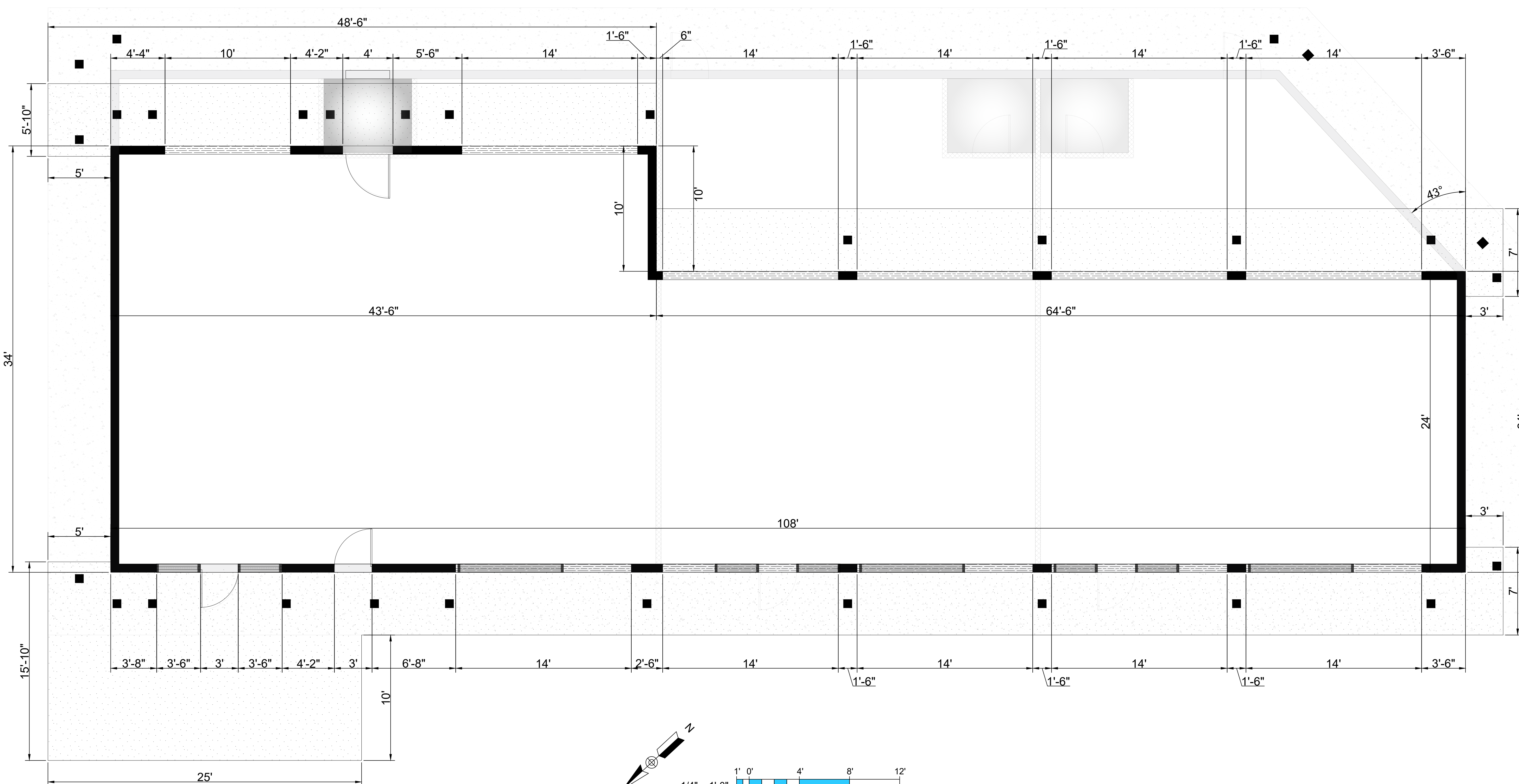
CADFILE: 10/17/2025

JOB No.

REV.

NOTED

Page 27 of 124



EXISTING FLOOR PLAN

A-1.0

SCALE: NOTED

CADFILE: 10/17/2025

JOB No.

REV.

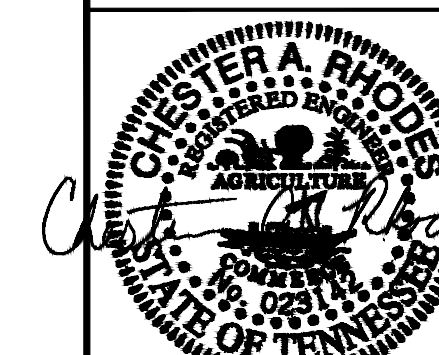
NOTED

Page 27 of 124



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OSAMA DOUS
902 OLACID COURT
BRENTWOOD, TN 37027
PH # 615-423-4519
EMAIL: erian.g@yahoo.com
TN GROUP PROPERTIES LLC
9402 PLACID CT.
BRENTWOOD TN 37027



10/17/2025

ENGINEER:



RHODES ENGINEERING
AND ENVIRONMENTAL
SERVICES, LLC
PHONE: 615.480.7535
EMAIL: RhodesEngineering@gmail.com
1117 WHITNEY DRIVE
COLUMBIA, TN 38401
Civil, Environmental,
Site Development, Water/Wastewater

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DATE

NO.

REVISIONS

APPROVAL

DRAWN PWB 00/00/0000

DESIGN ATD 00/00/00

CHECKED CAR 00/00/00

APPROVED CAR 00/00/00

SAVED DATE: 10/20/2025 11:20:47 AM Jrad

DWG. No.

A-3.0

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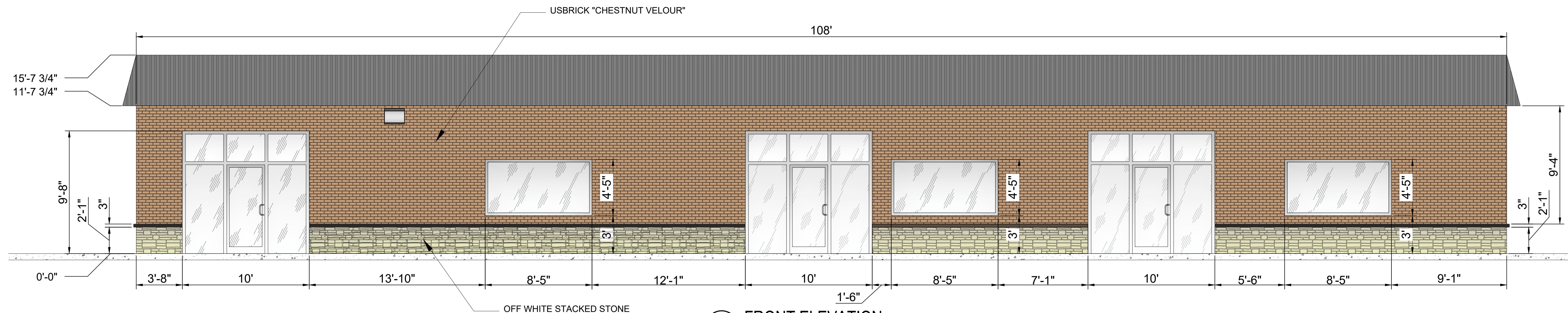
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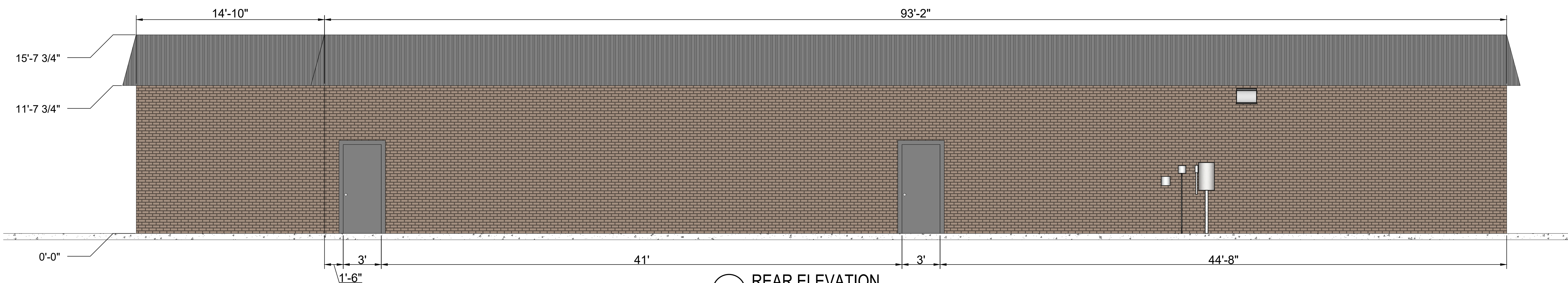
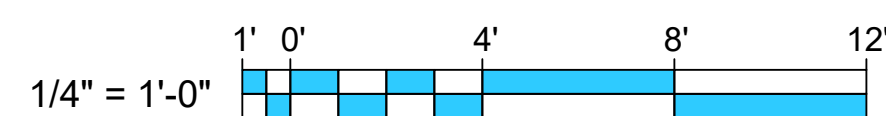
REV.

NOTED

Page 31 of 124



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



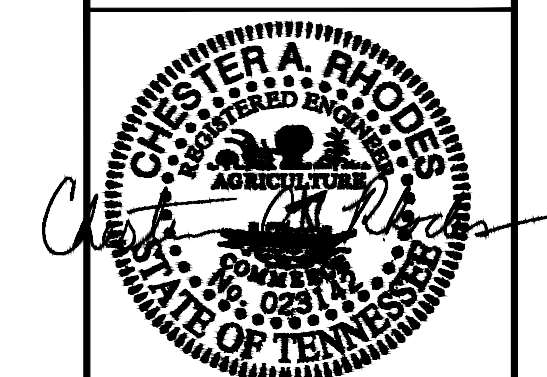
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"





CALL BEFORE YOU DIG!

OSAMA DOUS
902 OLACID COURT
BRENTWOOD, TN 37027
PH # 615-423-4519
EMAIL: erian.g@yahoo.com
TN GROUP PROPERTIES LLC
9402 PLACID CT.
BRENTWOOD TN 37027



10/17/2025

ENGINEER:



RHODES ENGINEERING
AND ENVIRONMENTAL
SERVICES, LLC

PHONE: 615.480.7535
EMAIL: RhodesEngineering@gmail.com
1117 WHITNEY DRIVE
COLUMBIA, TN 38401

CIVIL ENGINEER/ARCHITECT CIVIL ENGINEER/ARCHITECT
SITE DEVELOPMENT WATER/WASTEWATER

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DATE	DRAWN	CHECKED	DESIGNER	APPROVAL

REVISIONS	No.	DESCRIPTION

APPROVAL		
DRAWN	PWB	00/00/0000
DESIGN	ATD	00/00/00
CHECKED	CAR	00/00/00
APPROVED	CAR	00/00/00

SAVED DATE: 10/20/2025 11:20:47 AM Brad

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RETAIL CENTER
5130 MURFREESBORO ROAD, LA VERGNE, TN 37086

PROPOSED LEFT SIDE & RIGHT SIDE ELEVATIONS

DWG. No.

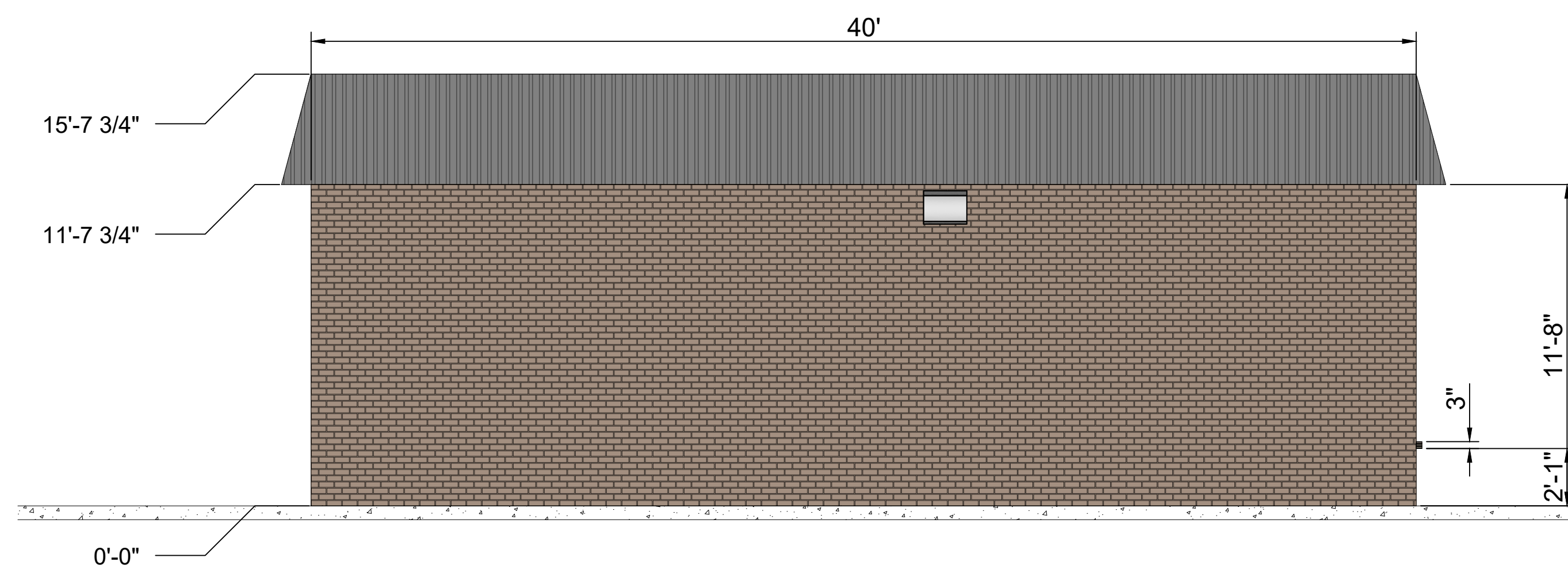
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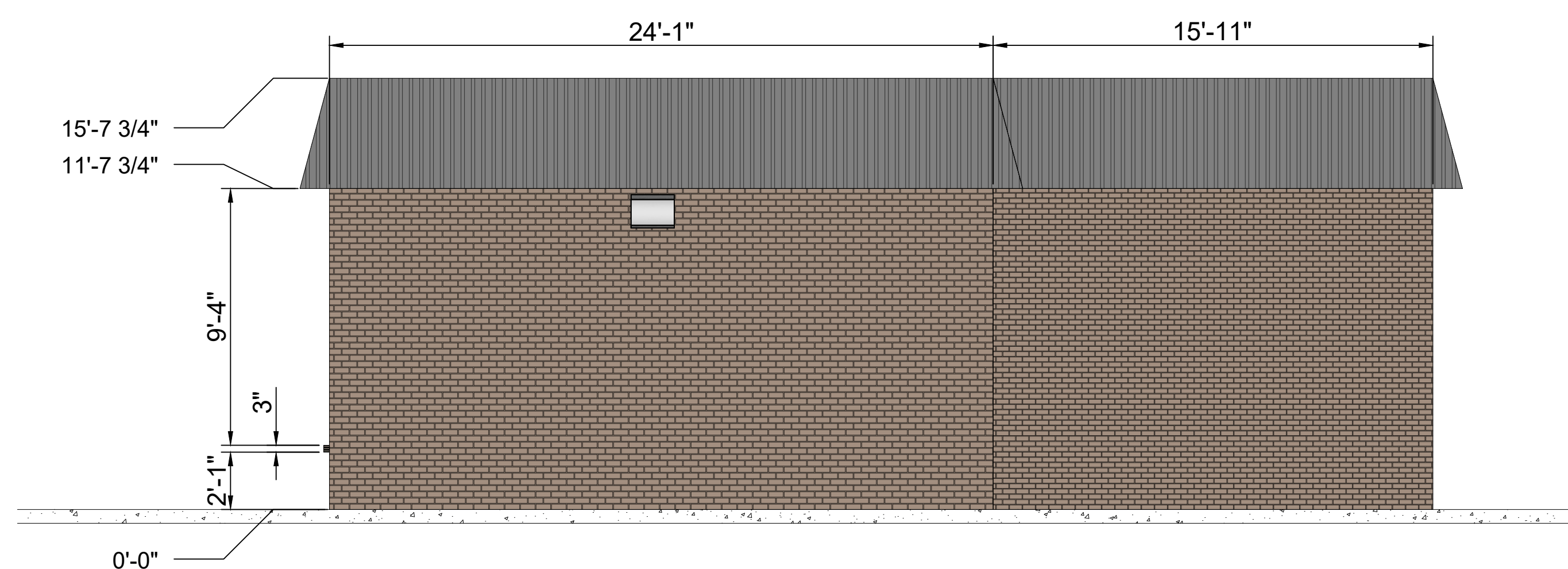
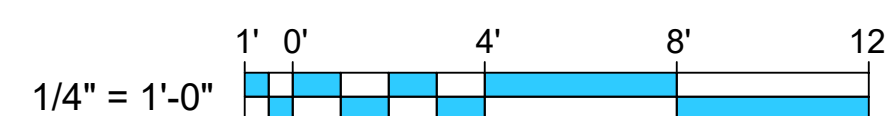
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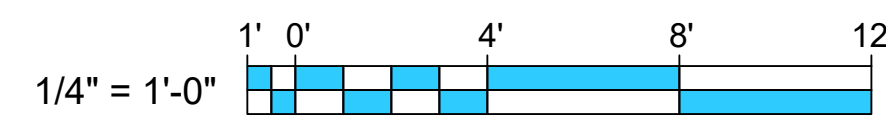
REV.



1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"





Item #: 4. Recommendation to the Board of Mayor and Aldermen: Rezoning of Property - Requested by Last of the Loggers, LLC - 9.67 Acres. Property located on Sanford Road (Tax Map 28, Parcel 1.01). Current Zoning District: A (Agricultural) Zoning District; Proposed Zoning District: R-3 (High Density Residential) Zoning District. Property owned by Chao Wen Dong. (DEFERRED)

Reviewed By:
Bo Logan, City Planner

Summary:

The applicant is requesting to rezone approximately 9 acres from Ag to R-3. The property is located between Chaney and Sanders Roads.

The applicant has not disclosed any specific plans regarding the future development of this property.

The main zoning in the area is a mixture of R-1 and R-2 plus R-3. North of this site is R-3 located on the east side of Chaney.

The remaining property that borders this site on the northern sides is R-2 which is Medium Density Residential.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergn.net; and Jake Blair - jblair@lavergn.net)

No Comments.

Engineering (Gary Lide - glide@lavergn.net)

No comments.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

No comments.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

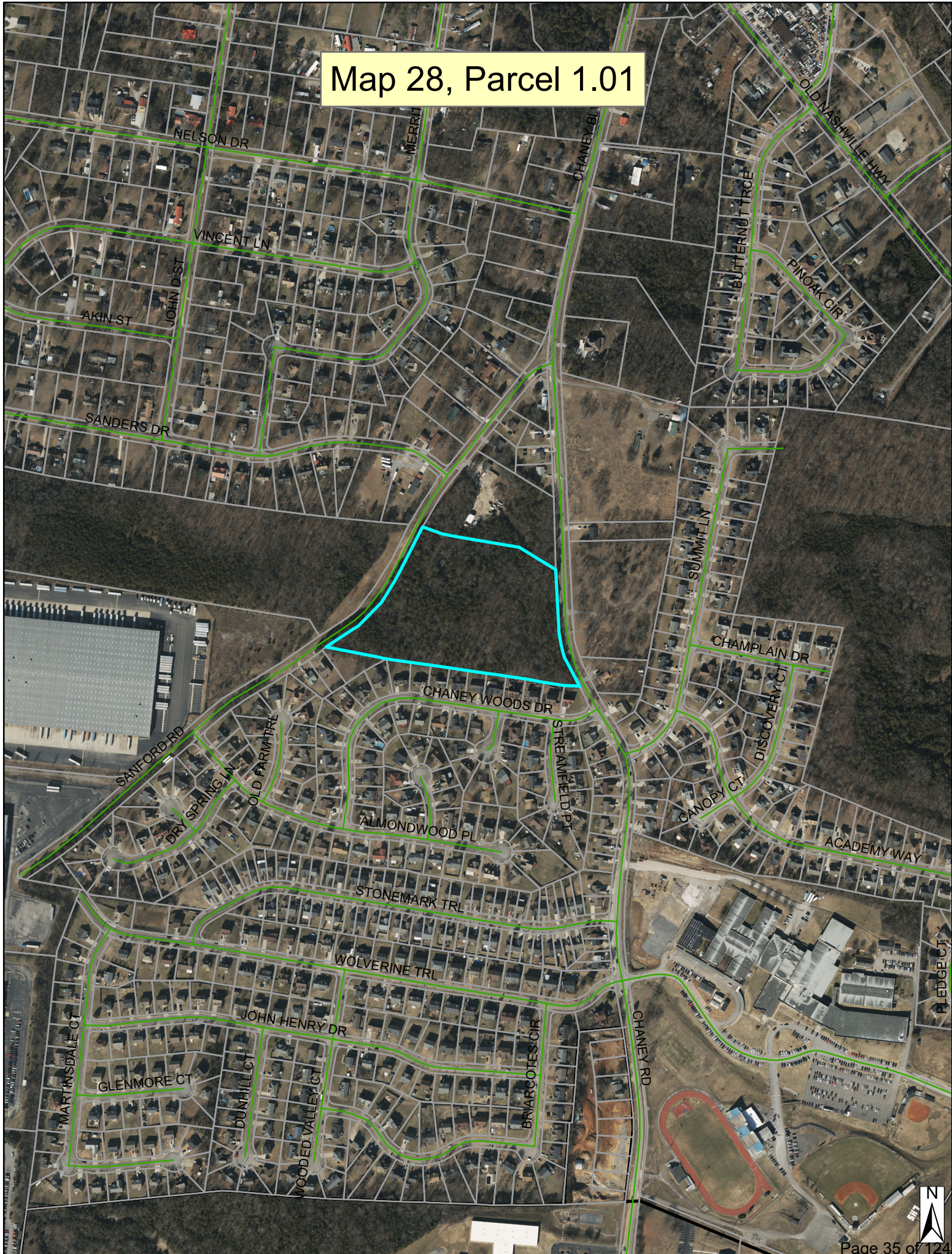
No comments.

Police

No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

Map 28, Parcel 1.01



Map 28, Parcel 1.01

SANDERS DR

SANFORD RD

CHANEY BLVD

CHANEY WOODS DR

BRASS OAK CT

HOUNDS RUN

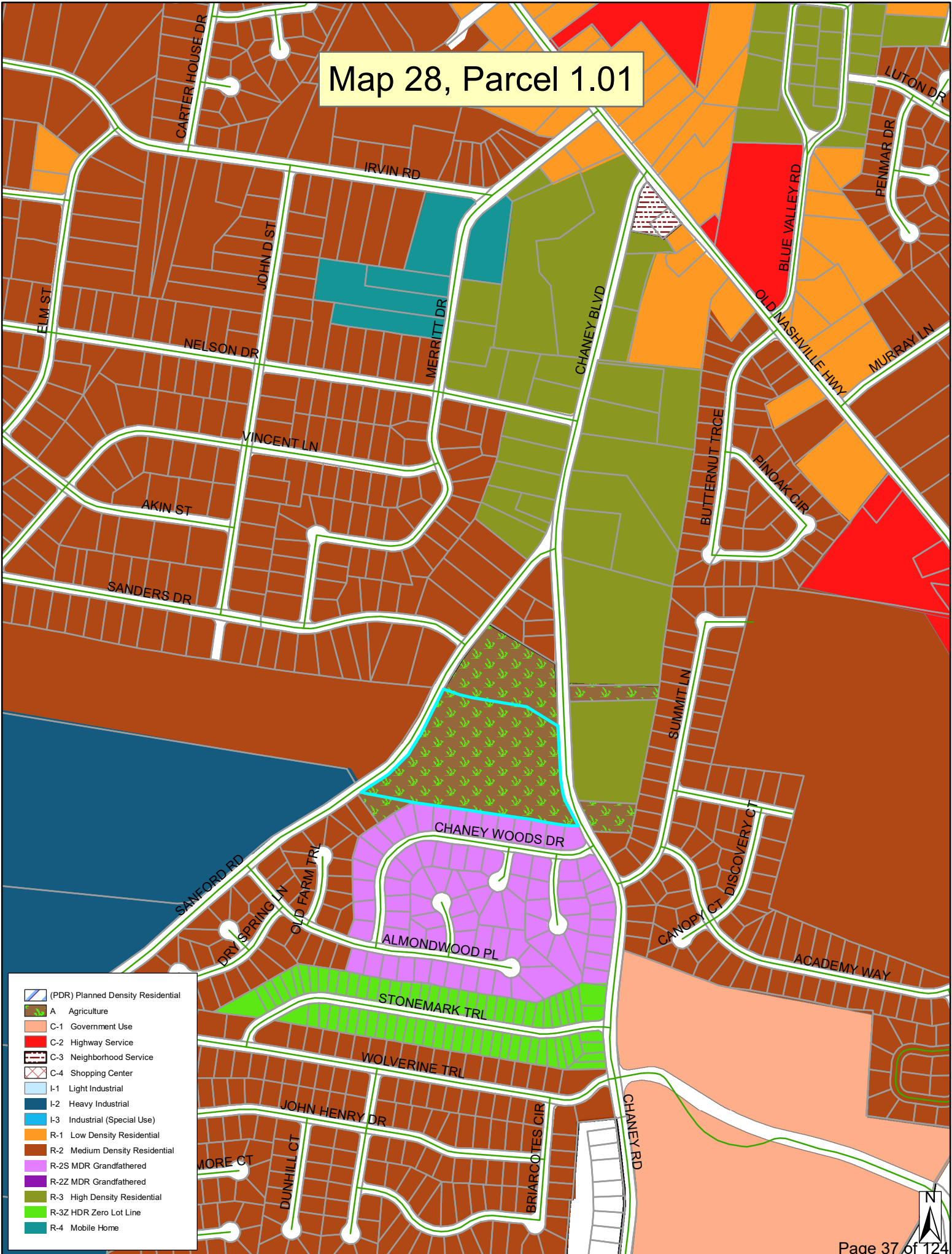
STREAMFIELD PT




SUMMIT LN

ALMONDWOOD PL



Map 28, Parcel 1.01



-  (PDR) Planned Density Residential
-  A Agriculture
-  C-1 Government Use
-  C-2 Highway Service
-  C-3 Neighborhood Service
-  C-4 Shopping Center
-  I-1 Light Industrial
-  I-2 Heavy Industrial
-  I-3 Industrial (Special Use)
-  R-1 Low Density Residential
-  R-2 Medium Density Residential
-  R-2S MDR Grandfathered
-  R-2Z MDR Grandfathered
-  R-3 High Density Residential
-  R-3Z HDR Zero Lot Line
-  R-4 Mobile Home





**PROPERTY
RE-ZONING
REQUESTED**
FOR INFO CALL
615-267-8702



Location: Sanford Rd, La Vergne, TN, 37086

Parcel ID: R0014716

Acres: 9.67

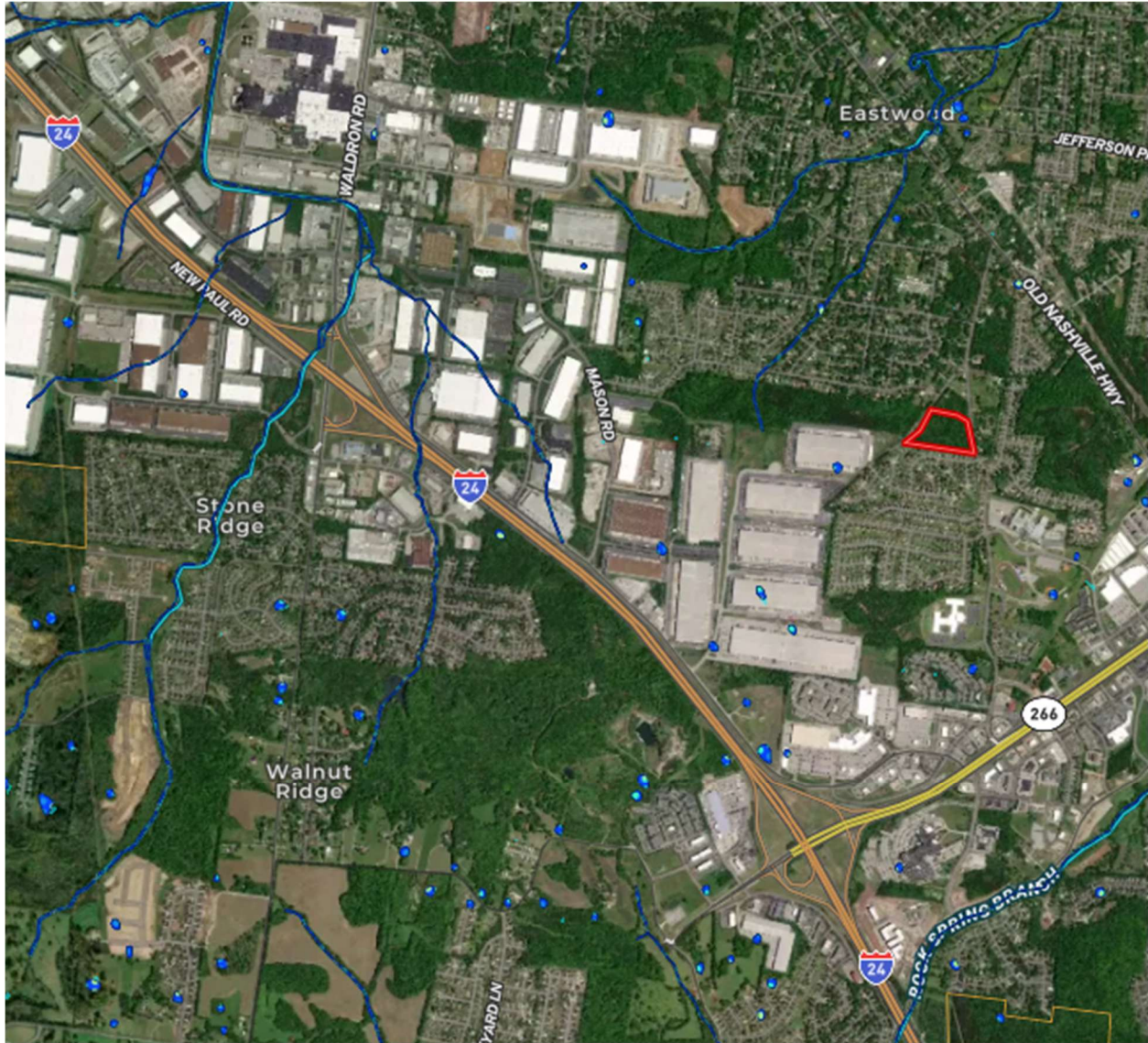
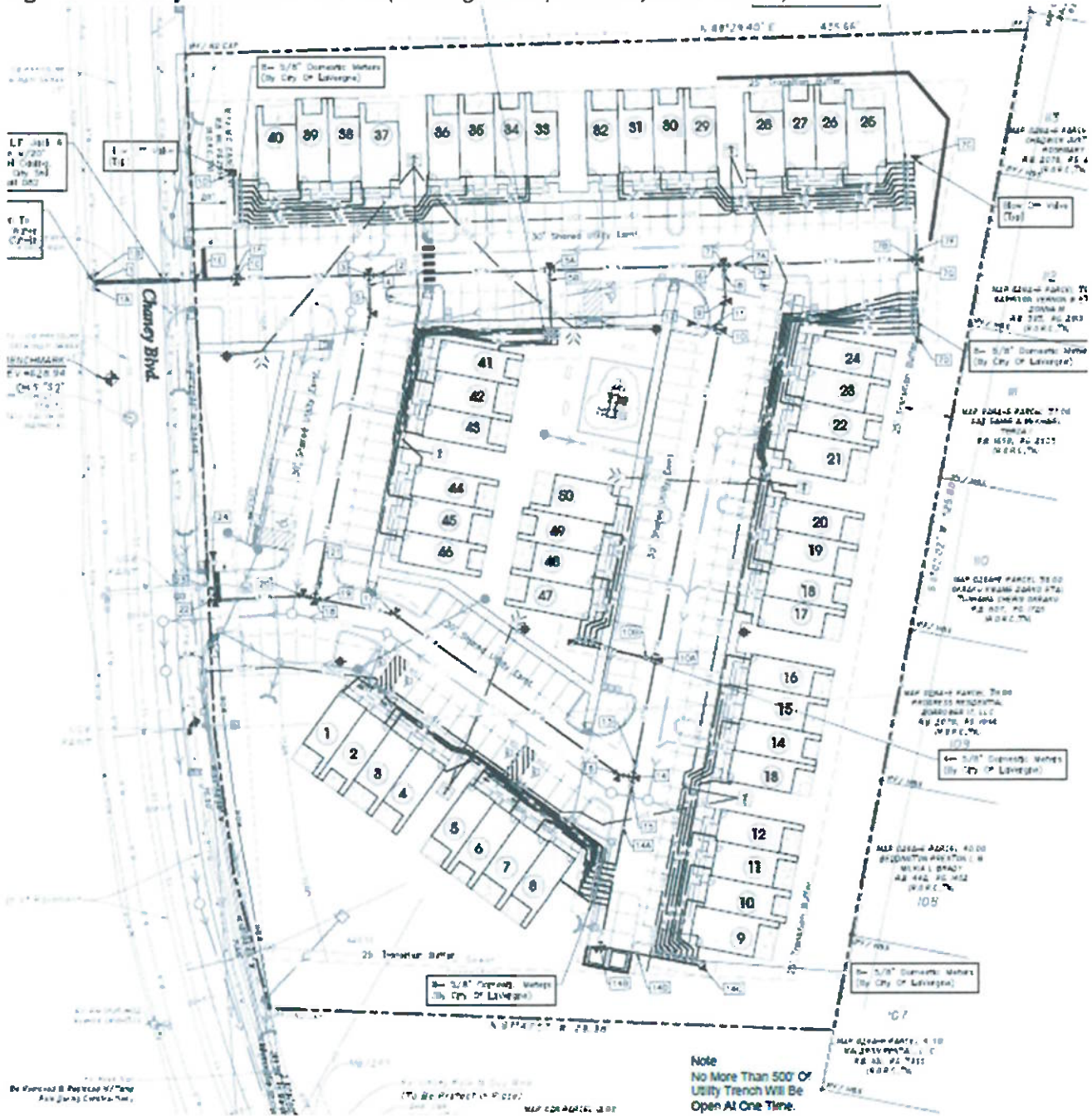




Figure C. Chaney Place Town Homes (Abutting the Proposed Project to the East)





Item #: 5. Site Plan - MBI Building - Building totaling 8,800 Square Feet on 5 Acres. Requested by Griggs & Maloney, Inc. Property located at 393 Mason Road (Tax Map 17, Parcel 15.01). I-2 (Heavy Industrial) Zoning District. Property owned by Mr. Bults, Inc. (DEFERRED)

Reviewed By:

Gary Lide, City Engineer
Bo Logan, City Planner

Summary:

On behalf of their client, Griggs & Maloney is requesting site plan approval for an 8800 sq ft building at Sanders and Mason Road.

The proposed building is 1-story. This particular site is not contained in an overlay district.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@laveragnetn.gov; and Jake Blair - jblair@laveragnetn.gov)

1. Sidewalk is required.

Engineering (Gary Lide - glide@laveragnetn.gov)

Links to General Permitting information, the Stormwater Management Ordinance (Title 14 - Zoning and Land Use Control), and the Longterm Maintenance Agreement can be found at: <https://www.laveragnetn.gov/215/Links-Resources>

1. (Sheet C1.01) Staff recommends that applicant dedicate additional Public Utility and Drainage Easement (PUDE) as described in the Utilities section below.
2. (Sheet C1.01) Add DB 291 PG 475 for 2' waterline easement along north boundary.
3. (Sheet C1.01) Staff recommends that applicant dedicate sufficient land for Mason Road right-of-way
4. (Sheet C1.01) Correct scale in title block
5. Provide filled out draft of the Longterm Maintenance Agreement (LTMA) and Longterm Maintenance Plan (LTMP)
6. (Sheet C1.01) Move bearings and distances on north boundary so that they can be read.
7. (Sheet C2.01) Show distances from edge of paving to property boundaries along all boundaries.
8. (Sheet C2.01) Show distances from two perpendicular boundaries to the building so that the building can be located in the field.
9. (Sheet C2.01) Show lane striping for entry drive.
10. (Sheet C1.01) Easement width on existing water line is shown as 2'. Show correct easement width.
11. (Sheet C1.01) Show DB and PG for easements.
12. (Sheet C1.01) Correct note where Mason Road is incorrectly labeled as Sanders Road.
13. (Sheet C2.01) Provide concrete pavement section for drive and parking areas
14. (Sheet C1.01) Add DB 593, PG 125 to the access easement
15. While a full traffic study will not be required, please provide traffic generation estimates for the proposed use.
16. (Sheet C2.01) Provide ADA accessible spaces as required
17. (Sheet C2.01) Question: Is a monument sign proposed at the road? If yes, please show location and size.

18. (Sheet C4.01) Ditch B south of parking area flows along a nearly 8% in slope. Maximum flow velocity for Curlex blanket is 7%. Provide a more robust ground cover in that section of Ditch B.
19. Provide all calculations required by the La Vergne Stormwater Management Ordinance including stormwater quality and stormwater quantity.
20. (Sheet C4.01) In the western end of Ditch B where it outflows into the bioretention pond, provide riprap or other similar protection where the ditch slope flattens out into the pond.
21. (Sheet C4.01) Provide erosion protection from the outfall of Storm Line D down to the flowline of Ditch A.
22. (Sheet C6.03) Provide a note that all EPSC controls shown on this sheet are permanent.
23. (Sheet C4.01) Provide a swale along the top of the retaining wall along the north edge of the parking area and provide a detail for the swale.
24. (Sheet C4.01) Provide details showing how the outlet control structures will be constructed which match the calculations.
25. (Sheet C4.01) Provide hydraulic calculations for pipes as required by Stormwater Management Ordinance
26. Provide construction details for catch basins, headwalls, pipe trenching, etc.
27. (Sheet C4.01) Show how bypass Q is going to be avoided at catch basins B2 and B3.
28. (Sheet C4.01) For all pipes, catch basins, and headwalls, show pipe size, material, invert elevations, and top of casting elevations.
29. Provide structural details for retaining walls over four feet in height from finished grade to top of wall. This must include complete structural plans. This must also include either spot shots or elevation drawings showing the height of the walls throughout.
30. (Sheet C6.01, C6.02) Correct Silt Fence, Concrete Wash-out, and Construction Entrance references (the sheet reference is incorrect)
31. (Sheet C6.01) Show construction entrance graphically at 100 feet long.
32. (Sheet C2.01) Show far side edge of pavement for Mason Road and show edge of [pavement for Tech Park Drive
33. (Sheet C4.01) Show size, material, and invert elevations of existing pipe under the access drive along the North boundary
34. (Sheet C6.01) Extend silt fence 100 feet in both directions
35. (Sheet C6.02) There is no Erosion Control Matting detail found on Sheet C6.04. Provide detail or change note.
36. (Sheet C6.04) Slope Stabilization Detail references stations that were not found on any other plans. It doesn't appear to correlate with these plans. Modify detail.
37. (Sheet C6.02) Notes are labeled as "Initial" notes. Change to "Intermediate" notes
38. (Sheet C6.02) Add a note that sediment ponds will be excavated and functional and run-off water diverted into them before topsoil stripping can begin on the main parking lot. It is understood that some grading will be required within the pad area to construct the sediment ponds.
39. (Sheet C6.02) This plan needs to show the grading necessary for the sediment ponds to comply with Item 38 above.
40. (Sheet C6.01) Show inlet protection at the existing culvert under the existing access drive along the north boundary.
41. (Sheet C6.03) Change notes to "Final" notes.
42. (Sheet C6.04) Provide as detail for riprap outlet protection which includes geotextile, D50, of riprap installation, and minimum area.
43. (Sheet C1.01) Show tree masses.
44. (Sheet C1.01) Show areas where slopes exceed 12% and show USDA-NRCS soil types for those areas.
45. Provide a Site Profile that runs from their northwest corner of the site running southwest through the building and down to the centerline of Mason Road.
46. Provide a Site Profile from the centerline of Mason Road and following the centerline of the driveway to the nearest point of the building.
47. (Sheet C2.01) Show five-foot wide sidewalk along all public road frontages
48. (Sheet C2.01) Show dumpster pad or provide a narrative explaining how waste will be handled without a dumpster.
49. The City specifications have required General Notes. These must be included. They can be found at: <https://www.lavergnetn.gov/DocumentCenter/View/4671/Permitting-and-Construction-General-Information-and-Requirements>

Utilities (Scott Tatalovich - statalovich@lavergnetn.gov)

1. Existing Conditions Plan: Existing utilities in Sanders Drive are missing, including 12" water and 8" sewer.
2. Site Grading Plan: Show existing utilities on grading plan and label with size.
3. Site Grading Plan: Label driveway culvert size and invert elevations.
4. Site Grading Plan: City records show existing 18" WTM is approximately 22' off edge of pavement at northern end of site, which is pretty close to location of proposed SD culvert for proposed driveway entrance. Closer than shown on the plans (which is approx. 40 feet). A minimum cover over the 18" WTM will be required per City Standards. If Engineer has not requested a one-call ticket to mark utilities, they should do so and survey the

markings to ensure the existing 18" WTM proximity to the proposed drive way entrance grades and proposed culvert is not an issue during construction.

5. Site Grading Plan: Storm drain Line D shall be labeled with invert elevations, to ensure a minimum of 18" clearance between SD and existing 18" WTM.
6. Site Utility Plan: Point to and label existing waterline as 18" DIP Water.
7. Site Utility Plan: Point to and label existing 12" WTM along northern property line.
8. Site Utility Plan: After further review, the City will not require the portion in the street to be labeled as a public sewer extension. The sewer service connection shall be as described in my email to Hunter Patton (Griggs and Maloney) on 8/28/2025, with a 1.5" schedule 40 forcemain, connection box per City Std Dtl 19.0 at the property boundary, and connection at existing manhole in Sanders Drive per the special detail provided with that email. Contact Scott Tatalovich, Utility Engineer, statalovich@lavergneth.gov, 615-663-9683 with any questions. Therefore, no TDEC engineering plan review would be required for water or sewer purposes on this project.
9. Site Utility Plan, provide and label a 20' Public Utility and Drainage easement along the northern boundary of the site to be used for a future, public, 24" WTM from Mason Rd to connect to the City's Sanders Tanks to the east. Said easement shall not be encumbered with surface features or other that would prevent City access to said easement for maintenance of the future 24" WTM. Please coordinate with Jaimi Ensey to show said waterline location in background as future waterline. Label waterline as 24" Future Waterline.

Codes (Joe White - jwhite@lavergneth.gov)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergneth.gov)

No comments.

Police

No comments.

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393 Mason Rd

INGRAM BLVD

ZELLWOOD DR

FRUITLAND CT

GRAYSON CT

POULAN CT

SANDERS DR

GRIFFIN CT

TECHPARK DR

MASON RD



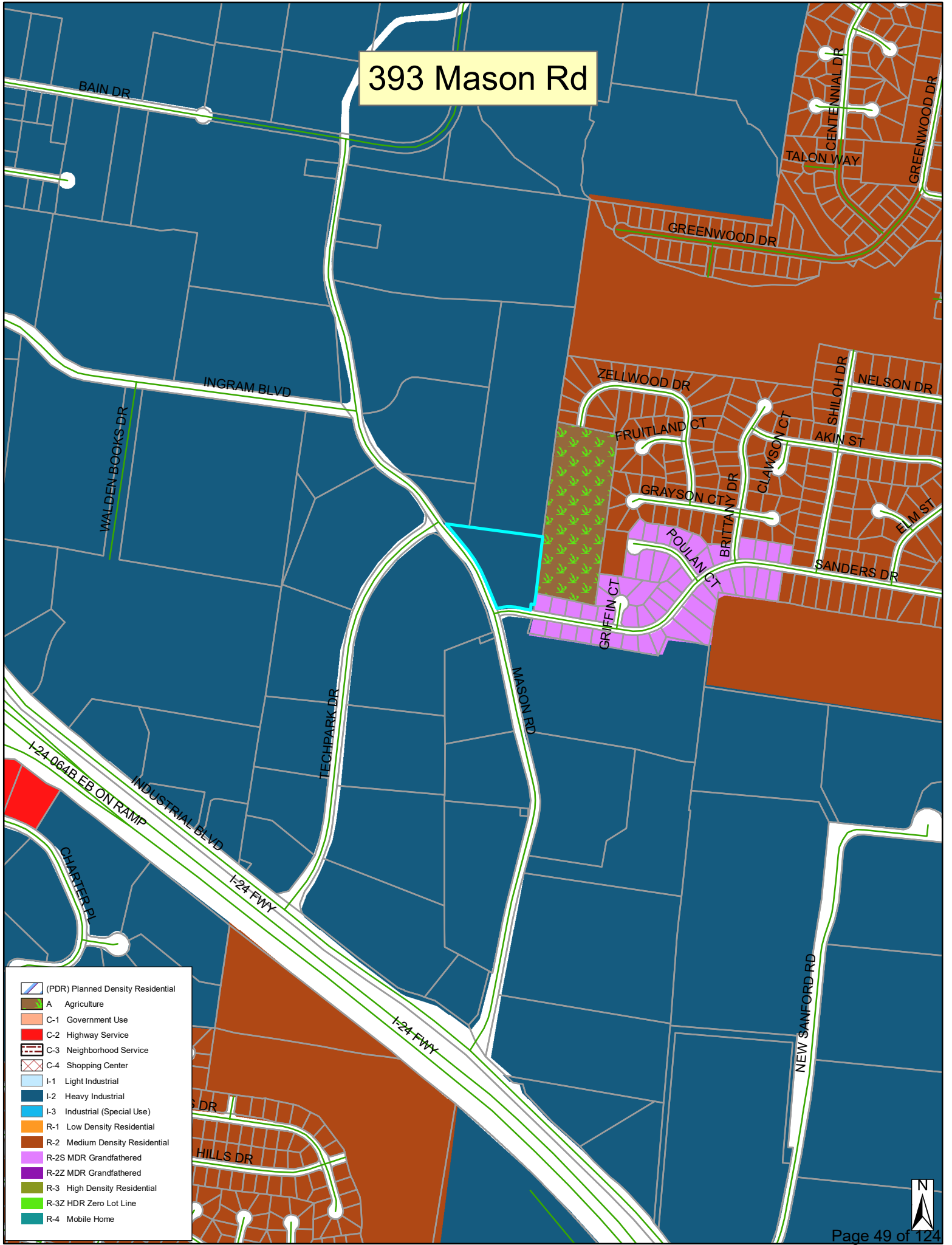
393 Mason Rd

MASON RD

SANDERS DR



393 Mason Rd



- (PDR) Planned Density Residential
- A Agriculture
- C-1 Government Use
- C-2 Highway Service
- C-3 Neighborhood Service
- C-4 Shopping Center
- I-1 Light Industrial
- I-2 Heavy Industrial
- I-3 Industrial (Special Use)
- R-1 Low Density Residential
- R-2 Medium Density Residential
- R-2S MDR Grandfathered
- R-2Z MDR Grandfathered
- R-3 High Density Residential
- R-3Z HDR Zero Lot Line
- R-4 Mobile Home





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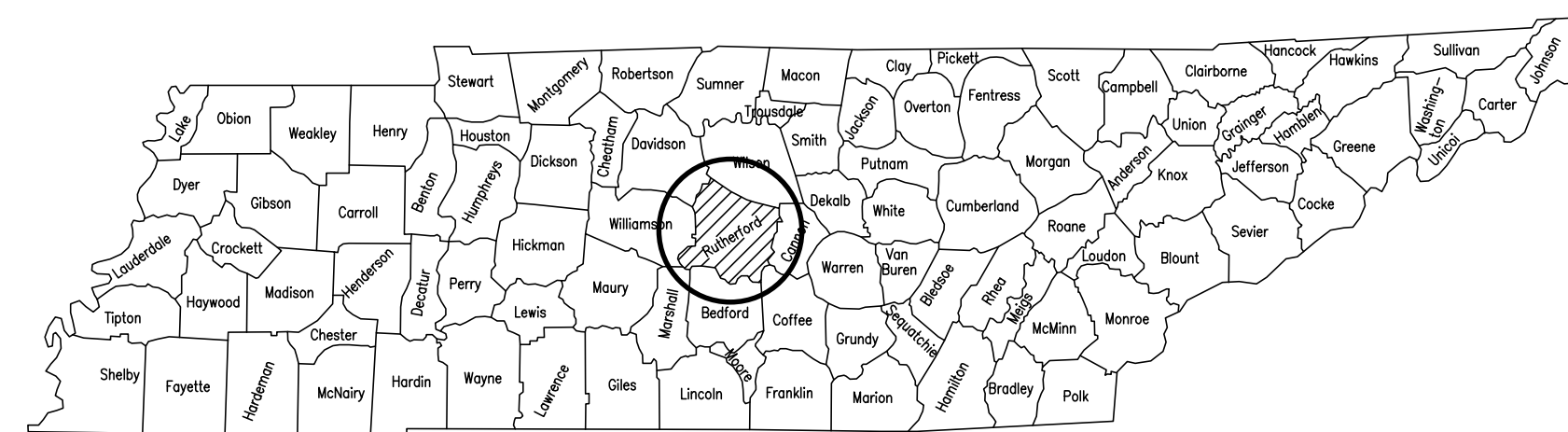


MBI BUILDING GRAEFEN DEVELOPMNET 393 MASON ROAD LA VERGNE, TENNESSEE TAX MAP 17 PARCEL 15.01 SITE PLAN

SEPTEMBER 2, 2025

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C0.00	COVER SHEET
C1.01	EXISTING CONDITIONS
C2.01	SITE LAYOUT PLAN
C3.01	SITE GRADING PLAN
C4.01	SITE DRAINAGE PLAN
C5.01	SITE UTILITY PLAN
C6.01	INITIAL EPSC PLAN
C6.02	INTERMEDIATE EPSC PLAN
C6.03	FINAL EPSC PLAN
C6.04	EPSC DETAILS
L1.00	LANDSCAPE PLAN
L1.00	LANDSCAPE DETAILS & NOTES



SITE DATA TABLE	
PROPERTY OWNER	MR. BULTS INC.
PROPERTY OWNER ADDRESS	2627 E 139TH ST BURNHAM, IL 60633
TOTAL PROPERTY AREA	5.00 ACRES
TAX MAP AND PARCEL	MAP 17 PARCEL 15.01
ZONING (EXISTING)	INDUSTRIAL
EXISTING LAND USE	VACANT
PROPOSED LAND USE	TRUCK FLEET MAINTENANCE
TOTAL LIMIT OF DISTURBANCE	4.50 ACRES
IMPERVIOUS AREA	95,190 SQ. FT.
FAR OR LOT COVERAGE	0.437
OPEN SPACE	2.815 ACRES
SETBACKS	
FRONT YARD	10 FEET
FRONT BUILDING SETBACK	40 FEET
SIDE BUILDING SETBACK	20 FEET
REAR BUILDING SETBACK	15 FEET
FLOODPLAIN INFORMATION	
FIRM PANEL 47149C0105H EFFECTIVE DATE JANUARY 5, 2007	
BUILDING DATA	
STORIES	1
BUILDING SQUARE FEET	8,800 SQ. FT.
HEIGHT	30 FEET
PARKING REQUIRED	ONE (1) SPACE PER 40 SQ. FT. OF FLOOR AREA FOR OFFICE AND/OR SALES, PLUS ONE (1) SPACE FOR EVERY 4,000 SQ. FT. OF GROSS FLOOR AREA
PARKING CALCULATIONS	0 SQ. FT. (OFFICE) + 8,800 SQ. FT. (FLOOR AREA)/4,000 SQ. FT = 2.2 SPACES
PARKING PROVIDED	26 SPACES + 32 SPACES FOR TRAILER STORAGE

DRAFT
NOT FOR CONSTRUCTION

DESIGN ENGINEER: Hunter Patton
Hunter Patton, P.E.

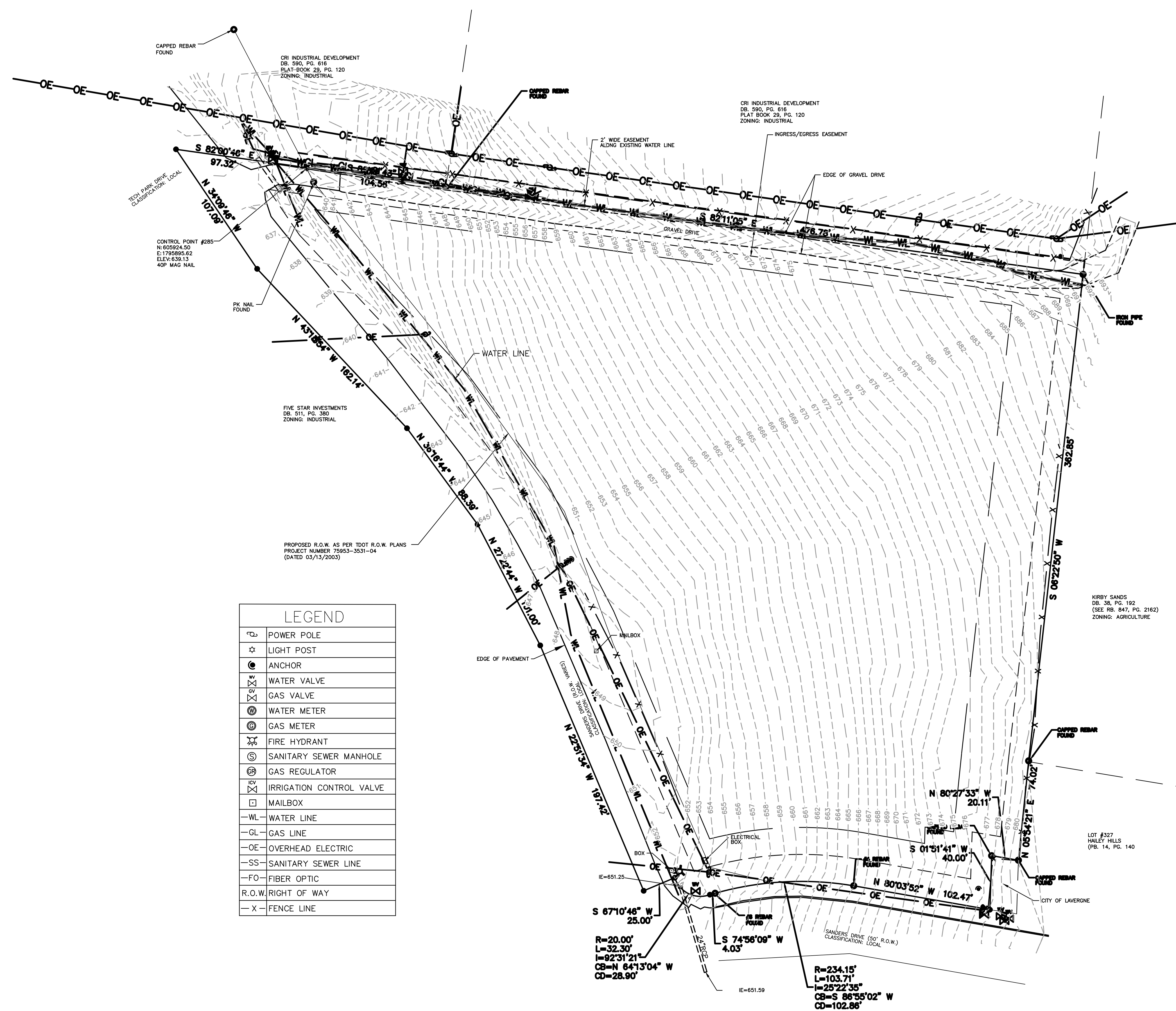


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Engineering & Environmental Consulting

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(615) 895-8221 * FAX (615) 895-0632

PROJECT NO. 1574-01
SET NO. _____

SUBMITTALS AND REVISIONS			
DATE	BY	NO.	DESCRIPTION



GENERAL NOTES:

PROJECT BENCHMARK
 N: 60524.50
 E: 178585.62
 ELEV: 639.13
 40P MAG NAIL

FLOOD NOTE
 THIS PROPERTY IS NOT WITHIN AN AREA OF FLOOD INUNDATION AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 47149C0103H, EFFECTIVE DATE JANUARY 5, 2007.

- SURVEY PERFORMED BY JOHNSON & ASSOCIATES SURVEYING ON 07/28/2025.
- DATUM WAS TAKEN FROM THE NAVD88 AND NAD83
- ACCORDING TO RULE 0620-03-.08 (MAPS AND MAPPING) PARAGRAPH (5) OF THE STANDARDS OF PRACTICE, TENNESSEE LAND SURVEYOR'S LAWS AND REGULATIONS, HAVING AN EFFECTIVE DATE OF MARCH 17, 2011. "ELECTRONIC SURVEY DOCUMENTS SUCH AS CAD FILES, PDF COPIES AND WORD PROCESSOR DOCUMENTS OR OTHER EMAILED OR DIGITALLY COPIED AND/OR DIGITALLY COPIED AND/OR OTHER ELECTRONICALLY FORWARDED INFORMATION AND DOCUMENTS ARE CONSIDERED "PRELIMINARY" OR "DRAFT DOCUMENTS." ORIGINAL STAMPED AND SIGNED DOCUMENT IS ON FILE AT THIS SURVEYOR'S OFFICE.
- THE CONTRACTOR SHALL COMPLY WITH THE TENNESSEE STATE LAW CHAPTER 51 UNDERGROUND UTILITY DAMAGE PREVENTION ACT COMMONLY KNOWN AS THE "TENNESSEE ONE CALL LAW" AND ALL CONDITIONS OF THIS LAW SHALL COMPLY TO THIS PROJECT. IN ACCORDANCE WITH THE TENNESSEE ONE CALL LAW, ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR.

LEGEND	
	POWER POLE
	LIGHT POST
	ANCHOR
	WATER VALVE
	GAS VALVE
	WATER METER
	GAS METER
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	GAS REGULATOR
	IRRIGATION CONTROL VALVE
	MAILBOX
WL	WATER LINE
GL	GAS LINE
OE	OVERHEAD ELECTRIC
SS	SANITARY SEWER LINE
FO	FIBER OPTIC
R.O.W.	RIGHT OF WAY
X	FENCE LINE

PROPOSED R.O.W. AS PER TDOT R.O.W. PLANS
 PROJECT NUMBER 75953-2531-04
 (DATED 03/13/2003)

$R=20.00'$
 $L=32.30'$
 $I=92.3121'$
 $CB=N 64.1304' W$
 $CD=28.90'$

$R=234.15'$
 $L=103.71'$
 $I=25.2235'$
 $CB=S 88.5502' W$
 $CD=102.86'$

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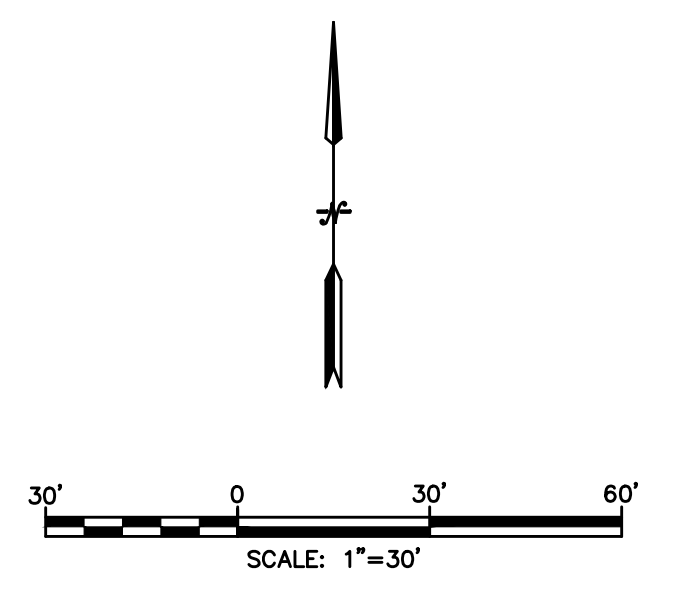


REVISIONS			
DATE	BY	NO.	DESCRIPTION

MBI BUILDING
 GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

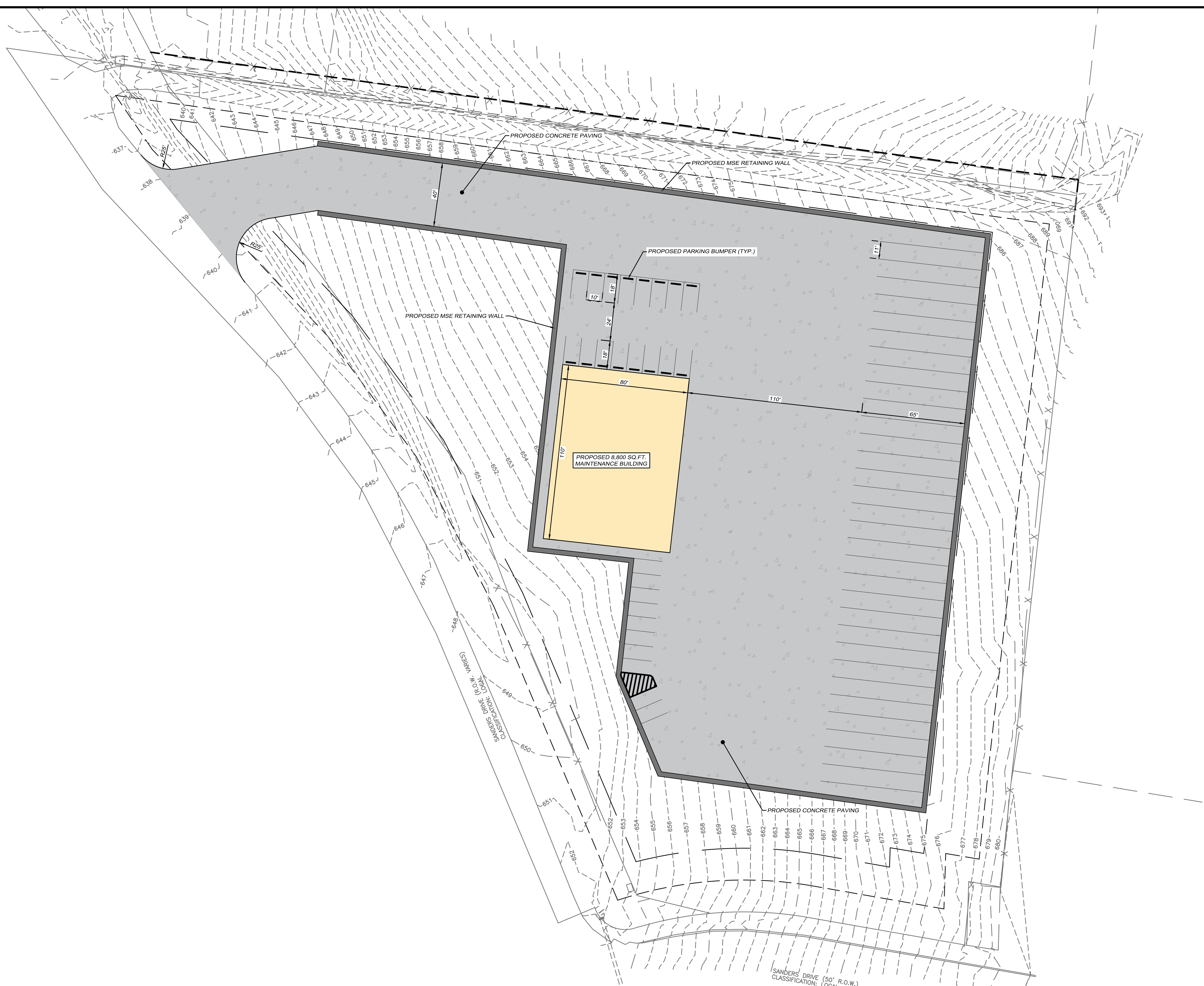
EXISTING CONDITIONS

PROJECT NO. 1574-01	
SEPTEMBER DATE: 2025	DRAWN BY: HLP
	CHECKED BY: RWM
SCALE: 1"=30'	APPROVED BY: RWM
SHEET NO. C1.01	

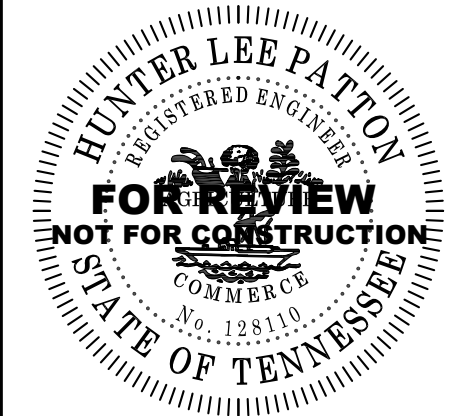


SITE PLAN NOTES:

1. THE OWNER/DEVELOPER OF THIS PROPERTY IS RESPONSIBLE FOR ALL FINANCIAL MATTERS.
2. A REVIEW OF F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4714802270J EFFECTIVE DATE: 05/09/2023 SHOWS NO PART OF THIS PROPERTY TO BE WITHIN THE 100-YEAR FLOODPLAIN, ZONE X.
3. ALL CONSTRUCTION AND USE OF THE PROPERTY TO MEET THE APPLICABLE PERFORMANCE STANDARDS AS SET FORTH IN THE CITY OF LAWRENCEBURG ZONING ORDINANCE.
4. CONTRACTOR SHALL KEEP ALL ADJOINING ROADWAYS AND RIGHT-OF-WAYS CLEAR OF DEBRIS. DISPOSAL OF TRASH OR DEBRIS IN ALL EXCAVATIONS IS PROHIBITED.
5. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND GIVE ALL NECESSARY NOTIFICATIONS PRIOR TO BEGINNING WORK.
6. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSION, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.



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REVISIONS			
DATE	BY	NO.	DESCRIPTION

**MBI BUILDING
 GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE**

SITE PLAN

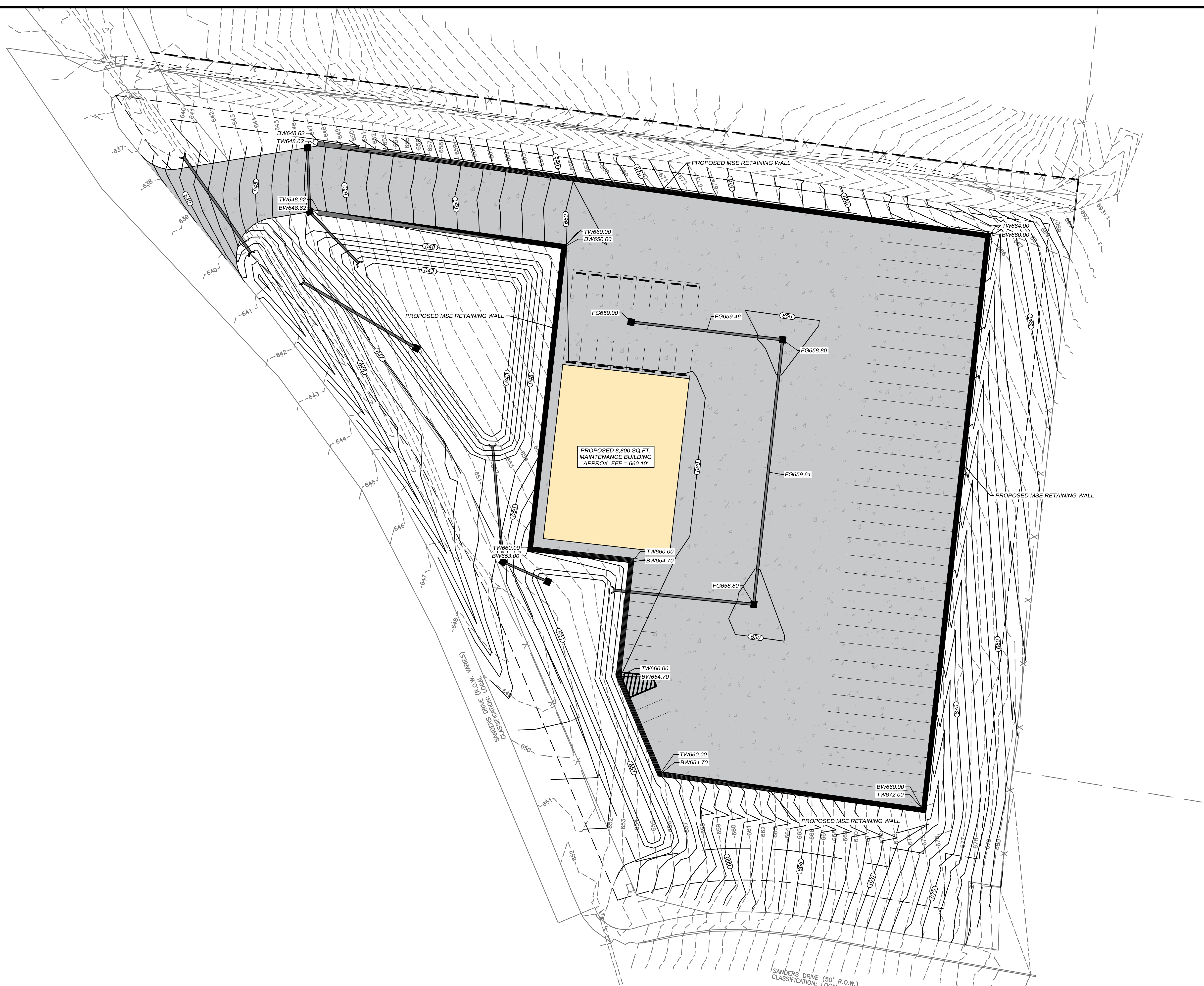
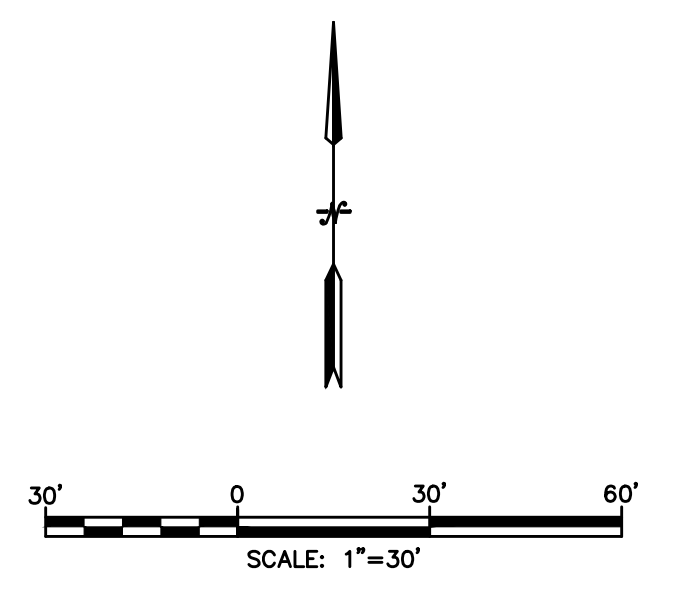
PROJECT NO. 1574-01

SEPTEMBER
 DATE: 2025

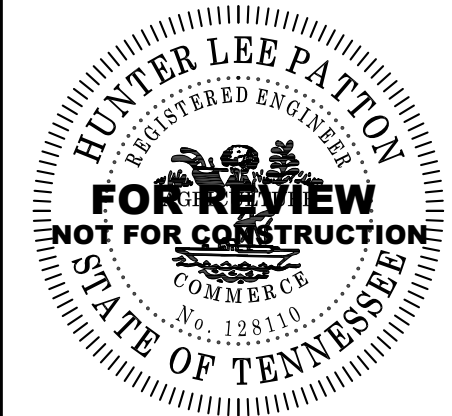
DRAWN BY: HLP
 CHECKED BY: RWM
 APPROVED BY: RWM

SCALE: 1"=30'

SHEET NO. C2.01



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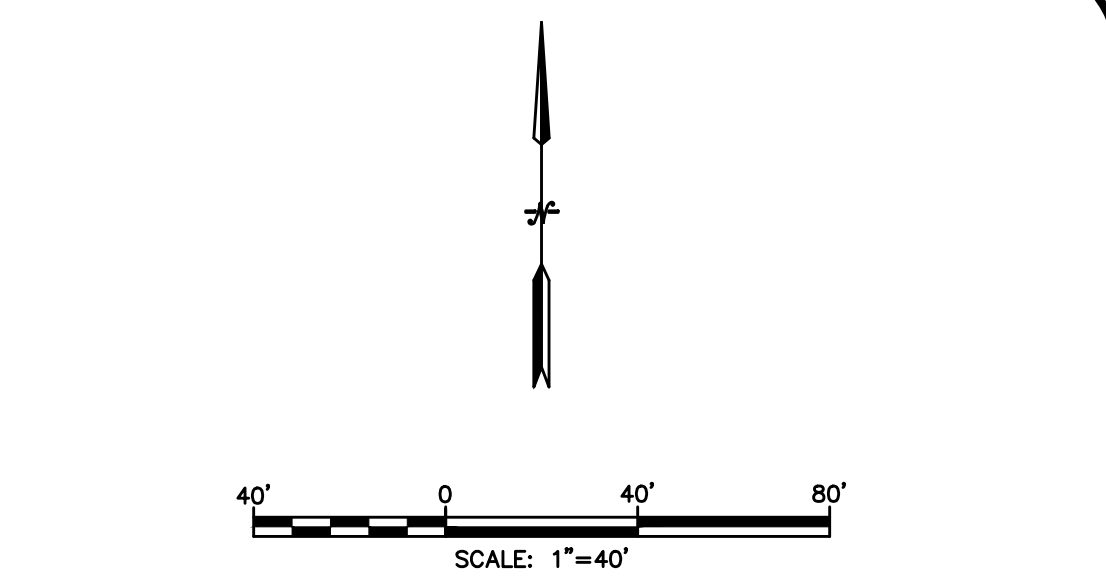
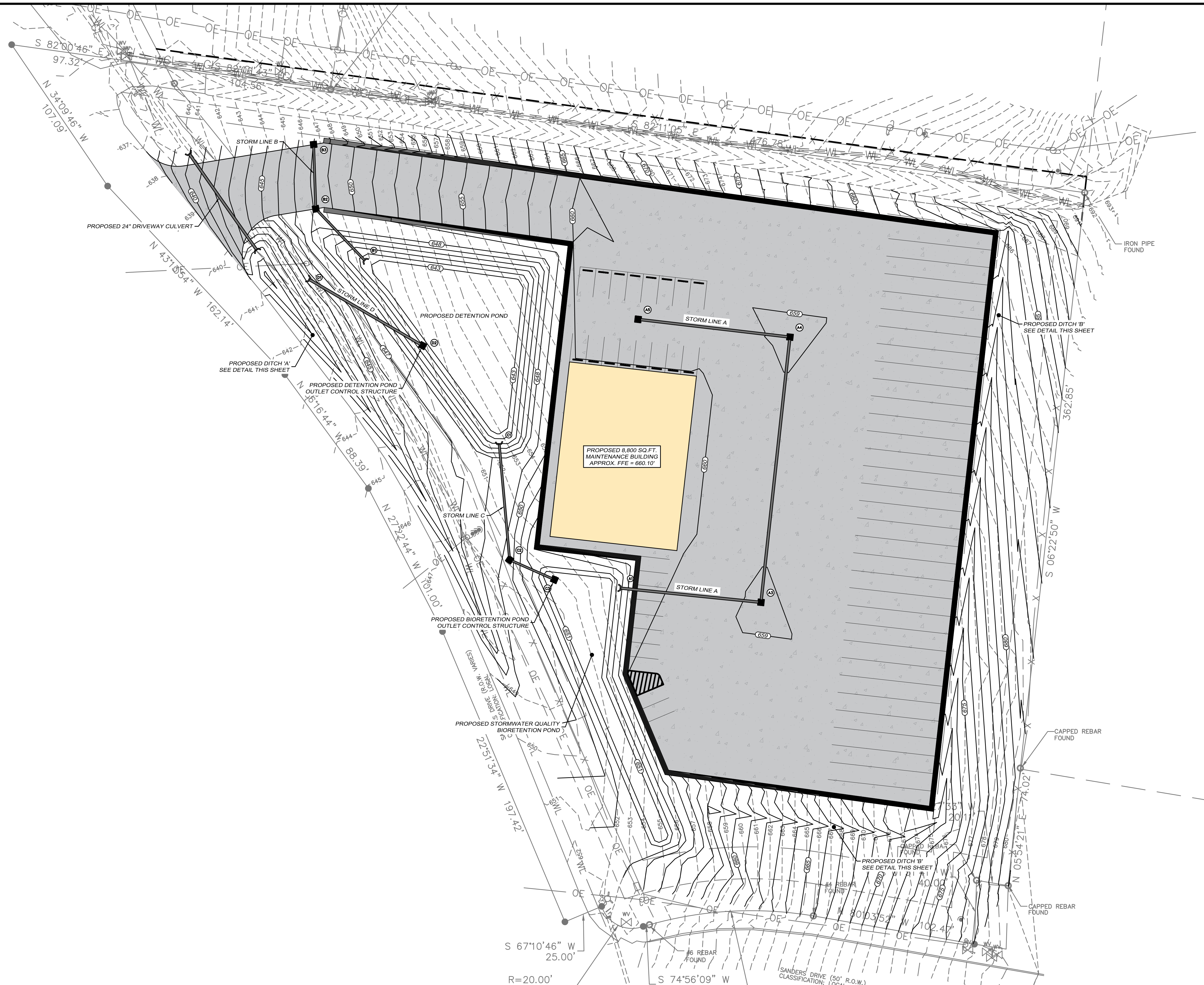


REVISIONS			
DATE	BY	NO.	DESCRIPTION

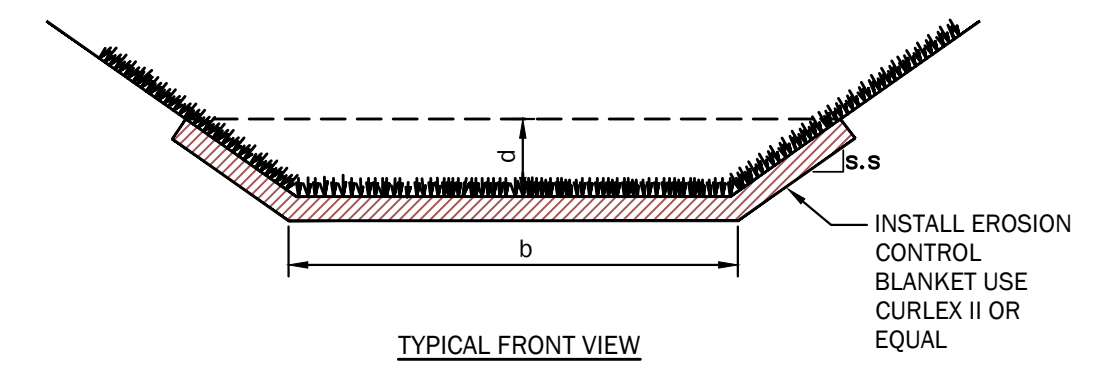
MBI BUILDING
GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

SITE GRADING PLAN

PROJECT NO. 1574-01
 DATE: SEPTEMBER 2025
 SCALE: 1"=30'
 SHEET NO. C3.01
 DRAWN BY: HLP
 CHECKED BY: RWM
 APPROVED BY: RWM



DRAINAGE PLAN NOTES:
 1. CULVERTS UNDER PROPOSED DRIVEWAYS SHALL BE A MINIMUM OF 18".

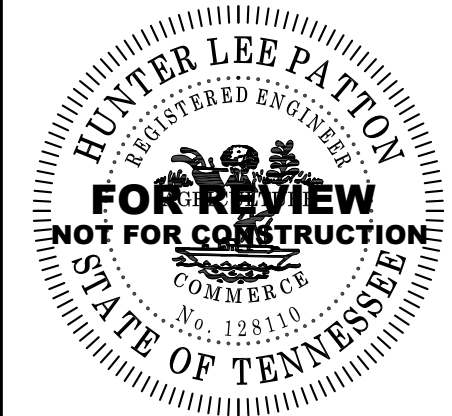


ROADSIDE DITCH DETAIL
 NOT TO SCALE

ID	D, FT (MIN)	B, FT	S.S.	MIN. SLOPE	MAX SLOPE
DITCH A	2	0	3:1	1.20%	3.76%
DITCH B	1	0	3:1	3.14%	10.25%

PROPOSED DITCH SCHEDULE

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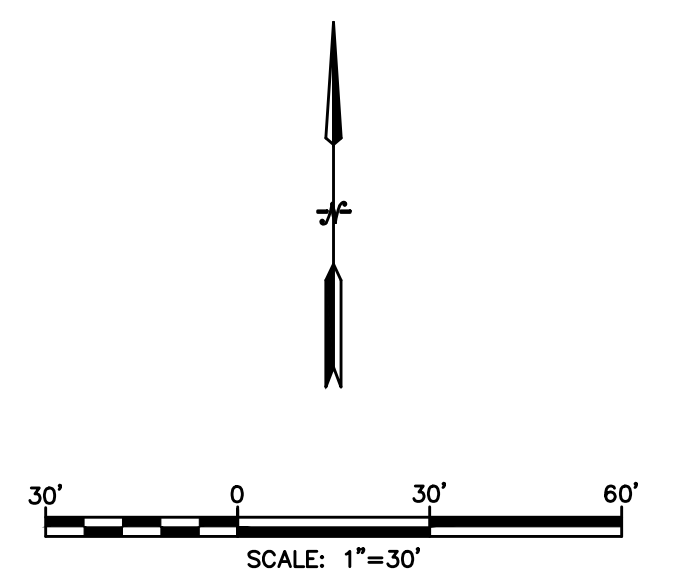
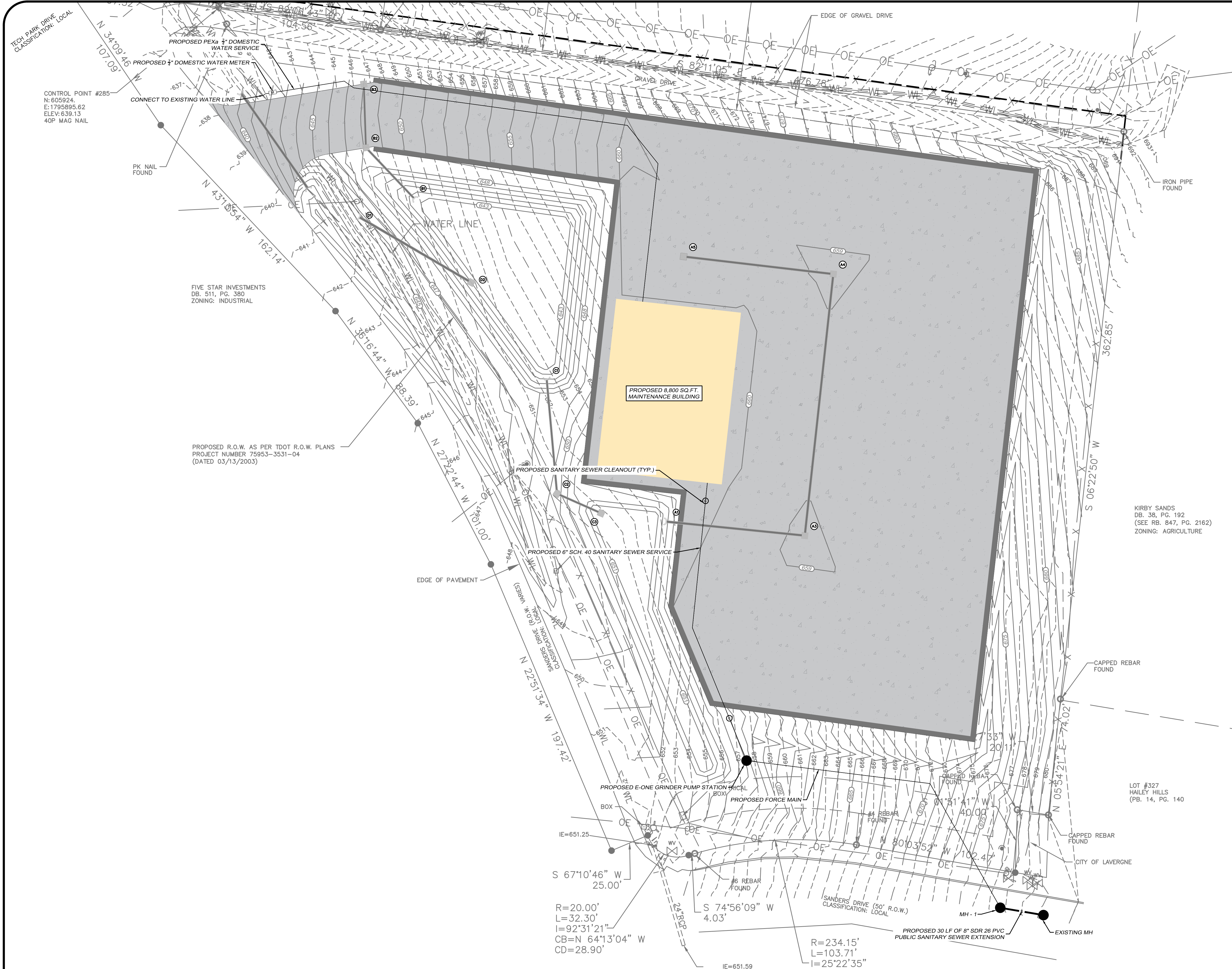
REVISIONS			
DATE	BY	NO.	DESCRIPTION

**MBI BUILDING
 GRAEFEN DEVELOPMENT**
 393 MASON ROAD
 LA VERGNE, TENNESSEE

SITE DRAINAGE PLAN

PROJECT NO. 1574-01
 DATE: SEPTEMBER 2025
 SCALE: 1"=30'
 SHEET NO. C4.01

DRAWN BY: HLP
 CHECKED BY: RWM
 APPROVED BY: RWM



- GENERAL UTILITY NOTES:
1. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES (INCLUDING STORM DRAINAGE PIPES OR STRUCTURES) BEFORE COMMENCEMENT OF CONSTRUCTION.
 2. IN EASEMENTS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
 3. WHERE SEWER LINES PASS OVER OR WITHIN 18" INCHES OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE, FOR 10 LF BEYOND OPEN CUT.
 4. SURPLUS MATERIAL NOT REQUIRED FOR SITE CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR.
 5. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
 6. THE CONTRACTOR SHALL COORDINATE WORK WITH OTHER WORK IN PROGRESS.
 7. FILL MATERIAL REQUIRED, IF ANY, SHALL BE BORROWED AT THE CONTRACTOR'S EXPENSE.
 8. CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.
 9. ALL PIPE UNDER EXISTING AND OR PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE.
 10. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS TO CONSTRUCT UTILITIES.
 11. ANY DAMAGE TO EXISTING ASPHALT SURFACE RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED BY LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
 12. IN THE EVENT OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. IF ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
 13. ALL WATER AND SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF LAWRENCEBURG UTILITY SYSTEMS.
 14. TRAFFIC CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRAFFIC CONTROL DEVICES AND PLANS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
 15. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE BIDDING THIS PROJECT. NO EXTRAS WILL BE ALLOWED DUE TO THE IRREGULAR SURFACE CONDITIONS THAT MAY BE ENCOUNTERED ON THIS SITE.
 16. TIE-INS TO EXISTING WATER LINES (AS SHOWN) AND SEWER LINES SHALL BE MADE BY THE CONTRACTOR.
 17. DEFLECT JOINTS ACCORDING TO MFGRS. RECOMMENDATIONS TO FOLLOW CURVE DATA. IF RECOMMENDED DEFLECTIONS WILL NOT MEET CURVE RADIUS, FURNISH ALL REQUIRED BENDS.

CONTROL POINT #285
 N: 605924
 E: 1795895.62
 ELEV: 639.13
 40P MAG NAIL

FIVE STAR INVESTMENTS
 DB. 511, PG. 380
 ZONING: INDUSTRIAL

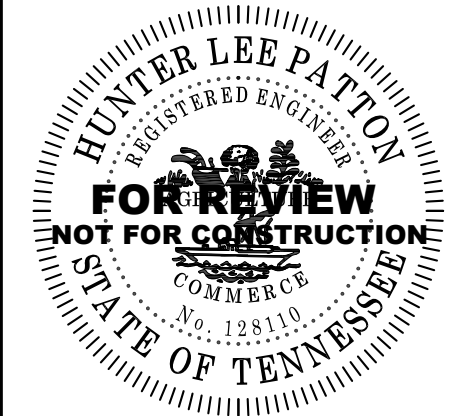
PROPOSED R.O.W. AS PER TDOT R.O.W. PLANS
 PROJECT NUMBER 75953-3531-04
 (DATED 03/13/2003)

KIRBY SANDS
 DB. 38, PG. 192
 (SEE RB. 847, PG. 2162)
 ZONING: AGRICULTURE

LOT #327
 HALEY HILLS
 (PB. 14, PG. 140)

CITY OF LAVERGNE

GRIGGS & MALONEY
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REVISIONS			
DATE	BY	NO.	DESCRIPTION

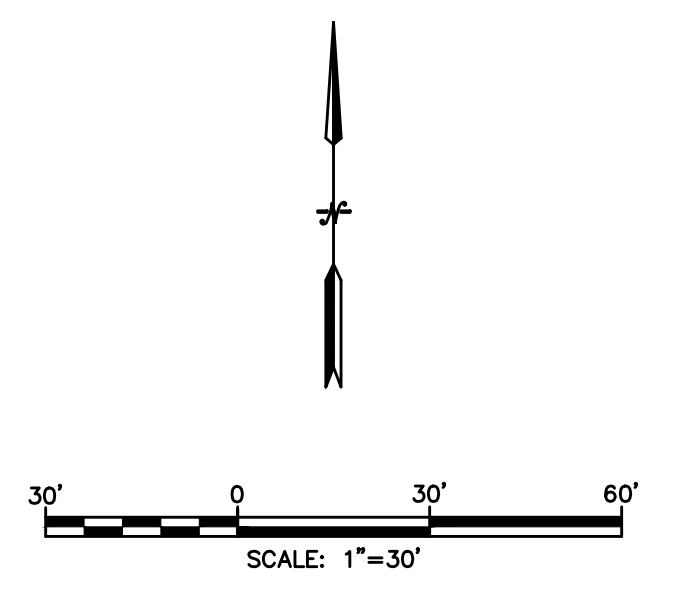
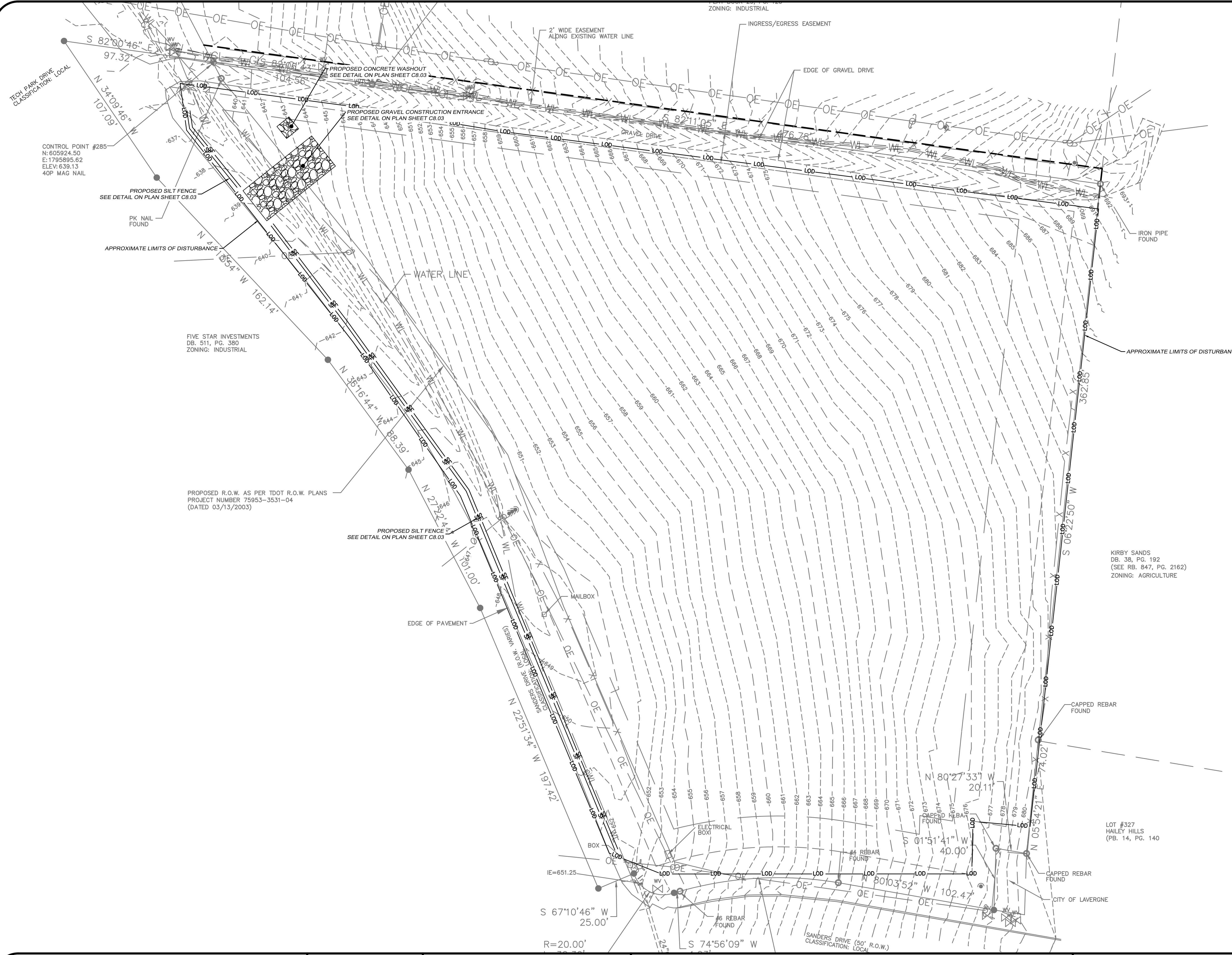
MBI BUILDING
GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

SITE UTILITY PLAN

PROJECT NO. 1574-01

SEPTEMBER DATE: 2025	DRAWN BY: HLP
SCALE: 1"=30'	CHECKED BY: RWM
SHEET NO. C5.01	APPROVED BY: RWM

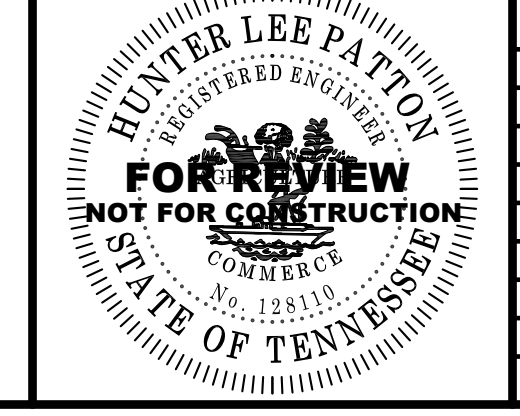
ZONING: INDUSTRIAL



- EROSION PROTECTION AND SEDIMENT CONTROL FEATURES**
- LOD LIMIT OF DISTURBANCE
 - SF SILT FENCE
 - CONSTRUCTION ENTRANCE
 - CONCRETE TRUCK WASHOUT
 - STONE FILTER RING

- EPSC INITIAL PLAN NOTES:
1. THE CONTRACTOR SHALL SUPPLY THE CITY OF LAWRENCEBURG WITH A DESIGNATED POINT OF CONTACT AVAILABLE 24 HOURS PER DAY, 7 DAYS PER WEEK, AND THE APPROPRIATE CONTACT INFORMATION. THE CONTACT MUST HAVE AUTHORITY TO TAKE EMERGENCY RESPONSE MEASURES ON THE PROJECT AT ALL TIMES, INCLUDING AFTER HOURS, WEEKENDS, AND HOLIDAYS.
 2. ALL EARTH MOVING CONTRACTORS MUST SIGN A NOTICE OF INTENT WITH THE STATE OF TENNESSEE.
 3. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AND AT LEAST 72 HOURS APART. INSPECTIONS AND RAIN DOCUMENTATION ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP ON SITE. IN ADDITION, A RAIN GAGE IS REQUIRED TO BE ON SITE.
 4. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT THE OFF-SITE MIGRATION OR DEPOSIT OF SEDIMENT OFF THE PROJECT LIMITS (E.G. R.O.W., EASEMENTS, ETC.) INTO WATERS OF THE STATE/US, OR ONTO ROADWAYS USED BY THE PUBLIC. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED TO A LEVEL SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN A STREET MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS). ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED WITH THE ADJOINING PROPERTY OWNER BEFORE REMOVAL OF SEDIMENT. SEDIMENT THAT MIGRATES INTO WATERS OF THE STATE/US SHALL NOT BE REMOVED WITHOUT GUIDANCE AND APPROVAL FROM TDEC.
 5. OFFSITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION EXIT (A POINT OF ENTRANCE/EXIT TO THE CONSTRUCTION PROJECT) SHALL BE PROVIDED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES.
 6. PRE-CONSTRUCTION VEGETATIVE COVER WILL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 2 WEEKS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA WILL BE SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED. STABILIZATION MEASURES WILL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT STABILIZATION WILL BE COMPLETED WITHIN 2 WEEKS AFTER ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IN THAT AREA. PERMANENT STABILIZATION WILL REPLACE TEMPORARY MEASURES AS SOON AS PRACTICABLE. STEEP SLOPES SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.
 7. ALL NEWLY CUT OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
 8. TEMPORARY EPSC MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT MUST BE REINSTALLED AT THE END OF THE WORKDAY OR BEFORE A PRECIPITATION EVENT.
 9. ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS ESTABLISHED 70% PERMANENT VEGETATION COVERAGE OR EQUIVALENT MEASURES SUCH AS RIP RAP OR GEOTEXTILES IN AREAS NOT COVERED WITH IMPERVIOUS AREA.
 10. THE CONTRACTOR WILL POST ALL APPLICABLE SIGNS, INCLUDING THE NOTICE OF INTENT (NOI), LAND DISTURBANCE PERMIT, AND HAVE THIS SWPPP WITH EROSION AND SEDIMENT CONTROL PLANS AT THE SITE FOR CONTINUAL USE AND MODIFICATION.
 11. SURVEY AND STAKE THE LOCATIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND APPURTENANCES THERETO.
 12. EROSION PREVENTION AND SEDIMENT CONTROLS (EPSC) WILL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS WITHIN THE PROPOSED PROJECT AREA.

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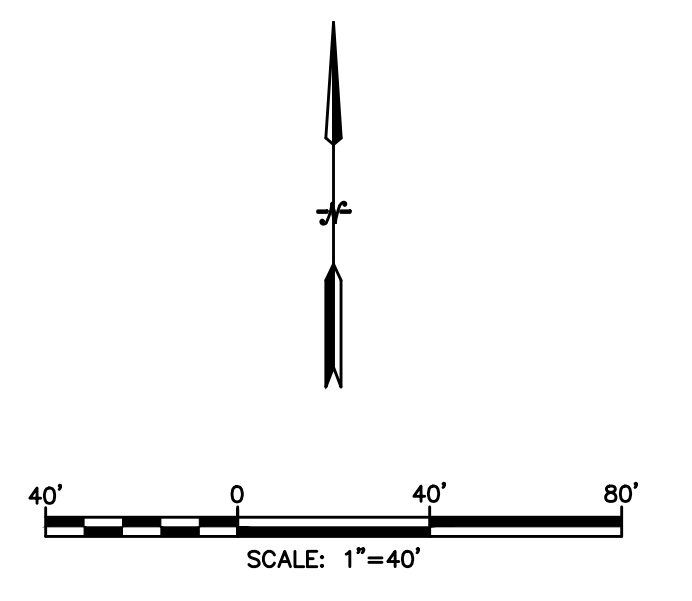
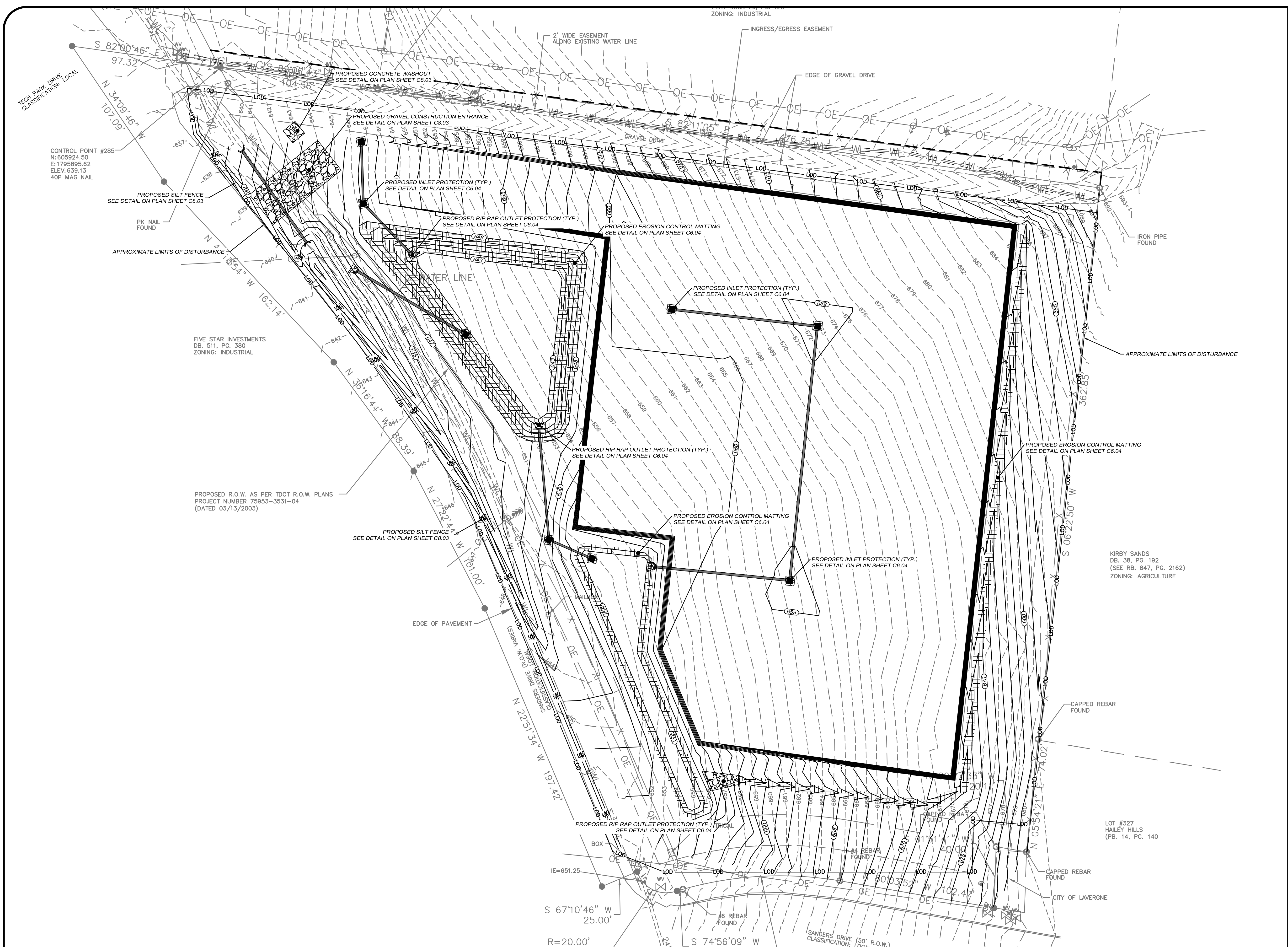


REVISIONS			
DATE	BY	NO.	DESCRIPTION

MBI BUILDING GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

INITIAL EPSC PLAN

PROJECT NO. 1574-01	
SEPTEMBER DATE: 2025	DRAWN BY: HLP
SCALE: 1"=30'	CHECKED BY: RWM
SHEET NO. C6.01	APPROVED BY: RWM



- EROSION PREVENTION AND SEDIMENT CONTROL FEATURES**
- LOD — LIMIT OF DISTURBANCE
 - SF — SILT FENCE
 - ▨ CONSTRUCTION ENTRANCE
 - CONCRETE TRUCK WASHOUT
 - STONE FILTER RING

- EPSC INITIAL PLAN NOTES:**
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 - THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT THE OFF-SITE MIGRATION OR DEPOSIT OF SEDIMENT FROM THE PROJECT LIMITS (E.G. R.O.W., EASEMENTS, ETC.) INTO WATERS OF THE STATE/US, OR ONTO ROADWAYS USED BY THE PUBLIC. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED TO A LEVEL SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G. FLUCTUATE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN A STREET MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS). ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED WITH THE ADJOINING PROPERTY OWNER BEFORE REMOVAL OF SEDIMENT. SEDIMENT THAT MIGRATES INTO WATERS OF THE STATE/US SHALL NOT BE REMOVED WITHOUT GUIDANCE AND APPROVAL FROM TDEC.
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 - TEMPORARY EPSC MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT MUST BE REINSTALLED AT THE END OF THE WORKDAY OR BEFORE A PRECIPITATION EVENT.
 - ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS ESTABLISHED 70% PERMANENT VEGETATION COVERAGE OR EQUIVALENT MEASURES SUCH AS RIP RAP OR GEOTEXTILES IN AREAS NOT COVERED WITH IMPERVIOUS AREA.
 - THE CONTRACTOR WILL POST ALL APPLICABLE SIGNS, INCLUDING THE NOTICE OF INTENT (NOI), LAND DISTURBANCE PERMIT, AND HAVE THIS SWPPP WITH EROSION AND SEDIMENT CONTROL PLANS AT THE SITE FOR CONTINUAL USE AND MODIFICATION.
 - SURVEY AND STAKE THE LOCATIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND APPURTENANCES THERETO.
 - EROSION PREVENTION AND SEDIMENT CONTROLS (EPSC) WILL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS WITHIN THE PROPOSED PROJECT AREA.

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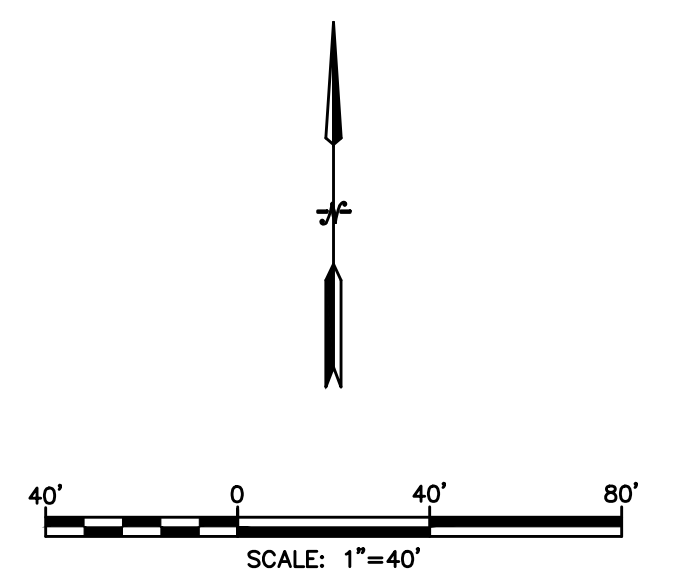
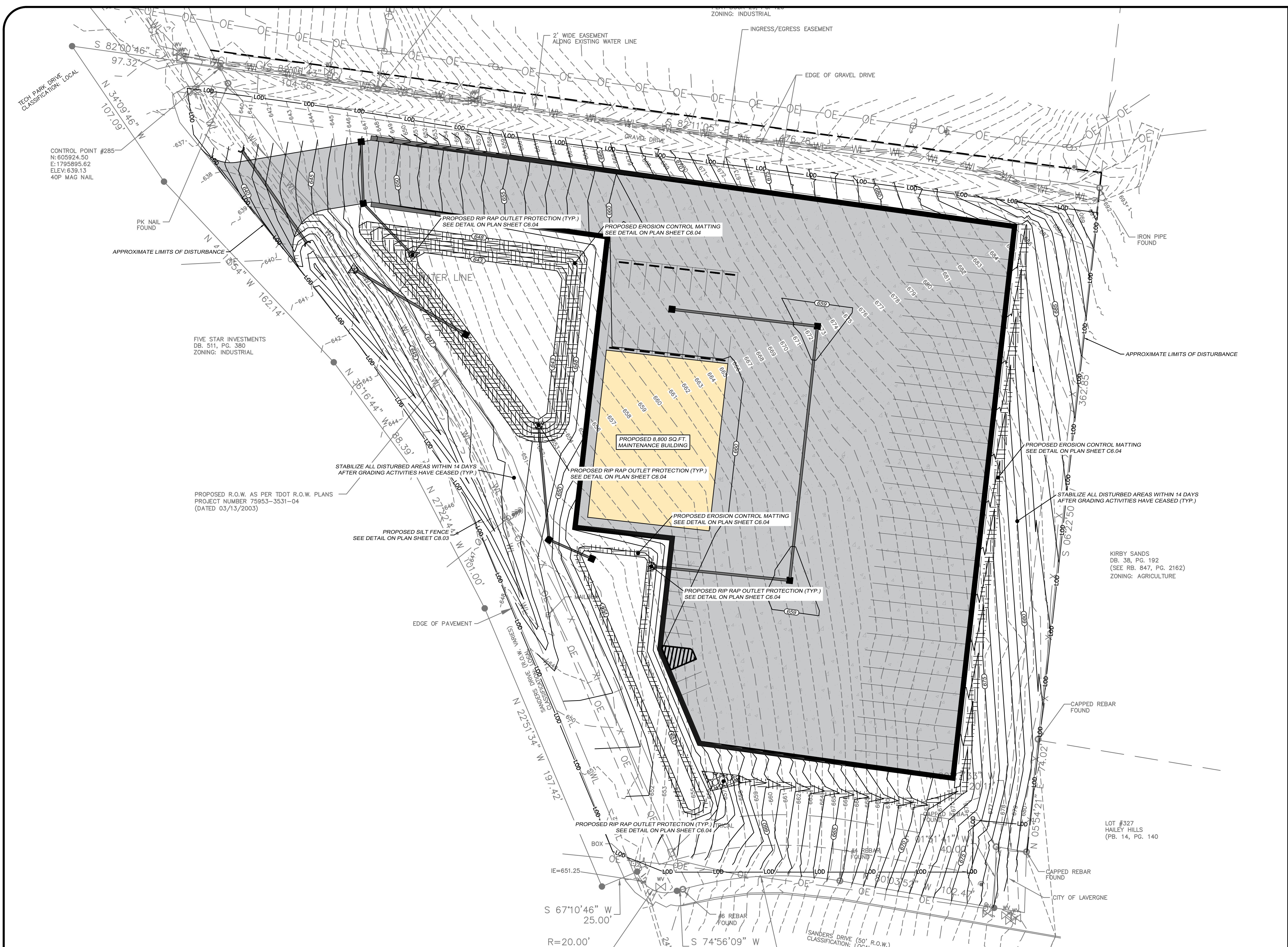


REVISIONS			
DATE	BY	NO.	DESCRIPTION

MBI BUILDING GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

INTERMEDIATE EPSC PLAN

PROJECT NO. 1574-01	
SEPTEMBER DATE: 2025	DRAWN BY: HLP
SCALE: 1"=30'	CHECKED BY: RWM
SHEET NO. C6.02	APPROVED BY: RWM



EROSION PROTECTION AND SEDIMENT CONTROL FEATURES

- LOD — LIMIT OF DISTURBANCE
- SF — SILT FENCE
- ▨ CONSTRUCTION ENTRANCE
- CONCRETE TRUCK WASHOUT
- STONE FILTER RING

- EPSC INITIAL PLAN NOTES:
- THE CONTRACTOR SHALL SUPPLY THE CITY OF LAWRENCEBURG WITH A DESIGNATED POINT OF CONTACT AVAILABLE 24 HOURS PER DAY, 7 DAYS PER WEEK, AND THE APPROPRIATE CONTACT INFORMATION. THE CONTACT MUST HAVE AUTHORITY TO TAKE EMERGENCY RESPONSE MEASURES ON THE PROJECT AT ALL TIMES, INCLUDING AFTER HOURS, WEEKENDS, AND HOLIDAYS.
 - ALL EARTH MOVING CONTRACTORS MUST SIGN A NOTICE OF INTENT WITH THE STATE OF TENNESSEE.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AND AT LEAST 72 HOURS APART. INSPECTIONS AND RAIN DOCUMENTATION ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP ON SITE. IN ADDITION, A RAIN GAGE IS REQUIRED TO BE ON SITE.
 - THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN A PROACTIVE METHOD TO PREVENT THE OFF-SITE MIGRATION OR DEPOSIT OF SEDIMENT OFF THE PROJECT LIMITS (E.G. R.O.W., EASEMENTS, ETC.), INTO WATERS OF THE STATE/US, OR ONTO ROADWAYS USED BY THE PUBLIC. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT THAT HAVE NOT REACHED A STREAM MUST BE REMOVED TO A LEVEL SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN A STREET MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS). ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED WITH THE ADJOINING PROPERTY OWNER BEFORE REMOVAL OF SEDIMENT. SEDIMENT THAT MIGRATES INTO WATERS OF THE STATE/US SHALL NOT BE REMOVED WITHOUT GUIDANCE AND APPROVAL FROM TDEC.
 - OFFSITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION EXIT (A POINT OF ENTRANCE/EXIT TO THE CONSTRUCTION PROJECT) SHALL BE PROVIDED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES.
 - PRE-CONSTRUCTION VEGETATIVE COVER WILL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 2 WEEKS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA WILL BE SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED. STABILIZATION MEASURES WILL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT STABILIZATION WILL BE COMPLETED WITHIN 2 WEEKS AFTER ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IN THAT AREA. PERMANENT STABILIZATION WILL REPLACE TEMPORARY MEASURES AS SOON AS PRACTICABLE. STEEP SLOPES SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.
 - ALL NEWLY CUT OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, MULCHED, FERTILIZED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
 - TEMPORARY EPSC MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT MUST BE REINSTALLED AT THE END OF THE WORKDAY OR BEFORE A PRECIPITATION EVENT.
 - ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS ESTABLISHED 70% PERMANENT VEGETATION COVERAGE OR EQUIVALENT MEASURES SUCH AS RIP RAP OR GEOTEXTILES IN AREAS NOT COVERED WITH IMPERVIOUS AREA.
 - THE CONTRACTOR WILL POST ALL APPLICABLE SIGNS, INCLUDING THE NOTICE OF INTENT (NOI), LAND DISTURBANCE PERMIT, AND HAVE THIS SWPPP WITH EROSION AND SEDIMENT CONTROL PLANS AT THE SITE FOR CONTINUAL USE AND MODIFICATION.
 - SURVEY AND STAKE THE LOCATIONS OF ALL EROSION AND SEDIMENT CONTROL MEASURES AND APPURTENANCES THERETO.
 - EROSION PREVENTION AND SEDIMENT CONTROLS (EPSC) WILL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS WITHIN THE PROPOSED PROJECT AREA.

GRIGGS & MALONEY INCORPORATED
 Engineering & Environmental Consulting
 P.O. BOX 2968, MURFREESBORO, TN 37133-2968
 (615) 895-8221 * FAX (615) 895-0632

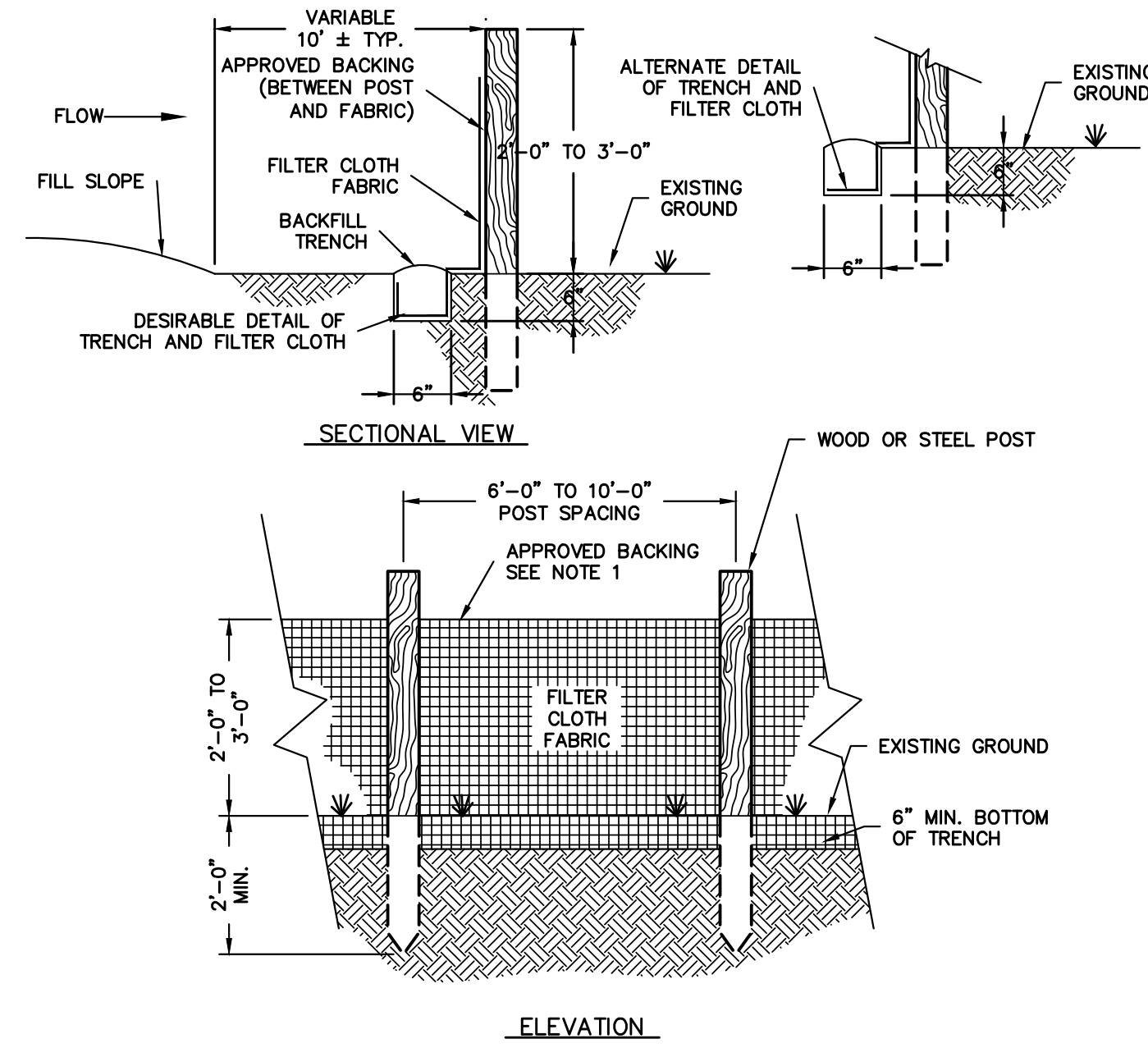


REVISIONS			
DATE	BY	NO.	DESCRIPTION

MBI BUILDING GRAEFEN DEVELOPMENT
 393 MASON ROAD
 LA VERGNE, TENNESSEE

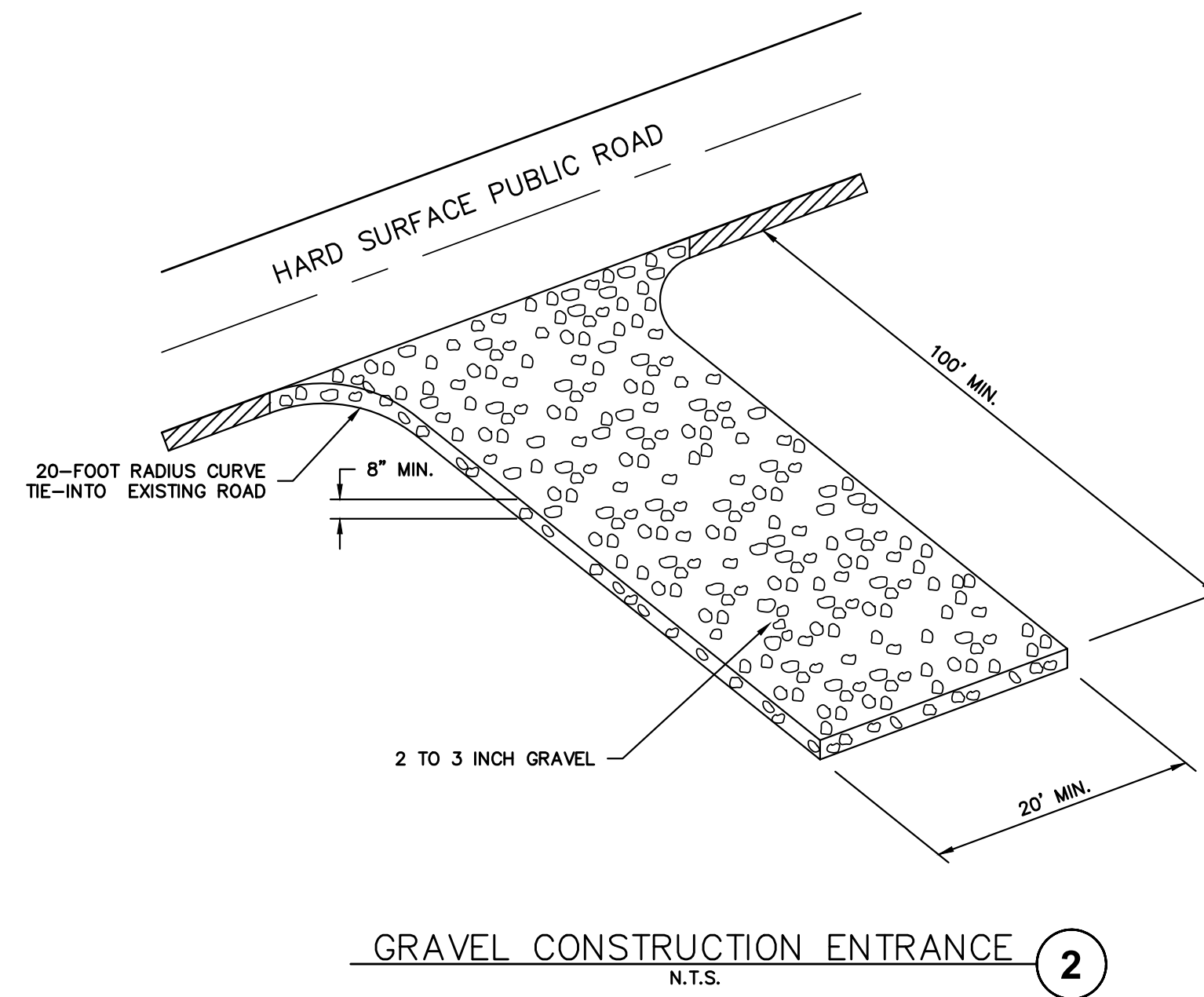
FINAL EPSC PLAN

PROJECT NO. 1574-01	
SEPTEMBER DATE: 2025	DRAWN BY: HLP
SCALE: 1"=30'	CHECKED BY: RWM
SHEET NO. C6.03	APPROVED BY: RWM

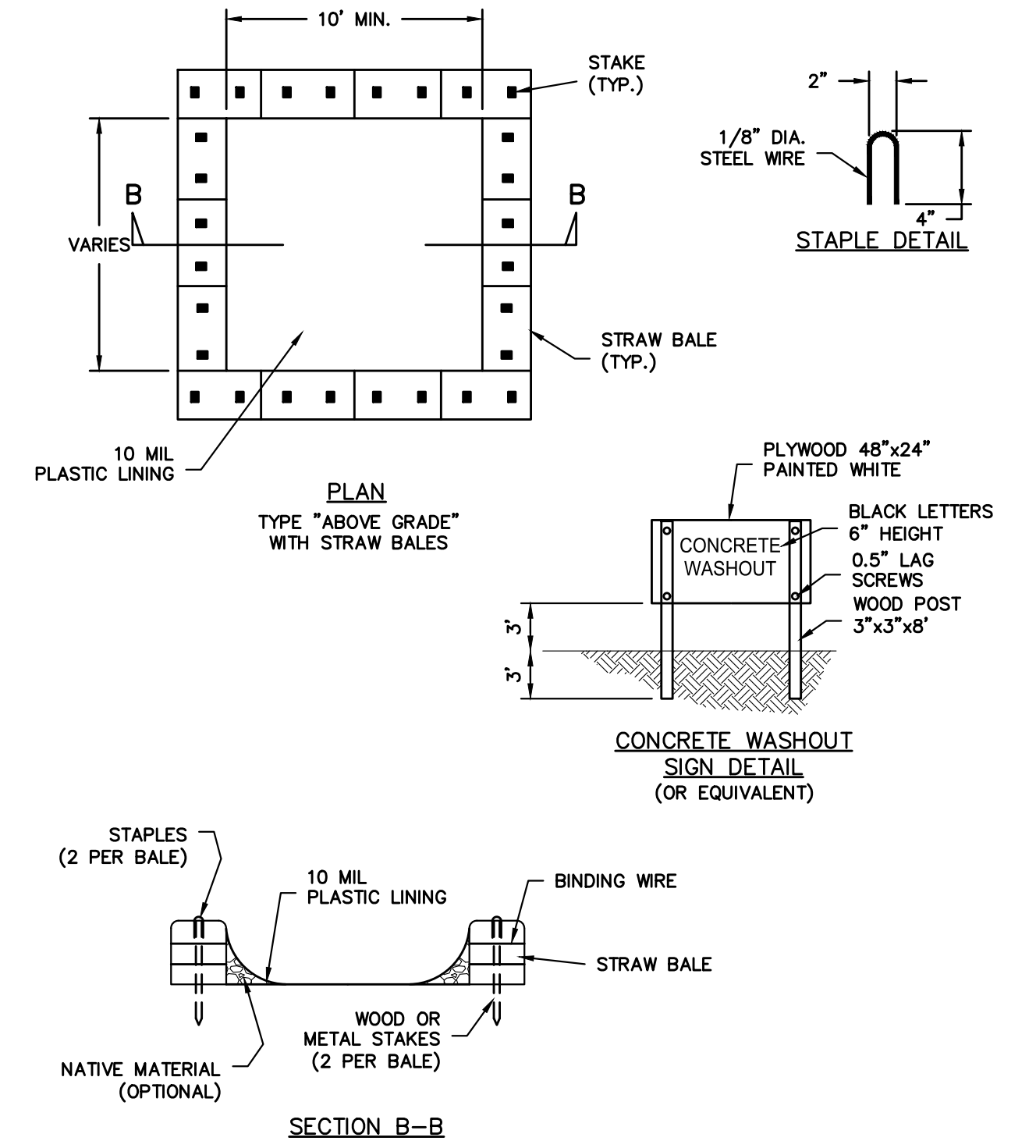


- NOTES:
1. FILTER CLOTH SHALL HAVE APPROVED BACKING OR A BUILT-IN REINFORCED STRUCTURE, AS RECOMMENDED BY THE MANUFACTURER TO SUPPORT THE FILTER CLOTH.
 2. FILTER CLOTH SHALL MEET THE REQUIREMENTS OF SECTION 209 OF T.D.O.T. STANDARD SPECIFICATIONS
 3. A PREASSEMBLED SILT FENCE MEETING THE REQUIREMENTS OF THIS DRAWING IS ACCEPTABLE IN LIEU OF A FIELD CONSTRUCTED SILT FENCE.

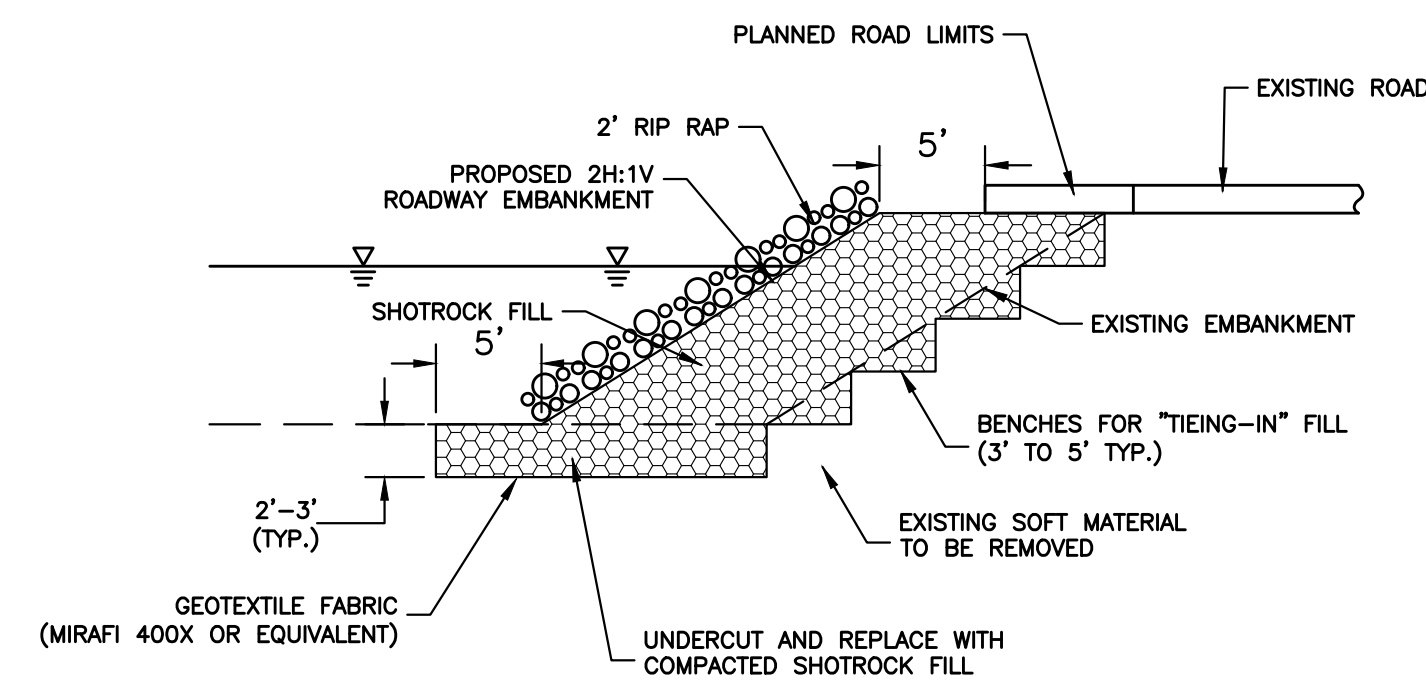
SILT FENCE CONSTRUCTION ①
N.T.S.



GRAVEL CONSTRUCTION ENTRANCE ②
N.T.S.

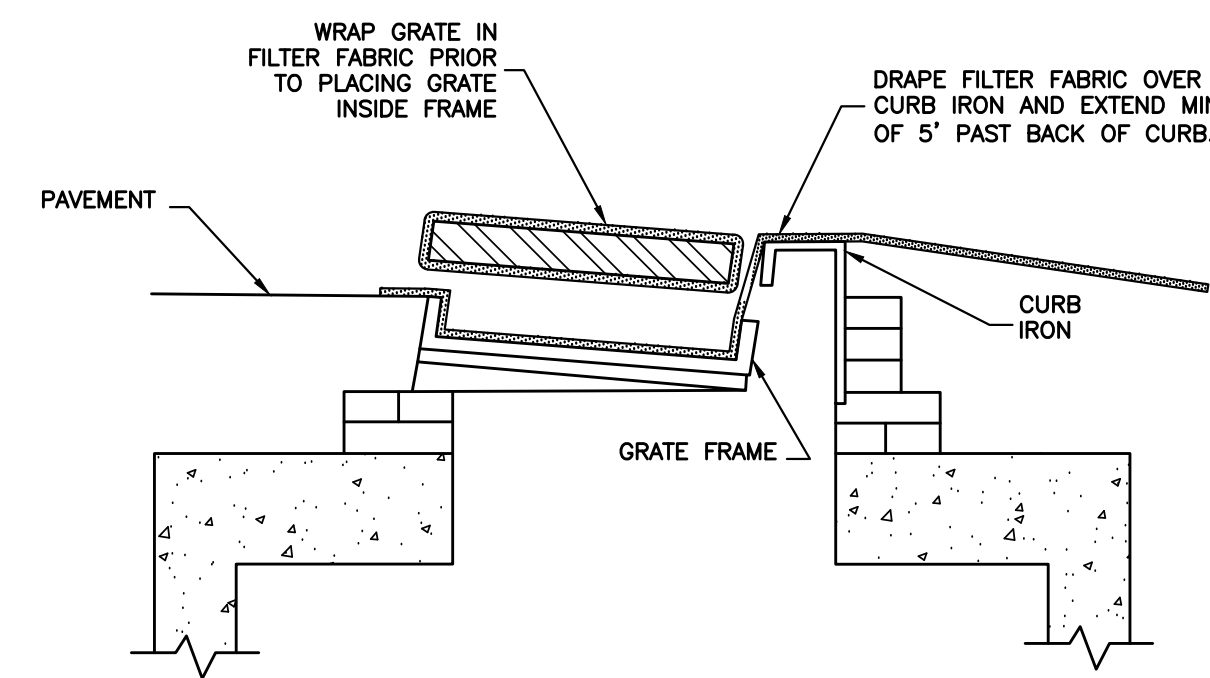


CONCRETE TRUCK WASHOUT FACILITY ③
N.T.S.



- NOTES:
1. DETAIL TO BE USED ON LEFT SIDE FROM STA. 26+50 TO STA. 32+00.
 2. RIP RAP PLACED TO A LEVEL OF TWO FEET ABOVE NORMAL POOL ELEVATION.

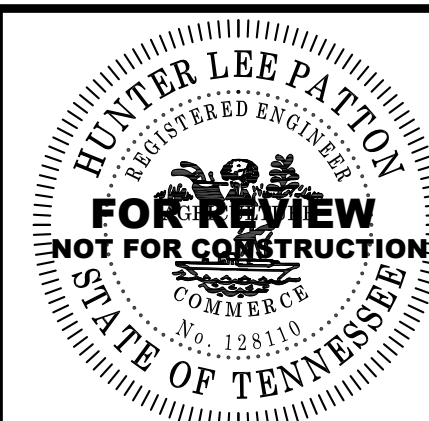
SLOPE STABILIZATION DETAIL ④
N.T.S.



CURB INLET PROTECTION ⑤
N.T.S.

GRIGGS & MALONEY
INCORPORATED
Engineering & Environmental Consulting

P.O. BOX 2968, MURFREESBORO, TN 37133-2968
(615) 895-8221 * FAX (615) 895-0632



REVISIONS			
DATE	BY	NO.	DESCRIPTION

MBI BUILDING
GRAEFEN DEVELOPMENT
393 MASON ROAD
LA VERGNE, TENNESSEE

EPSC DETAILS

PROJECT NO. 1574-01	
SEPTEMBER DATE: 2025	DRAWN BY: HLP
SCALE: 1"=30'	CHECKED BY: RWM
	APPROVED BY: RWM
SHEET NO. C6.04	

CRI INDUSTRIAL DEVELOPMENT
DB. 590, PG. 616
PLAT BOOK 29, PG. 120

Zoned: I-2

393 Mason Road

LANDSCAPE PLAN

SITE DATA
SITE AREA: 4.99 ACRES
SITE ZONING: I-2 (HEAVY INDUSTRIAL)

LANDSCAPE REQUIREMENTS (AS PER ARTICLE 3.130 SECTION C)

	REQUIRED	PROVIDED
CANOPY TREES		
4.99 ACRES x 3 TREES / ACRE	15 TREES	15 TREES
UNDERSTORY TREES		
4.99 ACRES x 3 TREES / ACRE	15 TREES	15 TREES
SHRUBS		
4.99 ACRES x 15 SHRUBS / ACRE	75 SHRUBS	75 SHRUBS
EASTERN PERIMETER		
476.87 LF		
TRANSITIONAL SCREENING 3		
1 EVERGREEN TREE AT LEAST 40' IN HEIGHT / 10 LF		
1 MEDIUM EVERGREEN SHRUB AT LEAST 20' IN HEIGHT / 5 LF		
1 MEDIUM EVERGREEN SHRUB AT LEAST 12' IN HEIGHT / 15 LF		
1 DECIDUOUS TREE AT LEAST 50' HEIGHT / 30 LF		

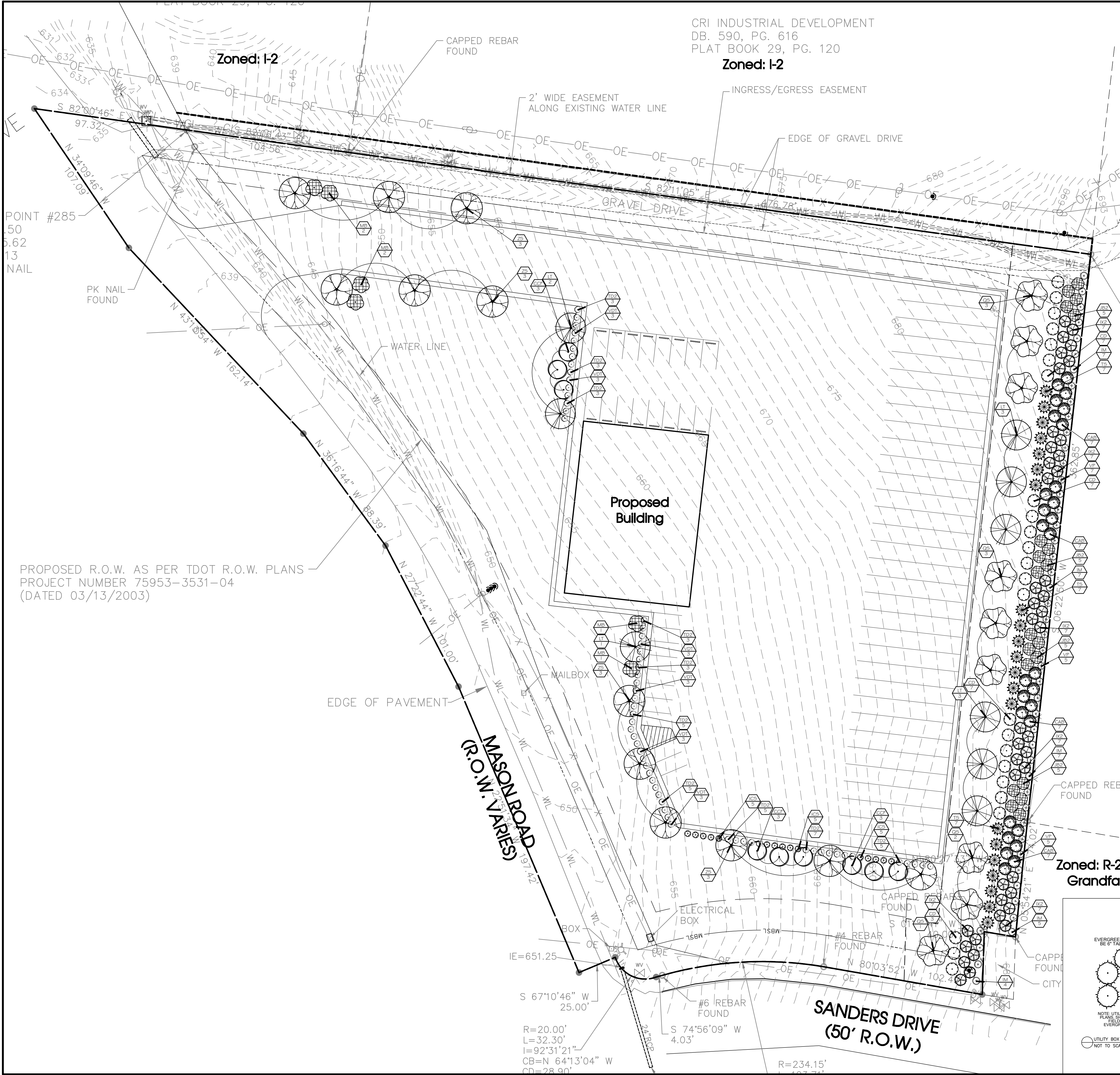
PLAN NOTES:

- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL NEW PLANT MATERIAL AND TURF AREAS SHOULD BE IRRIGATED.
- ALL SHRUBS TO BE 3' BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
- ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

PLANTING SCHEDULE NOTES

- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF LAVERGNE PLANNING DEPARTMENT 615-213-2624 PRIOR TO INSTALLATION.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.

SANDS
DB. 38, PG. 192
(SEE RB. 847, PG. 2162)
Zoned: Agriculture



PROPOSED R.O.W. AS PER TDOT R.O.W. PLANS
PROJECT NUMBER 75953-3531-04
(DATED 03/13/2003)

EVERGREEN PLANT MATERIAL SHALL BE 6" TALLER THAN UTILITY BOX

NOTE: UTILITY BOXES NOT SHOWN ON PLANS SHALL BE IDENTIFIED IN THE FIELD AND POWERED WITH EVERGREEN PLANTS AS SHOWN ABOVE.

UTILITY BOX SCREENING NOT TO SCALE

Know what's below.
Call before you dig.

SCALE: 1" = 30'

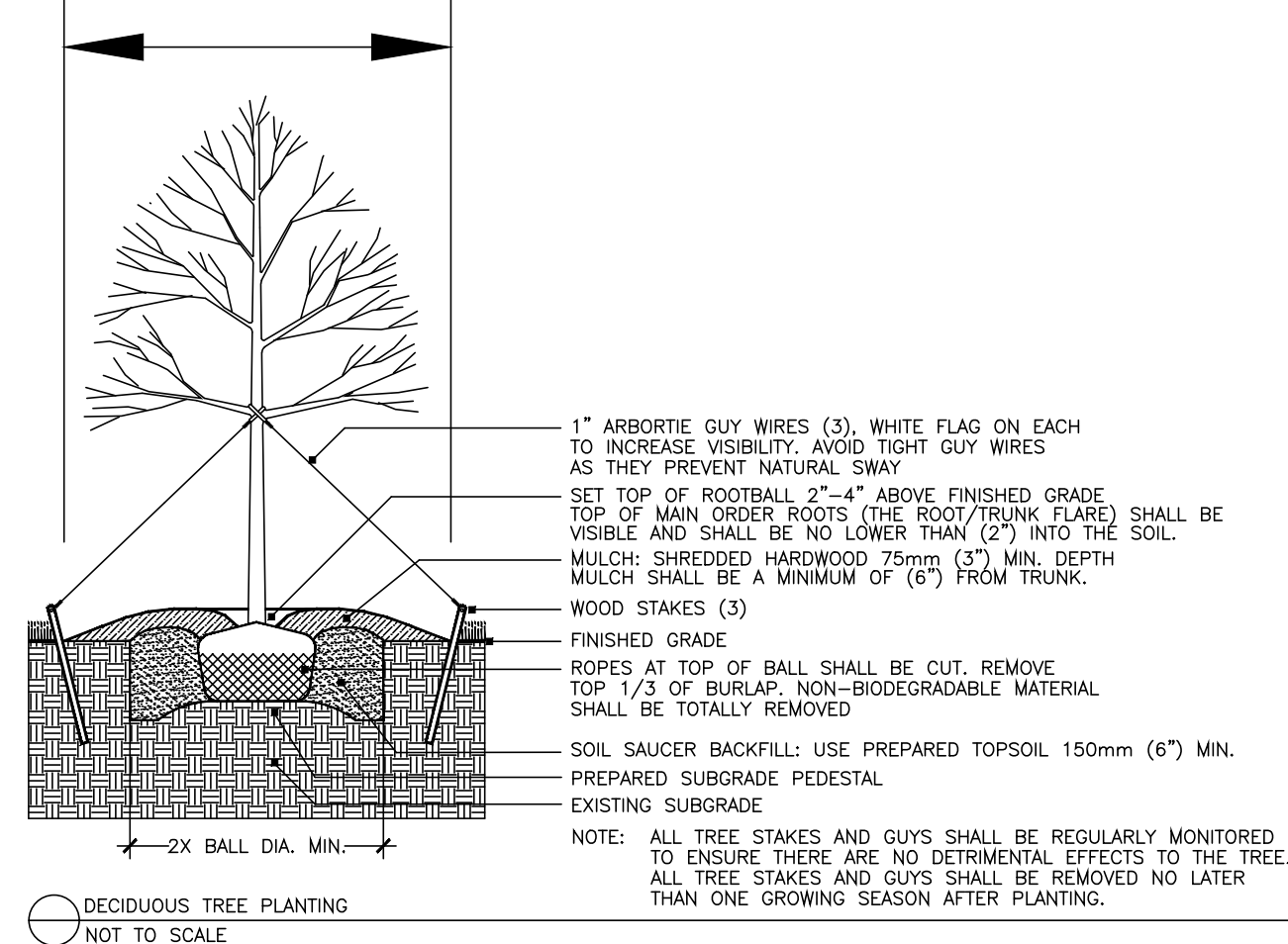
SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
SEC, Inc.
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 WWW.SEC-CIVIL.COM FAX: (615) 895-2567
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REVIEW SET
 (NOT INTENDED FOR CONSTRUCTION)
 BRIAN P. GROVER
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 TENNESSEE NO. 1251

393 Mason Road
 LaVergne, Tennessee

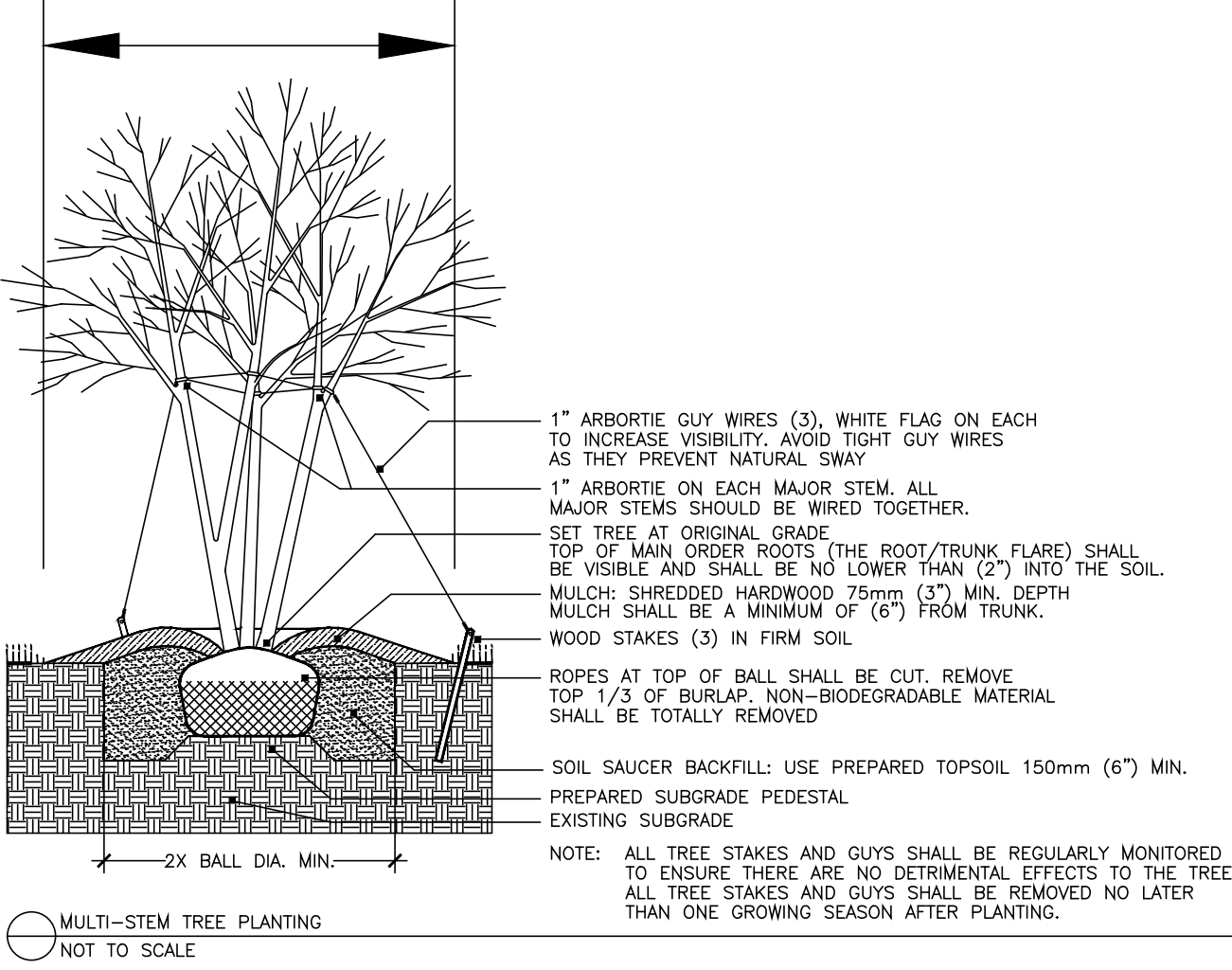
Landscape Plan
 L1.0

Min. 5' Mulch Ring



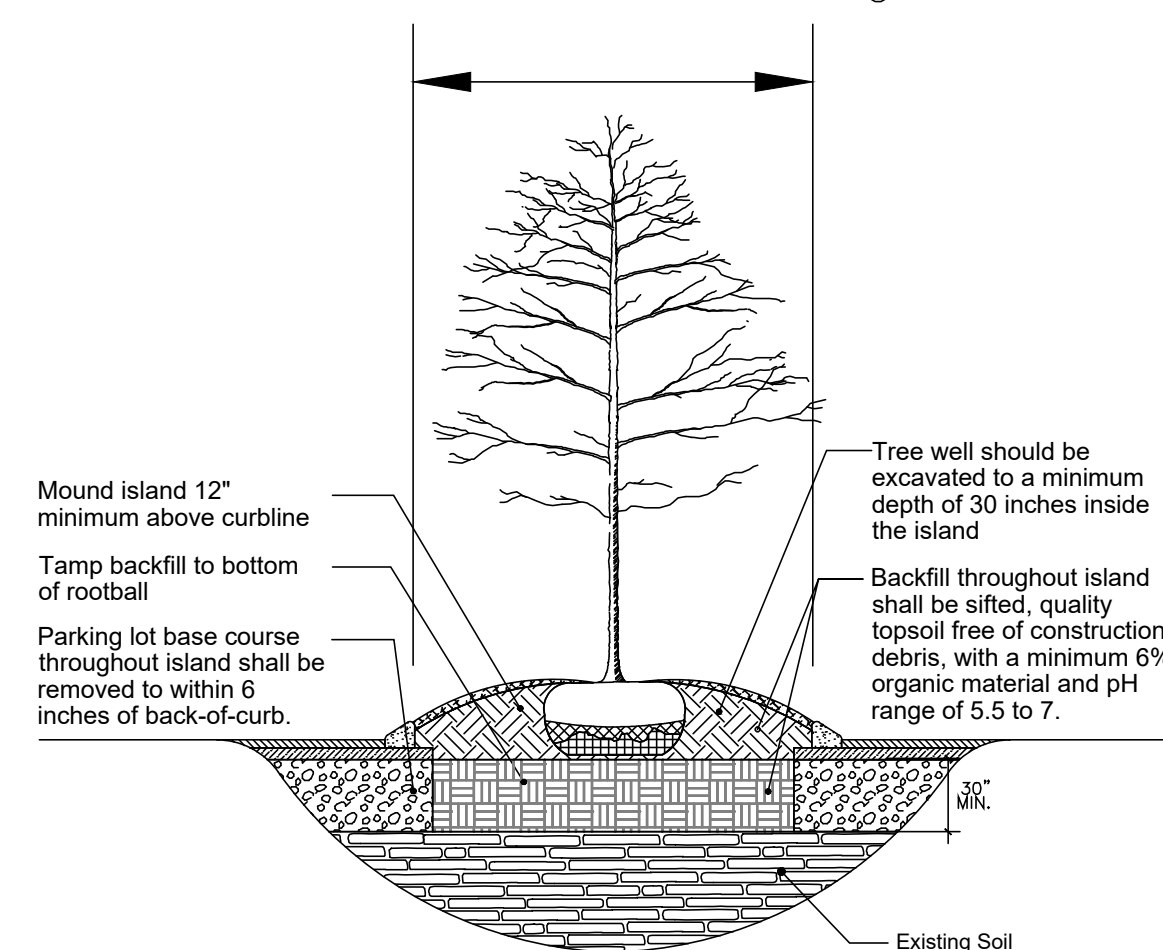
DECIDUOUS TREE PLANTING
NOT TO SCALE

Min. 5' Mulch Ring

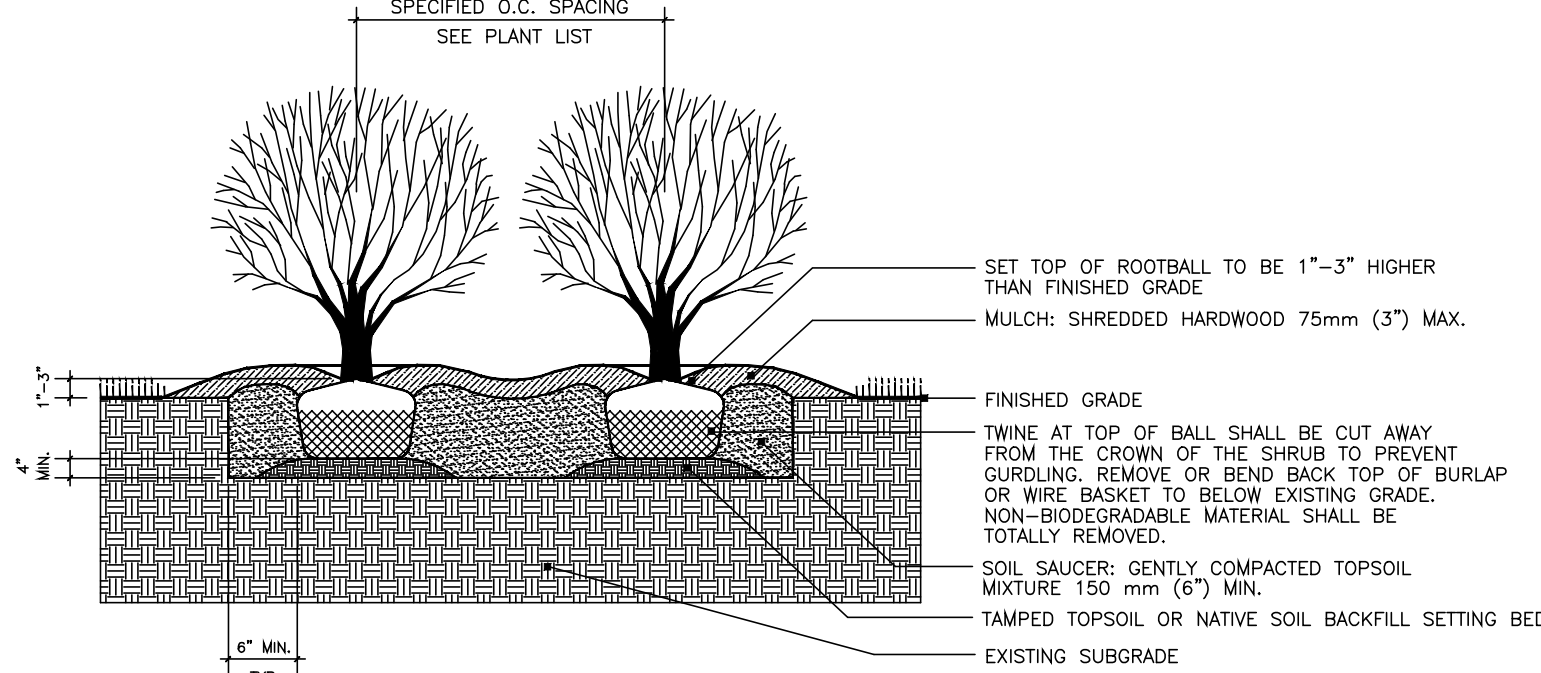


MULTI-STEM TREE PLANTING
NOT TO SCALE

Min. 5' Mulch Ring



Tree Planting Detail
For Parking Lot Island or
Median



SHRUB PLANTING - BALL AND BURLAP - MULTIPLE
NOT TO SCALE

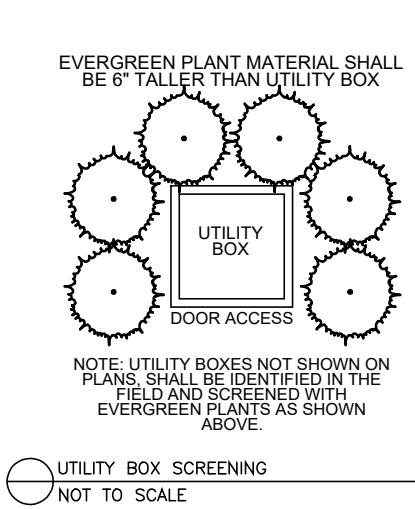
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
DECIDUOUS TREES									
LT	9		LIRIODENDRON TULIPIFERA / TULIP TREE	B 4 B	2.5\"CAL	14' - 16'		A5 SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED*
Q5	9		QUERCUS SHUMARDII / SHUMARD RED OAK	B 4 B	2.5\"CAL	14' - 16'		A5 SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED*
Z5	12		ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA	B 4 B	2.5\"CAL	14' - 16'		A5 SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED*
EVERGREEN TREES									
CAB	28		BLUE ICE CYPRESS / CUPRESSUS ARIZONICA 'BLUE ICE'	B 4 B		6'	4'	A5 SHOWN	FULL TO GROUND, DENSE, WELL-BRANCHED
CD	24		CEDRUS DEODARA 'BRACKEN'S BEST CEDAR' / BRACKEN'S BEST DEODAR CEDAR	B 4 B		6'	4'	10' O.C.	FULL TO GROUND, DENSE, WELL-BRANCHED
IX2	42		ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	B 4 B		6'	4'	A5 SHOWN	FULL TO GROUND, DENSE, WELL-BRANCHED
JB2	20		JUNIPERUS VIRGINIANA 'BURKII' / BURK RED CEDAR	B 4 B		6'	4'	A5 SHOWN	FULL TO GROUND, DENSE, WELL-BRANCHED
TS	21		THUJA STANDISHII X PLICATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE	B 4 B		6'	4'	10' O.C.	FULL TO GROUND, DENSE, WELL-BRANCHED
UNDERSTORY TREES									
CCF	9		CERCIS CANADENSIS 'FOREST PANSY' TM / FOREST PANSY REDBUD	B 4 B	1.5\"CAL	10' - 12'		A5 SHOWN	4' CLEAR TRUNK, FULL CANOPY, MATCHED*
MB	6		MAGNOLIA X 'BUTTERFLIES' / BUTTERFLY MAGNOLIA	B 4 B	1.5\"CAL	10' - 12'		A5 SHOWN	4' CLEAR TRUNK, FULL CANOPY, MATCHED*
EVERGREEN SHRUBS									
ICS	15		ILEX CRENATA 'STEEDS' / STEEDS JAPANESE HOLLY	CONT.		30"	18"	5' O.C.	DENSE, FULL, MATCHED
IM	30		ILEX X MESAERVAE 'CHINA GIRL' TM / CHINA GIRL HOLLY	CONT.		36"	36"	A5 SHOWN	DENSE, FULL, MATCHED
TD2	42		TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	CONT.		18"	12" - 18"	5' O.C.	DENSE, FULL, MATCHED
VDT	18		VIBURNUM DAVIDII X TINUS 'SPG-3-024' PPAF / MOONLIT LACE VIBURNUM	CONT.		18"	12" - 18"	5' O.C.	DENSE, FULL, MATCHED
VP	17		VIBURNUM X PRAGENSE / PRAGUE VIBURNUM	CONT.		36"	36"	A5 SHOWN	DENSE, FULL, MATCHED

MATCHED* - TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
MATCHED BY BRANCH HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE

LANDSCAPE NOTES

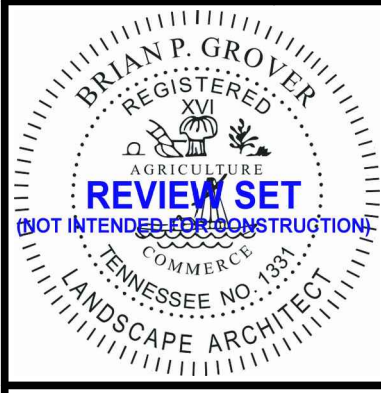
1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES.
3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
4. TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
7. PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
8. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
9. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
10. THE QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
11. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
12. SEED OR SOD ALL AREAS DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS PLANTING BEDS.
13. SHRUBS AND GROUND COVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
14. UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



UTILITY BOX SCREENING
NOT TO SCALE



SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 WWW.SEC-CIVIL.COM FAX: (615) 895-2567
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393 Mason Road
LaVergne, Tennessee

LANDSCAPE DETAILS & NOTES
L2.0

REVISIONS:
DRAWN: KMG
DATE: 09-02-2025
CHECKED: BPG
FILE NAME: 25432project_LA
SCALE: NA
JOB NO: 25432
SHEET:

This Instrument Prepared
from Information Furnished
by the Parties by:
BOLIN & HOLT, Attorneys
U. S. 41 South
Smyrna, TN 37167

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that we, the undersigned,
Buford B. Johnson do hereby grant and dedicate
unto the CITY OF LAVERGNE, TENNESSEE, a municipality, of the State
of Tennessee, its successors and assigns the following described
land, situated in the 3rd Civil District of Rutherford County, State
of Tennessee, and more particularly described as follows:

*A 2 foot permanent easement to install, operate
and maintain a water line one foot on each side
of a centerline being more particularly described
as follows:*

*BEGINNING at a point in the east right-of-way of
Mason Road said point being 730 feet, more or less,
south from the intersection of the property line
between Map 17, parcel 21, and Map 17, Parcel 21.01,
Rutherford County, Tennessee; thence leaving said
right-of-way, south 85 degrees 09 minutes east 69
feet, more or less, to a point; thence running
south 83 degrees 18 minutes east 595 feet, more or
less, to the property line between Map 17, Parcel
16, and Map 17, Parcel 15, Rutherford County,
Tennessee.*

*Located on land containing approximately 71 acres,
bounded as follows:*

*On the North by A. B. Mitchell
On the South by Buford B. Johnson and Mason Road
On the East by Fred Waldron, Vester Waldron, and
W. A. Fergus
On the West by Mason Road and Bell Priscilla Johnson.*

to install, construct, operate and maintain and improve on the above-mentioned lands a water line including any necessary temporary easement to install and maintain said line.

The grantors for consideration of this grant do hereby reserve the right to tap on said water line at the city's regular tap fee.

It is agreed and understood that the contractor for The City of LaVergne Water Department of Rutherford County, Tennessee, will be financially responsible for all damage done to the fences and/or other structures at the time of the installation of the water line, and will repair or restore any damage accordingly.

The undersigned covenants that they are the owners of the above-described lands; that they or their heirs, successors or assigns will not interfere in any manner with the City of LaVergne, or its assigns; and that the said lands are free and clear of encumbrances and liens of whatsoever character except:

IN WITNESS WHEREOF, the undersigned have set their hands and seals this 8 day of June, 1979.

Byford B. Johnson

STATE OF TENNESSEE
RUTHERFORD COUNTY

]]
]]
]]

Before me, William M. Johnson, a Notary Public of the State and County aforesaid, personally appeared Byford B. Johnson, the bargainers, with whom I am personally acquainted and who acknowledged that they executed the foregoing instrument for the purpose therein contained.

WITNESS MY HAND AND SEAL, at office in Robersonville, Tennessee, this 8 day of June, 1979.

William M. Johnson
Notary Public at Large



My Commission Expires:
July 26, 1982

RECORDING FEE 6.00
STATE TAX _____
REGISTER'S FEE _____
TOTAL PAID 6.00
RECEIPT NO. 94809

STATE OF TENNESSEE
RUTHERFORD COUNTY
OFFICE OF THE REGISTER May 13 1980
I, HOMER JONES, REGISTER DO CERTIFY THAT THE FOREGOING INSTRUMENT AND CERTIFICATE ARE REGISTERED IN MY SAID OFFICE IN BOOK NO. 291 PAGE NO. 475 AND THAT THEY WERE RECEIVED May 13 1980 AT 10:21 O'CLOCK A.M. AND ENTERED IN NOTE BOOK 25 PAGE 135
HOMER JONES, Register
Blayne Perry DEP REG

Approved For Recording
LA Verne Recording Commission
by Ben Nichols



Item #: 6. Preliminary Plat - Arbor Ridge, Section 6 - 23 Lots on Approximately 16.81 Acres. Requested by SEC, Inc. Property located off Waldron Rd. (Tax Map 32, Parcel 4). PDR (Planned Density Residential) Zoning District. Property owned by Starlight Homes of Tennessee, LLC.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

On behalf of their client, SEC, Inc. is requesting approval of the final plat for AR-Secton 6 located on 16.81 ± acres. The purpose of the plan is to create new single-family residential development. The property is currently zoned PDR which allows varying densities.

The property is located off of Waldron Road. The proposed layout shows 23 new lots with common areas. The common area includes a detention pond of 0.70 acres, and there is an unnamed tributary also located in this section. The residential lots comprise the remaining acreage.

Also shown is the layout of a new street, Clematis Drive. All streets show sidewalks a minimum of 5 feet wide.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergn.net; and Jake Blair - jblair@lavergn.net)

No comments.

Engineering (Gary Lide - glide@lavergn.net)

Comments addressed.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

Comment addressed.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

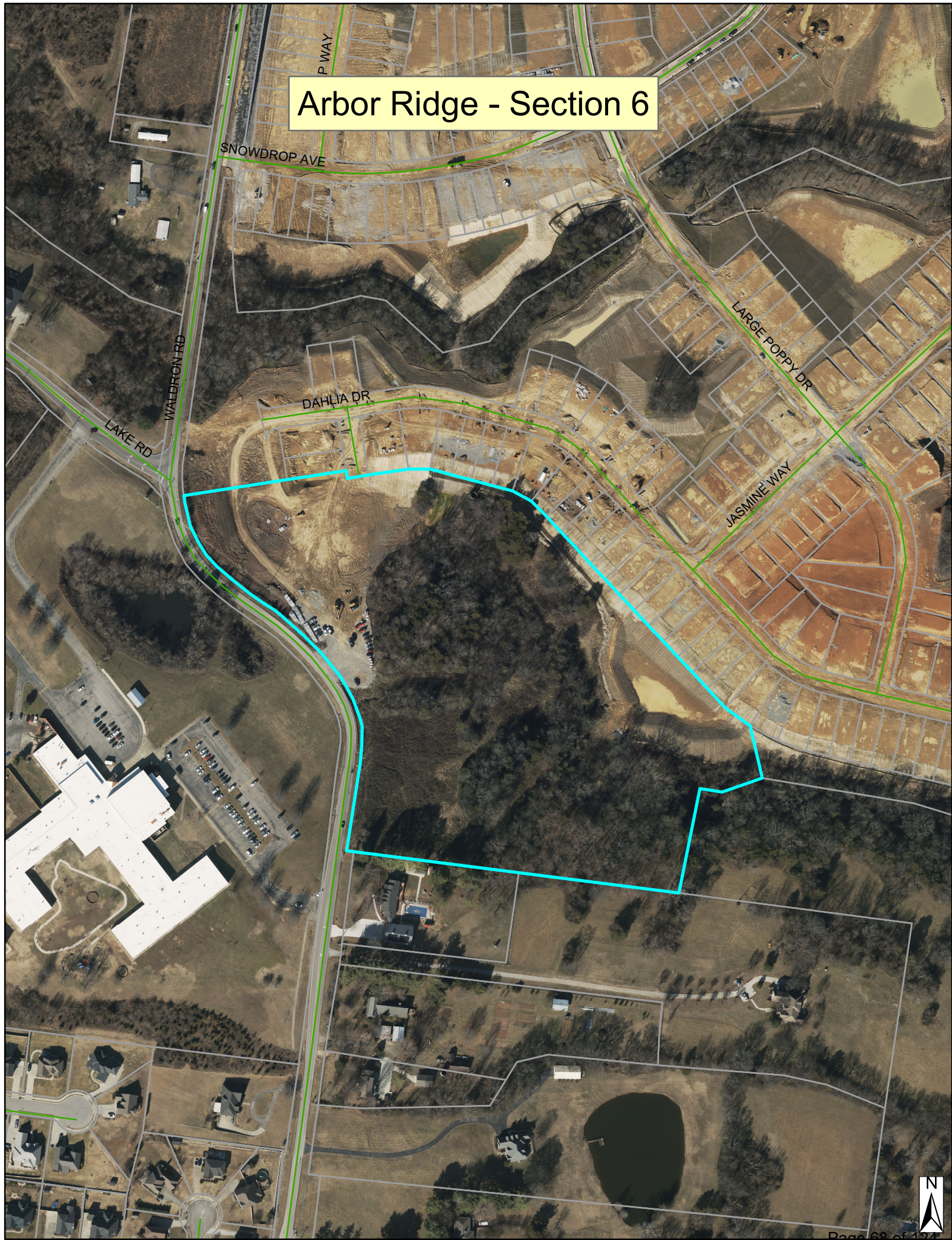
No comments.

Police

No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

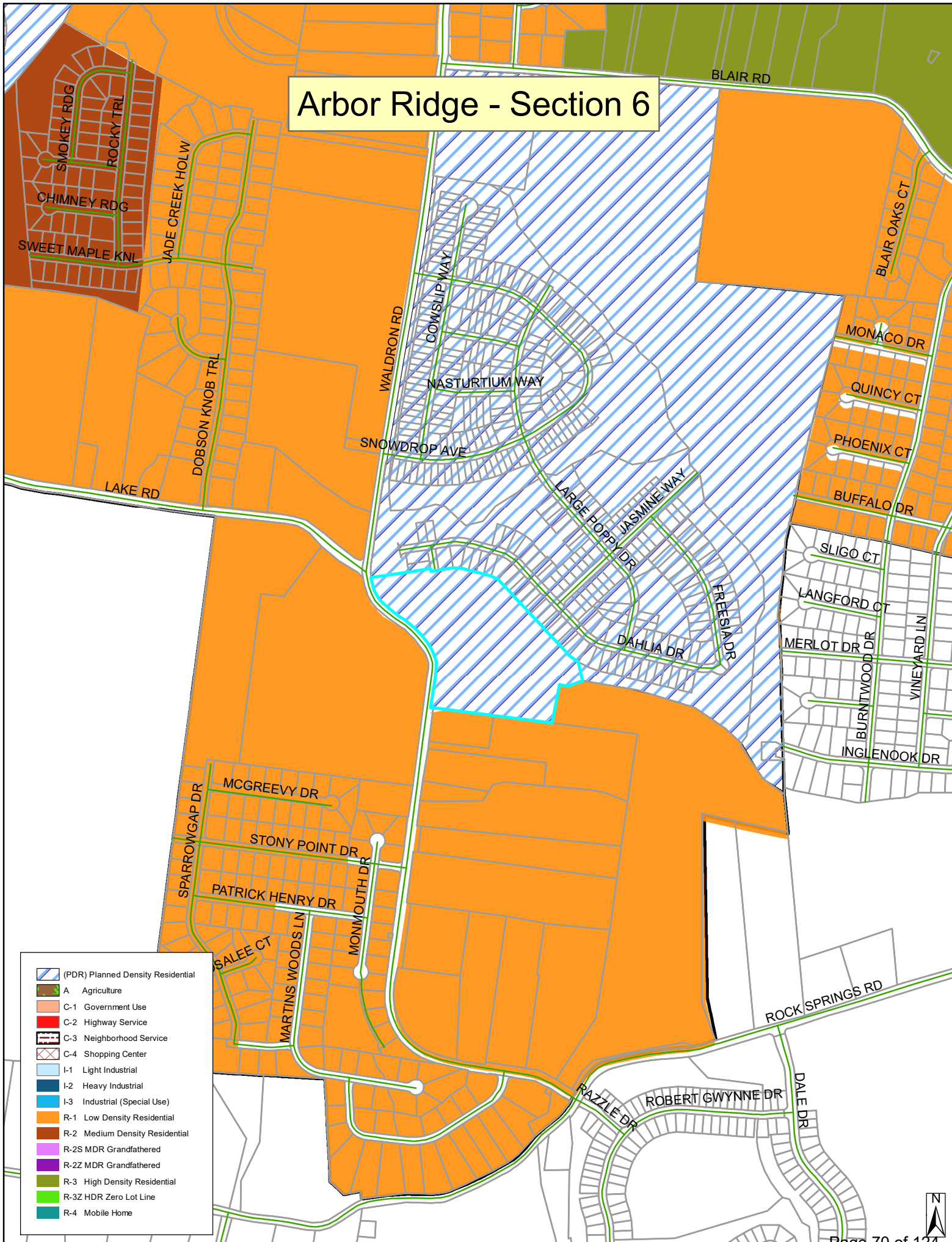
Arbor Ridge - Section 6



Arbor Ridge - Section 6



Arbor Ridge - Section 6



	(PDR) Planned Density Residential
	A Agriculture
	C-1 Government Use
	C-2 Highway Service
	C-3 Neighborhood Service
	C-4 Shopping Center
	I-1 Light Industrial
	I-2 Heavy Industrial
	I-3 Industrial (Special Use)
	R-1 Low Density Residential
	R-2 Medium Density Residential
	R-2S MDR Grandfathered
	R-2Z MDR Grandfathered
	R-3 High Density Residential
	R-3Z HDR Zero Lot Line
	R-4 Mobile Home





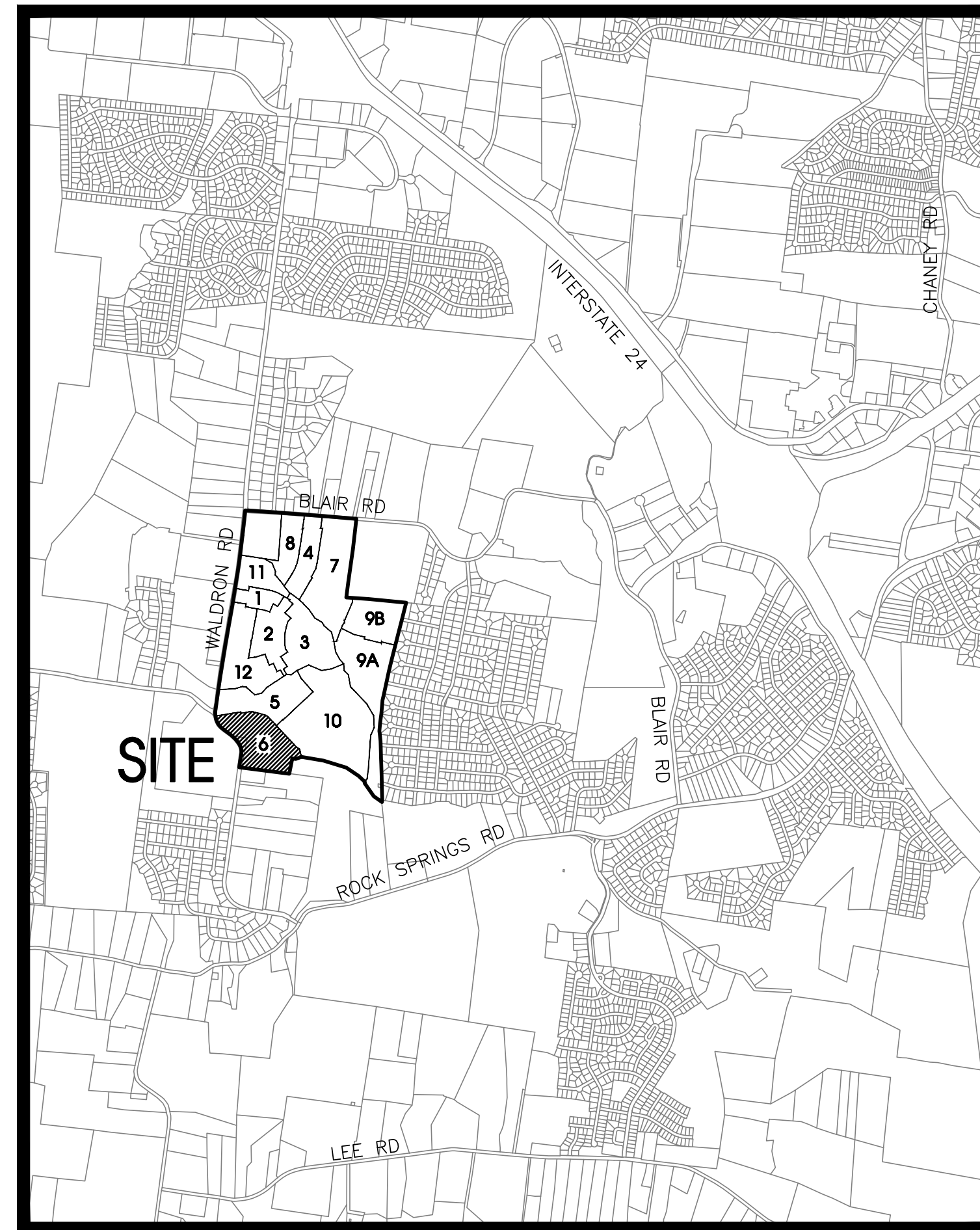
ashtonwoods.com
FUTURE AMENITY
ashtonwoods.com





Arbor Ridge Section 6 La Vergne, Tennessee Preliminary Plat

Drawing Index	
Sheet No.	Title
C0.0	Cover Sheet
C0.1	Master Plan
C1.0	Preliminary Plat
C2.0	Slope Analysis



Site Location Map
Not To Scale

Owner/Developer:
Starlight Homes Tennessee LLC
99 E. Main St, Suite 200
Franklin, TN 37064
Contact: Christian Macari
Phone: 410-961-9360

Floodplain Note:
This site lies within Zone X, areas determined to be outside the 0.2% annual chance flood plain. FEMA FIRM map #47149C0105J, Dated Jan. 9, 2023.

Deed Reference:
Tax Map 32, Parcel 4.00
Zoning: PDR (Planned Density Residential)
Section 6: 23 Lots on 16.81± Acres
Min. Lot Size = 41' Wide; 5,740 Sq.Ft. Minimum

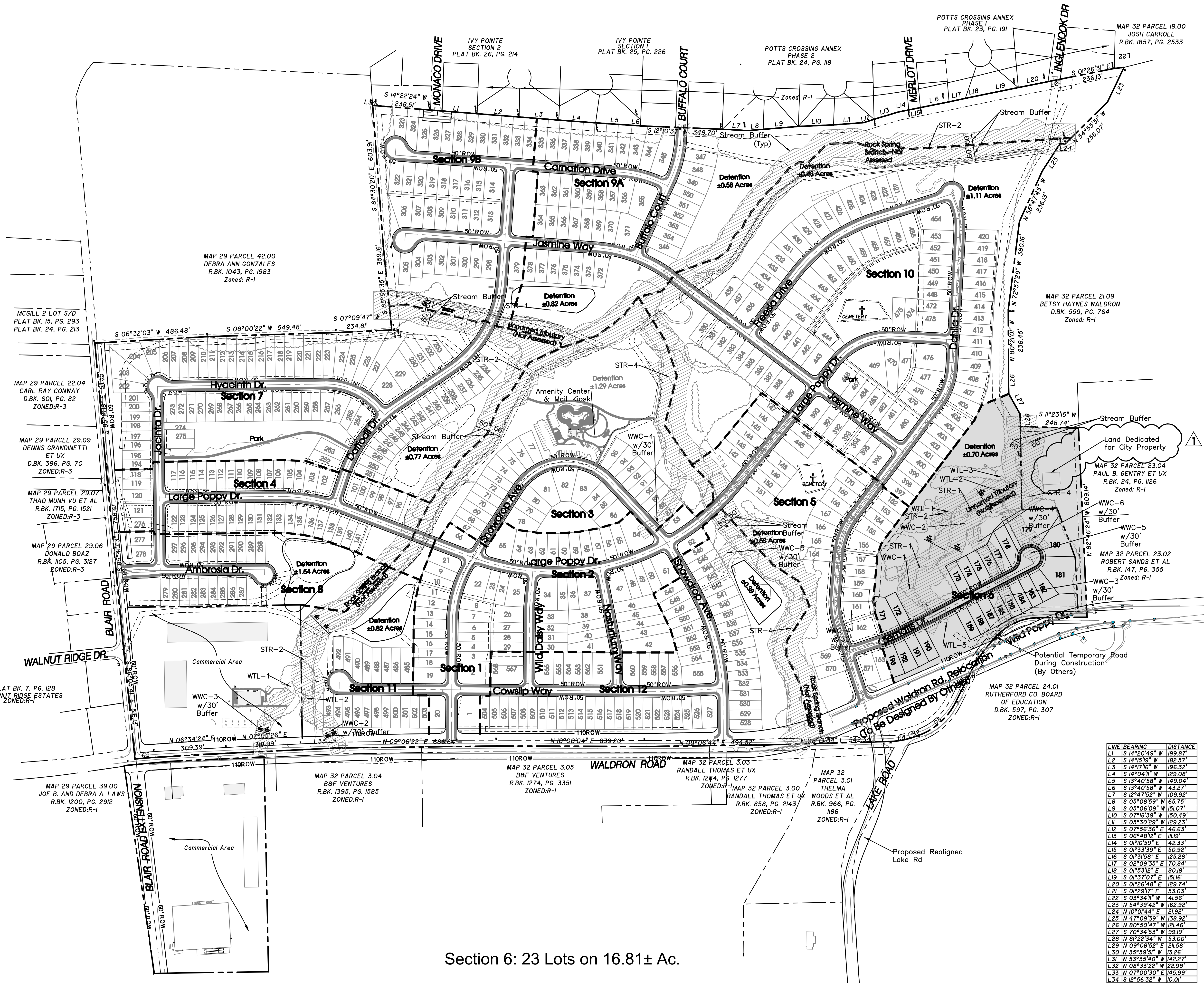
SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: ACARTER@SEC-CIVIL.COM FAX: (615) 895-2567
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By: _____ Date: _____
Andrew Carter, P.E. TN. Reg. #128519

Watershed: East Branch Hurricane Creek (Not Supporting)
5-yr, 24-hr EPSC Storm Event

Sheet C0.0
Arbor Ridge
Section 6
Preliminary Plat
S.E.C. Project #18314
Date: 9-29-2025
Revised: 10-20-2025

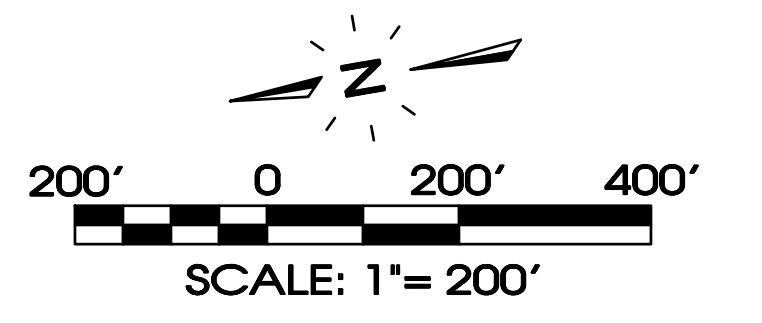


Section 6: 23 Lots on 16.81± Ac.

Legend:			
□	EXIST. CONCRETE MONUMENT	□	INLET PROTECTION FILTER
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	⊖	HC SIGN
+	EXIST. SIGN POST	—	HEADWALL
—	EXIST. SEWER CLEANOUT	—	WINGED HEADWALL
○	EXIST. MANHOLE (SEWER & PHONE)	○	MANHOLE
⊕	EXIST. CATCH BASIN (STORM SEWER)	63.25	PROPOSED SPOT ELEVATION
⊗	EXIST. WATER/GAS VALVE	(63.25)	EXIST. SPOT ELEVATION
⊞	EXIST. TELEPHONE RISER	⊗	POST INDICATOR VALVE
⊞	EXIST. GAS RISER	□	REDUCER
⊞	ELECTRICAL ENCLOSURE	⊞	REMOTE FIRE DEPT. CONNECTION
⊞	EXIST. WATER METER	⊞	REVISION NUMBER
⊞	EXIST. UTILITY POLE	⊞	RIP RAP
⊞	EXIST. FIRE HYDRANT	→	RUNOFF FLOW ARROW
⊞	BENCHMARK	→	SEWER/STORM FLOW DIRECTION
⊞	BLOW OFF VALVE	→	TRAFFIC ARROW
⊞	CONCRETE BOLLARD	→	TURN LANE ARROWS
⊞	CATCH BASIN	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊞	CURB INLET	⊞	WATER METER
⊞	AREA DRAIN	⊞	WHEEL STOP
⊞	CONCRETE THRUST BLOCK	⊞	GREASE TRAP
⊞	DOUBLE DETECTOR CHECK VALVE	#1	DRAINAGE STRUCTURE DESIGNATION
⊞	FIRE DEPT. CONNECTION	#A	DRAINAGE PIPE DESIGNATION
⊞	FIRE HYDRANT	⊞	CONCRETE SIDEWALK
⊞	GAS METER	⊞	EXTRUDED CURB
⊞	GATE VALVE & BOX	⊞	CURB & GUTTER
⊞	EXTERIOR CLEANOUT	⊞	CONCRETE SWALE
⊞	CHECK VALVE	⊞	PH
⊞	EXISTING PHONE	⊞	OH
⊞	EXISTING ELECTRIC	⊞	ROW
⊞	PROPERTY LINE	⊞	SF SF
⊞	EASEMENTS	⊞	ROW
⊞	RIGHT OF WAY	⊞	SF SF
⊞	EROSION CONTROL SILT FENCE	⊞	X X X X
⊞	EXISTING TREELINE	⊞	MBSL
⊞	EXISTING FENCELINE	⊞	SS SS
⊞	MINIMUM BUILDING SETBACK LINE	⊞	6"SS
⊞	PHASE BOUNDARY	⊞	2"FM
⊞	EXISTING GAS LINE	⊞	W W
⊞	PROPOSED GAS LINE	⊞	W W
⊞	EXISTING STORM	⊞	W W
⊞	PROPOSED STORM	⊞	W W
⊞	EXISTING CONTOUR LINES	⊞	W W
⊞	PROPOSED CONTOUR LINES	⊞	W W
⊞	EXISTING SANITARY SEWER	⊞	W W
⊞	PROPOSED SANITARY SEWER	⊞	W W
⊞	PROPOSED SANITARY SEWER FORECEMAN	⊞	W W
⊞	EXISTING WATER	⊞	W W
⊞	PROPOSED WATER	⊞	W W

LINE	BEARING	DISTANCE
L1	S 14°20'49" W	199.87'
L2	S 14°45'19" W	182.67'
L3	S 14°07'16" W	196.35'
L4	S 14°04'11" W	129.08'
L5	S 13°40'58" W	149.04'
L6	S 13°40'58" W	43.27'
L7	S 12°47'52" W	109.92'
L8	S 05°08'59" W	65.75'
L9	S 05°06'09" W	151.07'
L10	S 07°18'39" W	150.49'
L11	S 05°30'29" W	129.23'
L12	S 02°09'35" E	46.63'
L13	S 06°48'12" E	111.18'
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L16	S 01°09'39" E	125.28'
L17	S 02°09'35" E	70.84'
L18	S 05°53'12" E	80.18'
L19	S 01°37'07" E	151.16'
L20	S 01°26'48" E	129.74'
L21	S 02°31'27" E	33.03'
L22	S 03°34'11" W	41.66'
L23	N 54°39'42" W	162.92'
L24	N 10°01'44" E	21.92'
L25	N 47°09'39" W	158.92'
L26	N 82°50'47" W	121.46'
L27	S 70°34'53" W	99.19'
L28	N 8°22'34" W	53.00'
L29	N 09°08'52" E	211.58'
L30	N 33°59'01" W	13.26'
L31	N 53°35'40" W	142.27'
L32	N 08°33'22" W	22.98'
L33	N 07°00'30" E	145.99'
L34	S 12°56'32" W	110.01'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	240.95'	189.83'	184.96'	N 13°25'21" W
C2	613.31'	188.36'	187.62'	N 44°47'45" W
C3	284.35'	223.52'	127.81'	N 3°04'30" W
C4	319.91'	99.68'	99.28'	N 00°22'14" E
C5	1844.91'	88.61'	88.60'	N 05°11'51" E

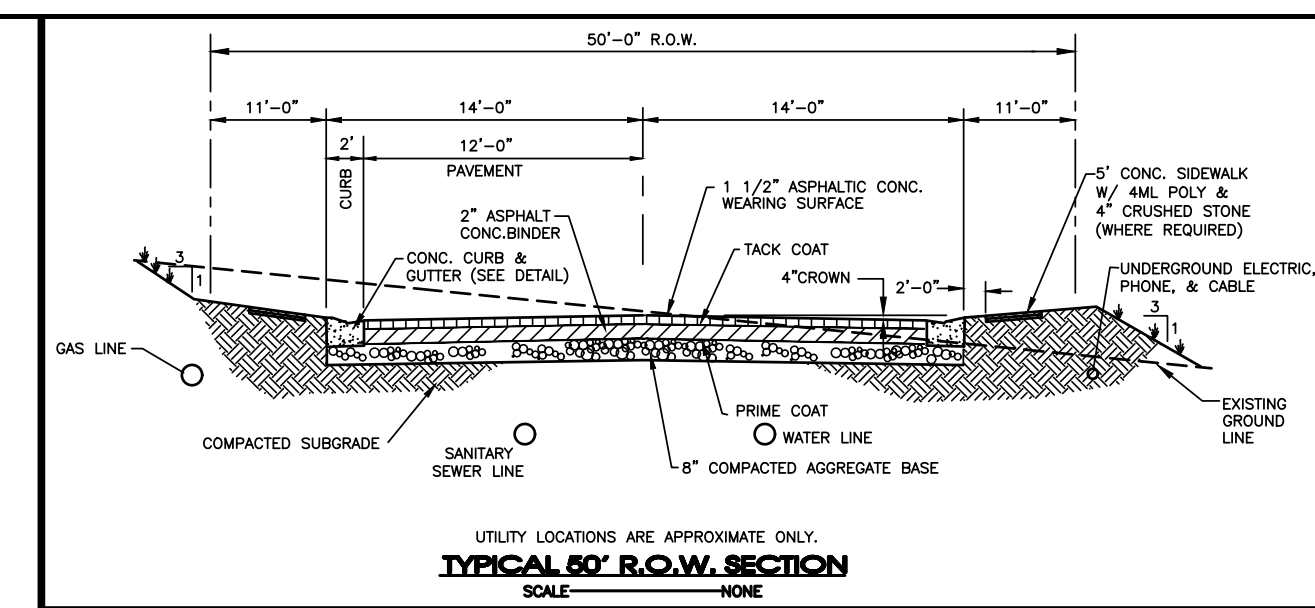
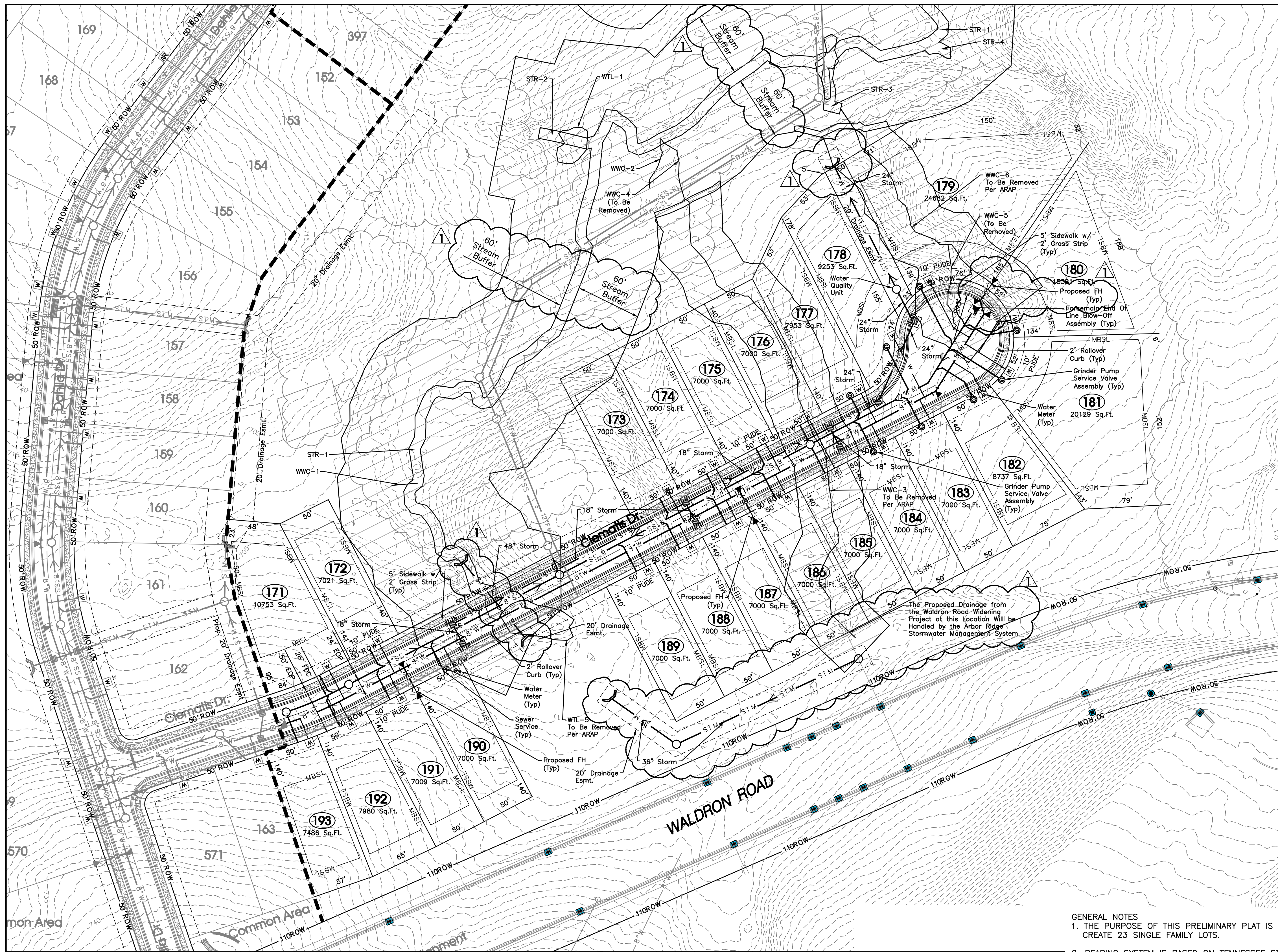


SEC, Inc.
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 LANDSCAPE ARCHITECTURE
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 MURFREESBORO, TENNESSEE 37129
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Arbor Ridge
Section 6
 La Vergne, Tennessee

REVISIONS: 10-20-2025: Staff Comments
 DRAWN: CFB3, SJA
 DATE: 9-29-2025
 CHECKED:
 MAT
 FILE NAME:
 18314prelim6
 SCALE:
 1" = 200'
 JOB NO.
 18314
 SHEET:
C0.1

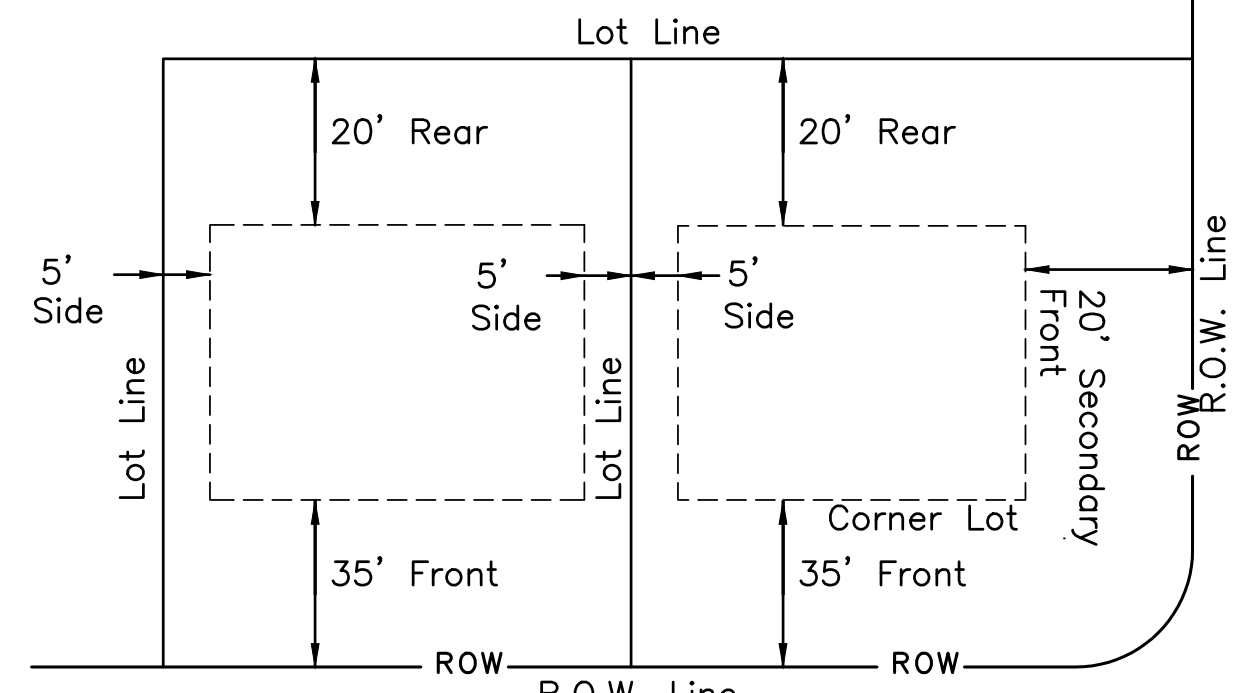
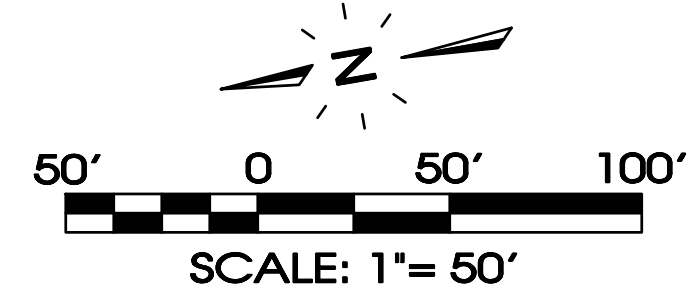
Master Plan



Note: Developer Is Responsible For The Installation Of Street Lights. Street Lights Shall Be Located No More Than 300 Feet Apart.

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

NOTE:
CONSTRUCTION VEHICLES WILL ACCESS THIS SITE VIA THE EXISTING CLEMATIS DR. STUB. APPROPRIATE EROSION CONTROL DEVICES (GRAVEL CONSTRUCTION ENTRANCE, CONCRETE WASH STATION, ETC.) WILL BE USED TO PROTECT ALL EXISTING ROADWAYS AND STORMWATER CONVEYANCE SYSTEMS.

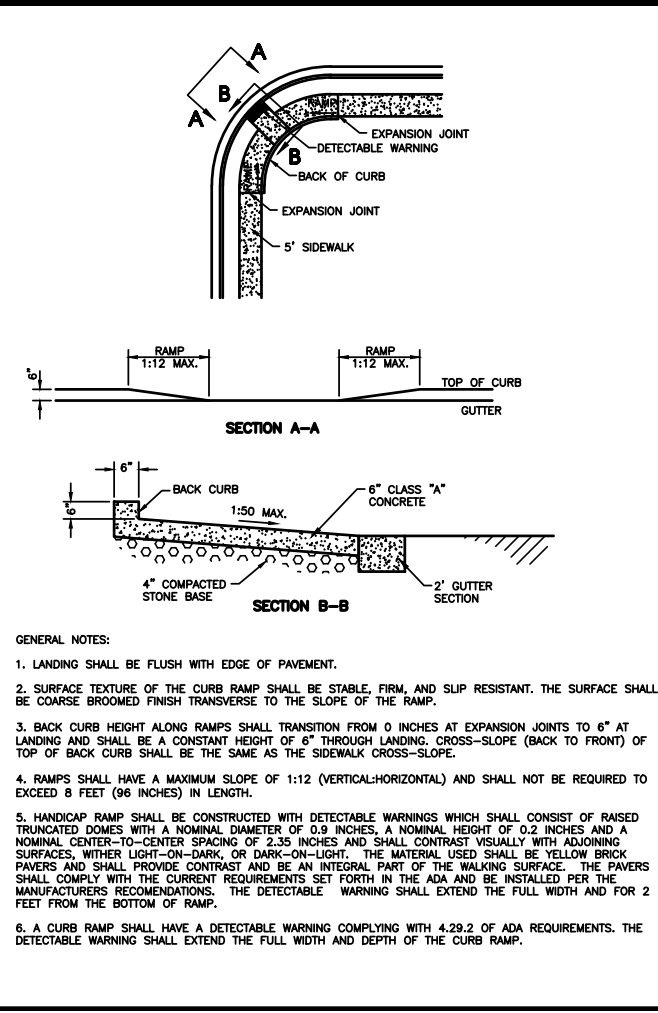


Minimum Building Setback Detail
N.T.S.

GENERAL NOTES
1. THE PURPOSE OF THIS PRELIMINARY PLAT IS TO CREATE 23 SINGLE FAMILY LOTS.

- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO RUTHERFORD COUNTY CONTROL POINT RCC-011 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, PER FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 47149C0105J, EFFECTIVE DATE: MAY 9, 2023.
- PARCELS MAY BE SUBJECT TO ADDITIONAL ESMT'S AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- PROPERTY IS ZONED PDR (PLANNED DENSITY RESIDENTIAL). MINIMUM SETBACK REQUIREMENTS ARE: FRONT=35' FT. - SIDE=5' FT. - REAR=20' FT.
- ALL CRITICAL LOTS (WITH 15% SLOPES OR GREATER), ARE DENOTED WITH AN ASTERISK. ENGINEERED PLOT PLANS ARE REQUIRED FOR THESE LOTS PRIOR TO OBTAINING A BUILDING PERMIT.
- ALL COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTS. STREET LIGHTS SHALL BE LOCATED NO MORE THAN 300 FEET APART.
- NO MORE THAN 500 LINEAR FEET TOTAL OF TRENCHING WILL BE ALLOWED TO BE OPEN AT ONE TIME. (ALL UTILITIES & STORM DRAINS)
- STREAM BUFFER ON LOTS 173, 174, AND 190 MUST BE MAINTAINED IN A NATURAL STATE IN PERPETUITY REGARDLESS OF OWNERSHIP. IT CANNOT BE MOWED AND CLEARED AT ANY TIME. THIS APPLIES DURING CONSTRUCTION AND THE LIFE OF THE PROPERTY.

Legend:					
EXIST. CONCRETE MONUMENT	BENCHMARK	POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION	EXISTING PHONE	PROPOSED STORM
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL	BLOW OFF VALVE	RIP RAP	EXISTING ELECTRIC	EXISTING CONTOUR LINES
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	REDUCER	RUNOFF FLOW ARROW	PROPERTY LINE	PROPOSED CONTOUR LINES
EXIST. SIGN POST	HC SIGN	REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION	EASEMENTS	EXISTING SANITARY SEWER
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST	CONCRETE THRUST BLOCK	PROPOSED SPOT ELEVATION	RIGHT OF WAY	PROPOSED SANITARY SEWER
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD	DOUBLE DETECTOR CHECK VALVE	EXIST. SPOT ELEVATION	EROSION CONTROL SILT FENCE	PROPOSED SANITARY SEWER FORCEMAIN
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP	FIRE DEPT. CONNECTION	SEWER/DIRECTION FLOW DIRECTION	EROSION EEL	EXISTING WATER
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK	FIRE HYDRANT	CATCH BASIN	EXISTING TREELINE	PROPOSED WATER
EXIST. TELEPHONE RISER	EXTRUDED CURB	GATE VALVE & BOX	CURB INLET	EXISTING FENCELINE	
EXIST. GAS RISER	CURB & GUTTER	WATER METER	AREA DRAIN	MINIMUM BUILDING SETBACK LINE	
ELECTRICAL ENCLOSURE	TRAFFIC ARROW	GAS METER	HEADWALL	PHASE BOUNDARY	
EXIST. WATER METER	TURN LANE ARROWS	GREASE TRAP	WINGED HEADWALL	EXISTING GAS LINE	
EXIST. UTILITY POLE	REVISION NUMBER	EXTERIOR CLEANOUT ECO	CONCRETE SWALE	PROPOSED GAS LINE	
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION	MANHOLE	TYPE - X - HEADWALL	EXISTING STORM	



SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

SEC, Inc.
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 894-7900
E-MAIL: ACARTER@SEC-CIVIL.COM
FAX: (615) 895-2457
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Arbor Ridge Section 6
La Vergne, Tennessee

Preliminary Plat

REVISIONS: 10-20-2025: Staff Comments

DRAWN: CFB3, SJA
DATE: 9-29-2025
CHECKED: MAT
FILE NAME: 18314prelim6
SCALE: 1"=50'
JOB NO: 18314
SHEET: C1.0

Owner/Developer:
Starlight Homes Tennessee LLC
99 E. Main St, Suite 200
Franklin, TN 37064
Contact: Christian Macari
Phone: 410-961-9360

Floodplain Note:
This site lies within Zone X, areas determined to be outside the 0.2% annual chance flood plain. FEMA FIRM map #47149C0105J, Dated May 9, 2023.

Deed Reference:
Tax Map 32, Parcel 4.00
Zoning: PDR (Planned Density Residential)
Section 6: 23 Lots on 16.81± Ac.
Min. Lot Size = 41' Wide, 5,740 Sq.Ft. Minimum



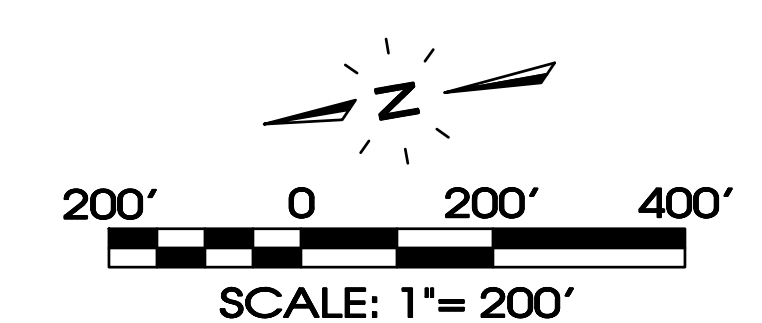
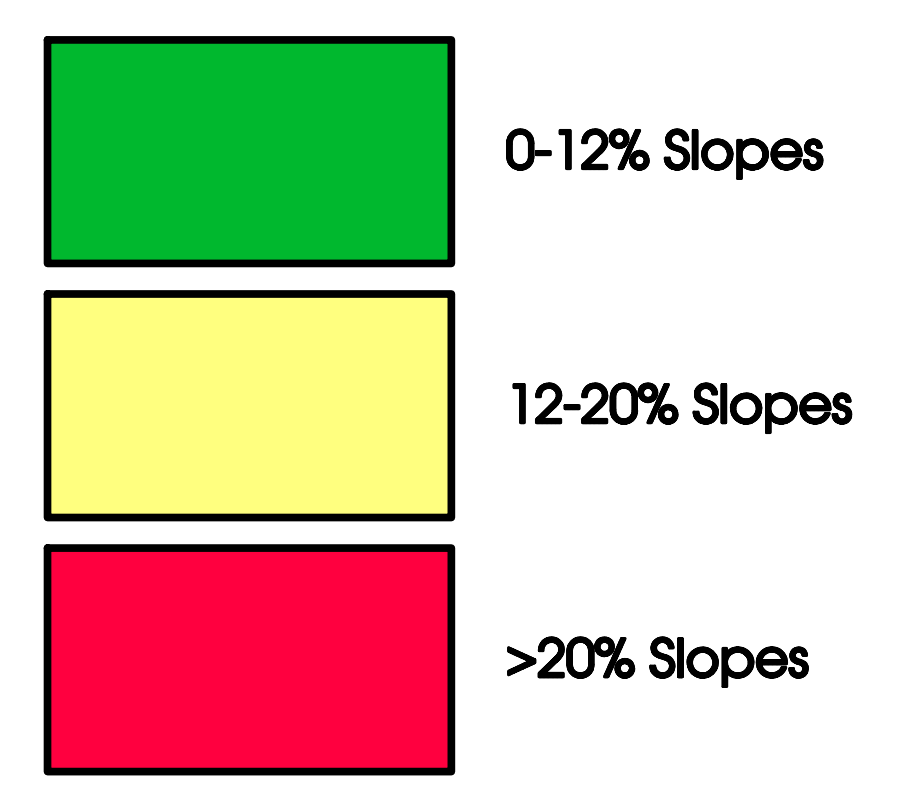
Legend:

EXIST. CONCRETE MONUMENT	INLET PROTECTION FILTER
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL
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EXIST. SIGN POST	HEADWALL
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EXIST. MANHOLE (SEWER & PHONE)	MANHOLE
EXIST. CATCH BASIN (STORM SEWER)	PROPOSED SPOT ELEVATION
EXIST. WATER/GAS VALVE	EXIST. SPOT ELEVATION
EXIST. TELEPHONE RISER	POST INDICATOR VALVE
EXIST. GAS RISER	REDUCER
ELECTRICAL ENCLOSURE	REMOTE FIRE DEPT. CONNECTION
EXIST. WATER METER	REVISION NUMBER
EXIST. UTILITY POLE	RIP RAP
EXIST. FIRE HYDRANT	RUNOFF FLOW ARROW
BENCHMARK	SEWER/STORM FLOW DIRECTION
BLOW OFF VALVE	TRAFFIC ARROW
CONCRETE BOLLARD	TURN LANE ARROWS
CATCH BASIN	VAN ACCESSIBLE HANDICAP DESIGNATION
CURB INLET	WATER METER
AREA DRAIN	WHEEL STOP
CONCRETE THRUST BLOCK	GREASE TRAP
DOUBLE DETECTOR CHECK VALVE	DRAINAGE STRUCTURE DESIGNATION
FIRE DEPT. CONNECTION	DRAINAGE PIPE DESIGNATION
FIRE HYDRANT	CONCRETE SIDEWALK
GAS METER	EXTRUDED CURB
GATE VALVE & BOX	CURB & GUTTER
EXTERIOR CLEANOUT	CONCRETE SWALE
CHECK VALVE	

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EXISTING TREELINE	
EXISTING FENCELINE	X X X X
MINIMUM BUILDING SETBACK LINE	
PHASE BOUNDARY	---
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	8"SS
EXISTING WATER	W W
PROPOSED WATER	W W

LINE BEARING	DISTANCE
L1 S 14°20'49" W	199.87'
L2 S 14°15'19" W	182.87'
L3 S 14°07'16" W	196.35'
L4 S 14°04'11" W	129.08'
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CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
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C5	1844.91'	88.61'	88.60'	N 05°11'51" E



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Arbor Ridge
Section 6
 La Vergne, Tennessee

REVISED: 10-20-2025; Staff Comment
 DRAWN: CFB3, SJA
 DATE: 9-29-2025
 CHECKED:
 MAT
 FILE NAME:
 18314prelim6
 SCALE:
 1" = 200'
 JOB NO.
 18314
 SHEET:
C2.0



Item #: 7. Final Plat - Mission Hills, Section 2B - 26 Lots on Approximately 7.4 Acres. Requested by SEC, Inc. Property located off Waldron Rd. (Tax Map 29, Parcel 22.02). R-3 (High Density Residential) Zoning District. Property owned by Meritage Homes of Tennessee, Inc.

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

On behalf of their client, SEC, Inc. is requesting approval of the final plat for MH-Secton 2B located on 7.40 ± acres. The purpose of the plan is to create new single-family residential development. The property is currently zoned R-3.

The property is located off of Waldron Road. The proposed layout shows 26 new lots with common areas. Common areas #7, #8 and #9 are included in this section. They total 1.76 acres. The residential lots comprise the remaining acreage.

Also shown is the layout of two new streets, Vanguard and Stardust Drives. All streets show sidewalks a minimum of 5 feet wide.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergn.net; and Jake Blair - jblair@lavergn.net)

No comments.

Engineering (Gary Lide - glide@lavergn.net)

Comments addressed.

Utilities (Scott Tatalovich - statalovich@lavergn.net)

Comments addressed.

Codes (Joe White - jwhite@lavergn.net)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergn.net)

No comments.

Police

No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items

at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

Mission Hills - Section 2B



WALDRON RD
KINGSRIDGE DR
ASHBURY CT
SILVER BIRCH LN
OAKWOOD CV
VANGUARD DR
BRUSHY RIDGE DR
KNOLLWOOD DR
WOODLAND HILLS DR
HIGHLAND HILLS DR
LAUREL LEDGE DR
BRARHILL CT
POPULAR HOLLOW DR
MASON RD
I-24 FWY
I-24 FWY
INDUSTRIAL BLVD
WATER TOWER TRL
SALYERS DR
VALLEY CT
WALNUT RIDGE DR
HILL CT
BLAIR RD
BLAIR OAKS CT
CORNICE DR
CASTA DR
PORTICO PL
SANFORD RD
PRINATE ALY



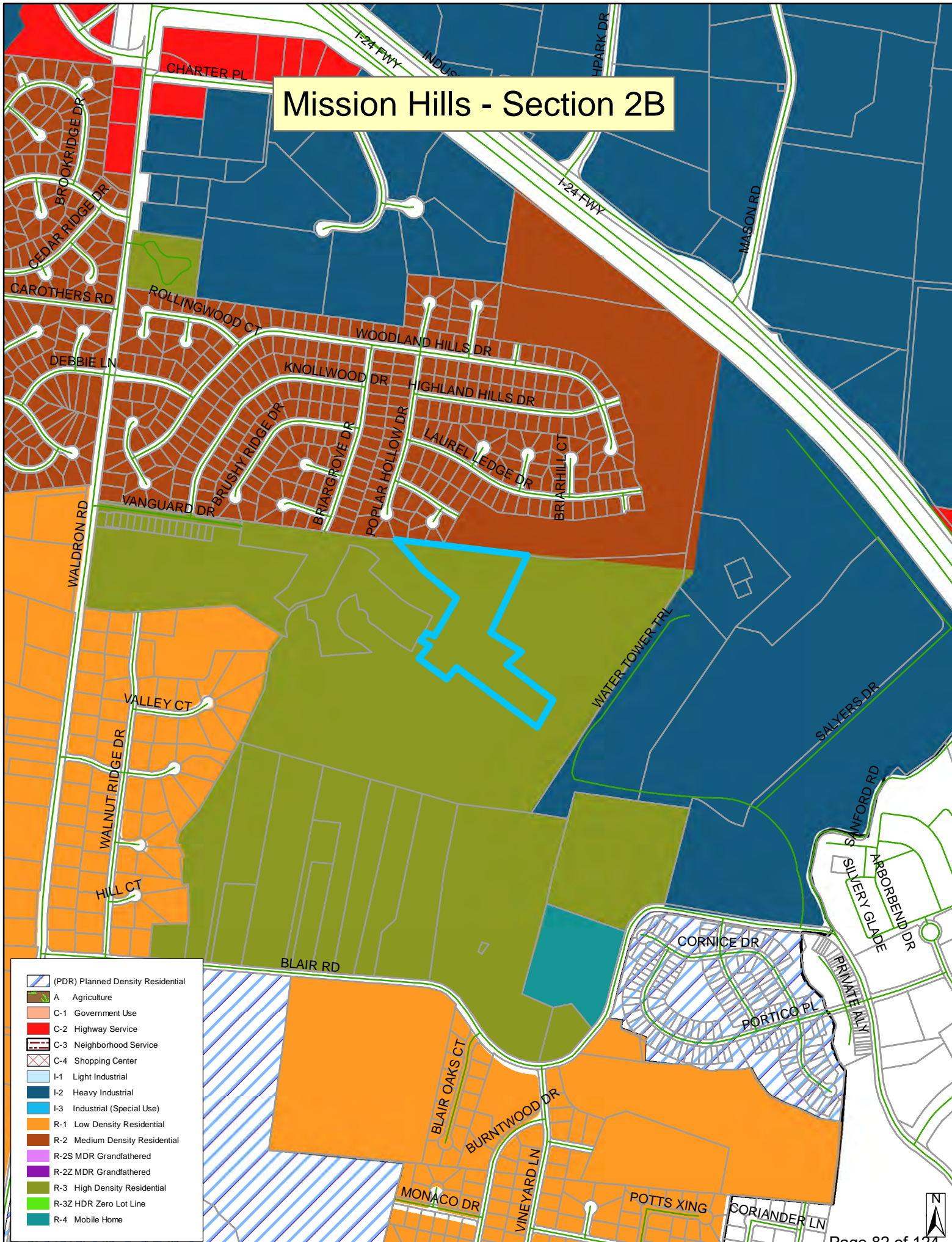
Mission Hills - Section 2B



WATER TOWER TR



Mission Hills - Section 2B





AVAILABLE



GENERAL NOTES

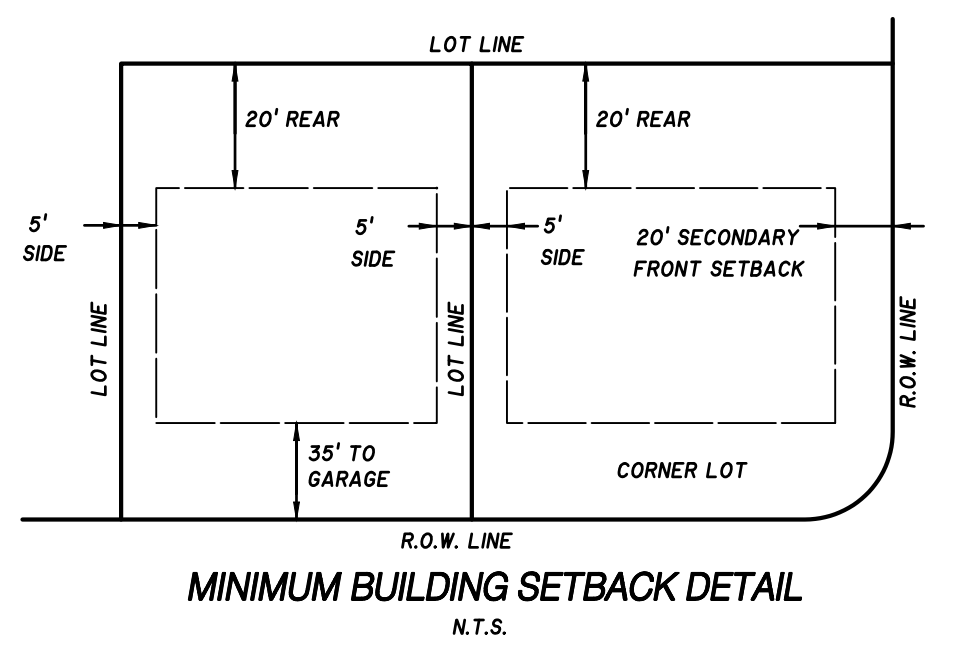
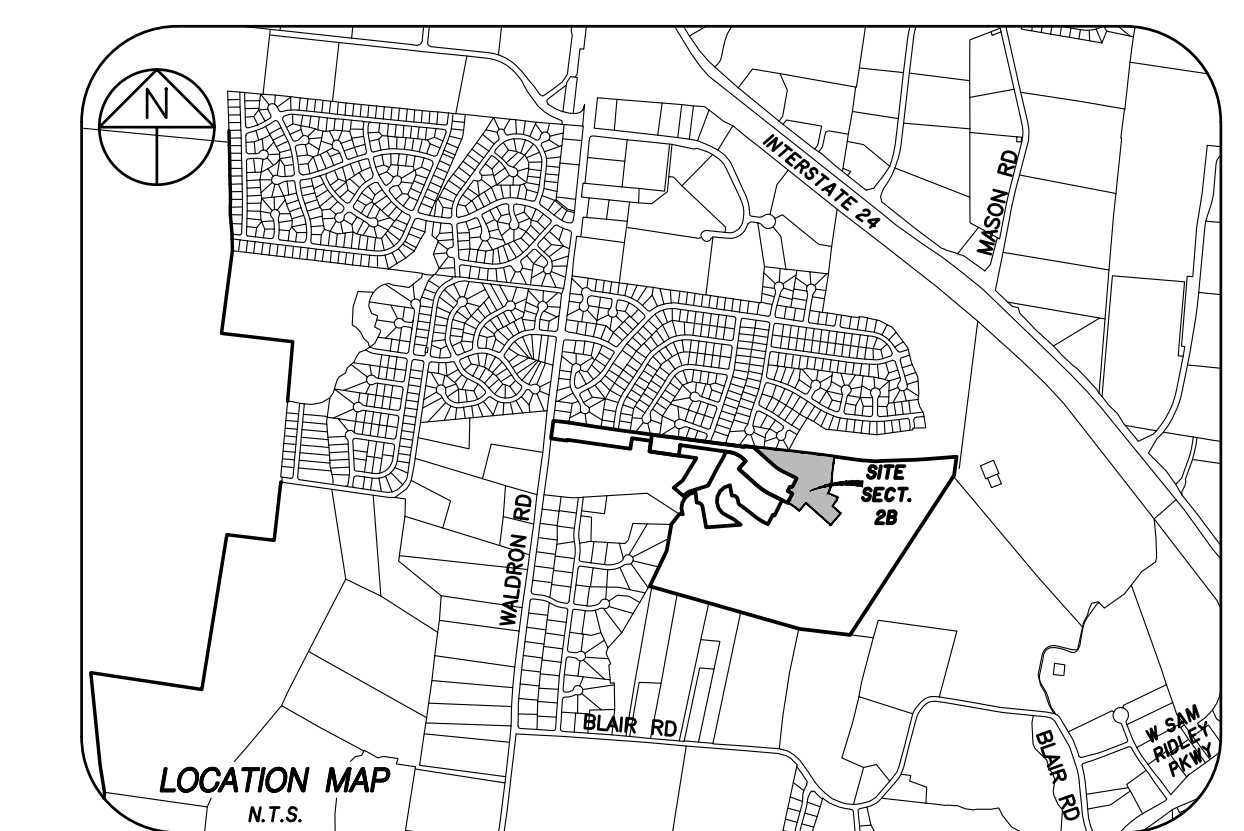
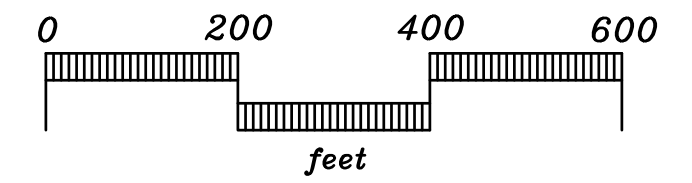
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 23 SINGLE FAMILY LOTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO RUTHERFORD COUNTY CONTROL POINT RCC-01 (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE X, PER FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 47149C0105J, EFFECTIVE DATE: MAY 9, 2023.
- PARCELS MAY BE SUBJECT TO ADDITIONAL ESM'S AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- PROPERTY IS ZONED R-3 (PLANNED DENSITY RESIDENTIAL). MINIMUM SETBACK REQUIREMENTS ARE:
FRONT = 15' FT.
SIDE = 5' FT.
REAR = 15' FT.
- ALL CRITICAL LOTS (WITH 15% SLOPES OR GREATER), ARE DENOTED WITH AN ASTERISK (*), ENGINEERED PLOT PLANS ARE REQUIRED FOR THESE LOTS PRIOR TO OBTAINING A BUILDING PERMIT.
- ALL COMMON AREAS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF STREET LIGHTS. STREET LIGHTS SHALL BE LOCATED NO MORE THAN 300 FEET APART.
- A STORMWATER MAINTENANCE AGREEMENT IS RECORDED IN R.B.K. 2515, PG. 1804, R.O.R.C. TN.

LOT	SQ. FT.	ACRES
27	5,497.43	0.13
28	6,582.64	0.15
29	6,655.62	0.15
30	5,504.47	0.13
31	5,591.78	0.13
32	5,500.46	0.13
33	5,871.56	0.13
34	5,937.88	0.14
35	5,602.57	0.13
36	6,243.26	0.14
37	7,416.76	0.17
38	6,529.92	0.15
L8	6,049.84	0.14
40	7,008.69	0.16
41	8,599.61	0.20
42	7,956.08	0.18
43	6,696.72	0.15
44	6,521.50	0.15
46	7,132.33	0.16
47	8,006.59	0.18
48	5,500.00	0.13
49	5,500.00	0.13
50	5,560.16	0.13
255	5,500.00	0.13
256	6,539.53	0.15
257	5,593.31	0.13

LOT	SQ. FT.	ACRES
RIGHT-OF-WAY #7	80,689	1.85
COMMON AREA #8	59,841	1.37
COMMON AREA #9	14,435	0.33
COMMON AREA #10	2,461	0.06

LINE	BEARING	DISTANCE
L1	N 60°36'20" W	48.21'
L2	N 53°05'00" W	48.03'
L3	N 48°26'35" W	49.75'
L4	S 82°40'16" E	36.86'
L5	S 24°59'45" W	29.99'
L6	S 34°19'37" W	74.60'
L7	S 47°45'33" E	64.55'
L8	S 47°47'50" E	49.80'
L9	N 47°45'33" W	50.00'
L10	N 54°31'15" W	44.94'
L11	N 63°37'38" W	49.91'
L12	N 63°40'55" W	54.44'
L13	N 26°19'05" E	50.00'
L14	N 26°19'05" E	60.00'
L15	N 20°02'03" E	59.71'
L16	N 05°50'32" E	20.28'
L17	S 09°12'01" W	60.36'
L18	S 17°37'16" W	62.16'
L19	S 24°40'20" W	53.15'
L20	N 47°45'33" W	53.17'
L21	N 63°39'00" W	45.56'
L22	S 63°40'55" E	25.00'
L23	S 60°22'30" E	50.19'

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	55.00'	244°37'23"	234.82'	S 64°02'09" W	92.97'
C2	50.00'	063°56'17"	55.80'	S 26°18'24" E	32.95'
C3	275.00'	009°20'17"	44.82'	S 21°39'56" W	44.77'
C4	275.00'	010°37'57"	51.03'	S 18°39'49" W	50.96'
C5	325.00'	006°58'29"	39.56'	N 09°50'05" E	39.54'
C6	325.00'	008°11'39"	46.48'	N 17°25'09" E	46.44'
C7	325.00'	004°48'06"	27.24'	N 23°55'02" E	27.23'
C8	325.00'	006°36'50"	37.52'	N 60°22'30" W	37.50'
C9	25.00'	090°00'00"	39.27'	N 18°40'55" W	35.36'
C10	325.00'	008°59'24"	50.99'	N 52°34'23" W	50.94'
C11	325.00'	000°19'08"	1.81'	N 47°45'33" W	1.81'
C12	275.00'	004°44'26"	22.75'	S 39°52'14" W	22.75'
C13	25.00'	090°00'00"	39.27'	S 87°14'27" W	35.36'
C14	275.00'	018°00'58"	86.47'	S 28°29'32" W	86.12'
C15	275.00'	013°08'12"	63.05'	S 12°54'57" W	62.91'
C16	50.00'	000°41'06"	0.60'	S 06°00'18" W	0.60'
C17	325.00'	009°58'22"	56.57'	N 30°35'39" E	56.50'
C18	325.00'	002°39'01"	15.03'	N 36°54'21" E	15.03'
C19	25.00'	090°00'00"	39.27'	N 02°45'33" W	35.36'
C20	325.00'	004°00'36"	22.75'	N 40°14'10" E	22.74'
C21	475.00'	000°46'23"	6.41'	N 48°08'44" W	6.41'
C22	275.00'	014°32'55"	69.83'	S 52°02'00" E	69.64'
C23	275.00'	001°22'27"	6.60'	S 62°59'42" E	6.60'
C24	525.00'	000°46'23"	7.08'	N 48°08'44" W	7.08'
C25	25.00'	090°00'00"	39.27'	N 71°19'05" E	35.36'
C26	325.00'	019°15'38"	109.25'	S 15°58'40" W	108.74'



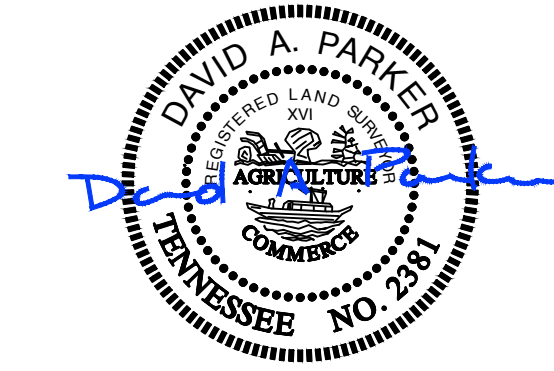
DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE _____

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 2435, PAGE 281, RUTHERFORD COUNTY REGISTERS OFFICE, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND THAT OFFERS OR IRREVOCABLE DEDICATION FOR ALL PUBLIC WAYS, UTILITIES, AND OTHER FACILITIES HAVE BEEN FILED.

DATE: _____ NAME: _____
 DEED REFERENCE: CHET BACHULA, REPRESENTATIVE
 TAX MAP 29, P/O PARCEL 22.02 MERITAGE HOMES OF TENNESSEE, INC
 RECORD BOOK 2435, PAGE 281

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON; THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF AN URBAN LAND SURVEY, CATEGORY 'T', AS PER STANDARDS OF PRACTICE ADOPTED BY THE BOARD OF EXAMINERS FOR LAND SURVEYORS FOR THE STATE OF TENNESSEE, AND THAT THE RATIO OF PRECISION IS GREATER THAN 1/10,000.

DATE: 10-20-2025 *David A. Parker*
 TENN. R.L.S. NO. 2381 REGISTERED LAND SURVEYOR



CERTIFICATE OF APPROVAL OF WATER SYSTEM
 I HEREBY CERTIFY THAT THE WATER SYSTEM(S) OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED "MISSION HILLS, SECTION 2B" HAS/HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE: _____ NAME: _____
 AUTHORIZED APPROVING AGENT

CERTIFICATE OF APPROVAL OF SEWER SYSTEM
 I HEREBY CERTIFY THAT THE SEWER SYSTEMS OUTLINED OR INDICATED ON THE SUBDIVISION FINAL PLAT ENTITLED "MISSION HILLS, SECTION 2B" HAS/HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND STATE GOVERNMENT REQUIREMENTS, OR A SUFFICIENT BOND OR OTHER SURETY HAS BEEN FILED TO GUARANTEE SAID INSTALLATION.

DATE: _____ NAME: _____
 AUTHORIZED APPROVING AGENT

CERTIFICATE OF APPROVAL OF STREETS AND UTILITIES
 I HEREBY CERTIFY: (1) STREETS AND UTILITIES HAVE BEEN INSTALLED IN A ACCEPTABLE MANNER AND ACCORDING TO CURRENT LOCAL SPECIFICATIONS OR, (2) THAT A PERFORMANCE BOND IN THE AMOUNT OF \$ _____ HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: _____ NAME: _____
 AUTHORIZED APPROVING AGENT

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE LAVERGNE SUBDIVISION REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: _____ NAME: _____
 SECRETARY, PLANNING COMMISSION

OWNER / DEVELOPER:
 MERITAGE HOMES OF TENNESSEE, INC.
 18655 N. CLARET DRIVE, STE 400
 SCOTTSDALE, AZ. 85255

FLOODPLAIN NOTE:
 THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. FEMA FIRM MAP #47149C0105J, DATED MAY 9, 2023.

DEED REFERENCE:
 TAX MAP 29, PARCEL 22.02
 RECORD BOOK 2435, PAGE 281
 ZONING: R-3
 SECTION 2B: 26 LOTS
 SECTION 2B LAND AREA: 7.40± ACRES
 MIN. LOT SIZE = VARIES

MINIMUM LOT SIZE AREA: 3,000 SQ.FT.
 LOT WIDTH AT BUILDING SETBACK LINE: 40 FT.
 MINIMUM YARD REQUIREMENTS:
 FRONT SETBACK: 15 FT.
 SIDE SETBACK: 5 FT.
 REAR SETBACK: 15 FT.

FINAL PLAT - COVER SHEET

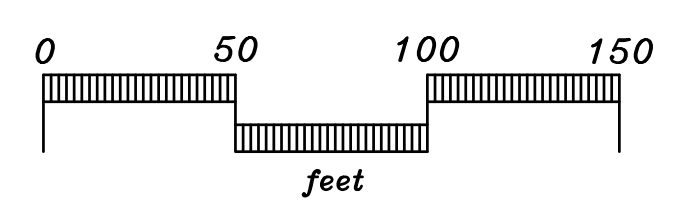
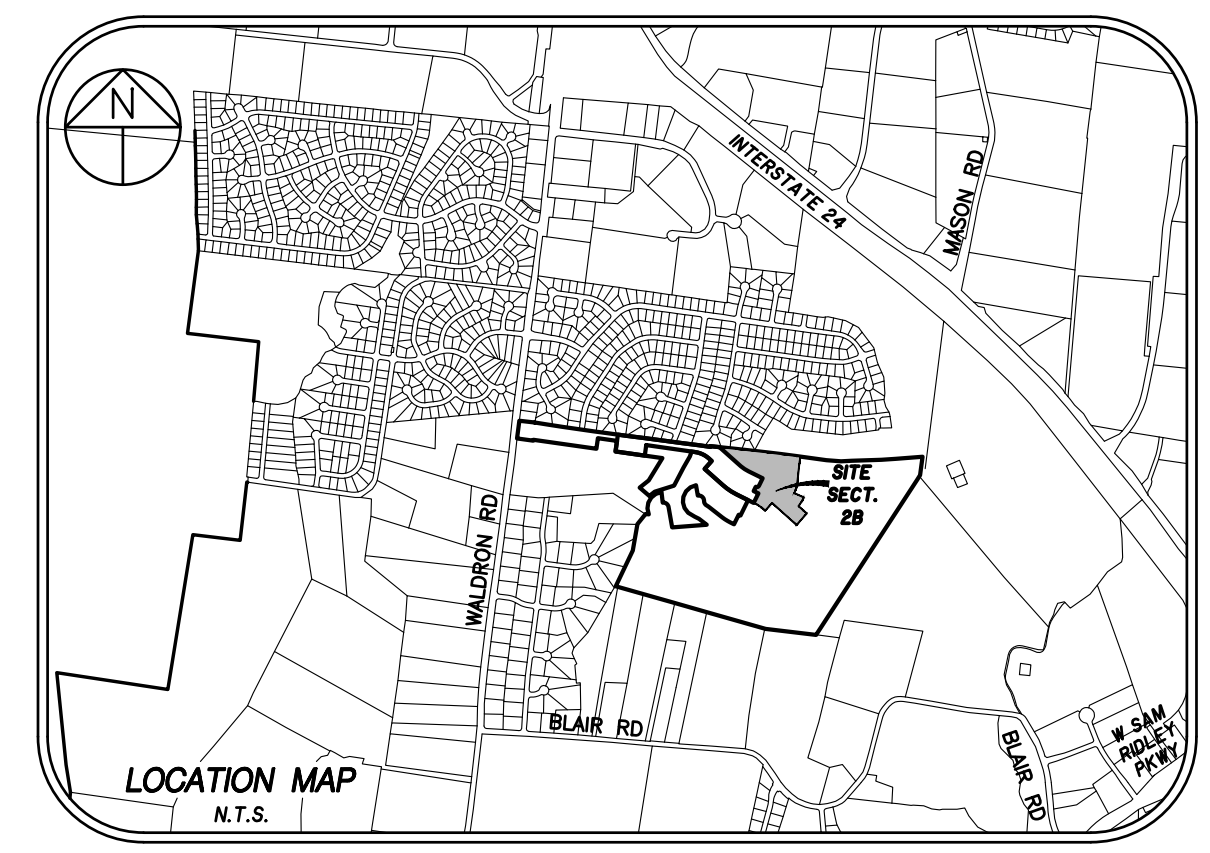
SECTION 2B

MISSION HILLS SUBDIVISION

CITY OF LAVERGNE, TENNESSEE
 3rd CIVIL DISTRICT, RUTHERFORD COUNTY

SEC, Inc.	SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING	850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567	

PROJ. # 22078.38	DATE: 9/29/25	FILE: 22078_Mission Hills-S2B CoverSheet	DRAWN BY: WCC	SCALE: 1" = 200'	SHEET 1 OF 2
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AREA TABLE (OTHER)

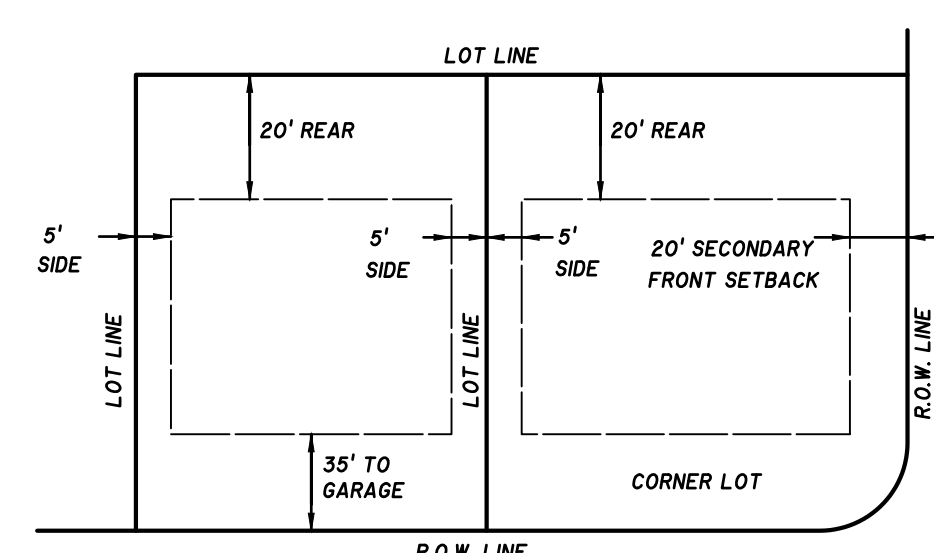
LOT	SO. FT.	ACRES
RIGHT-OF-WAY	80,689	1.85
COMMON AREA #7	59,841	1.37
COMMON AREA #8	14,435	0.33
COMMON AREA #9	2,461	0.06

CURVE DATA

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
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C4	275.00'	010°37'57"	51.03'	S 11°39'49" W	50.96'
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C12	275.00'	004°44'26"	22.75'	S 39°52'14" W	22.75'
C13	25.00'	090°00'00"	39.27'	S 8°14'27" W	35.36'
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C22	275.00'	014°32'55"	69.83'	S 55°02'00" E	69.64'
C23	275.00'	001°22'27"	6.60'	S 62°59'42" E	6.60'
C24	325.00'	000°46'23"	7.08'	N 48°08'44" W	7.08'
C25	25.00'	090°00'00"	39.27'	N 7°19'05" E	35.36'
C26	325.00'	019°15'38"	109.25'	S 15°58'40" W	108.74'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 60°36'20" W	48.21'
L2	N 53°05'00" W	48.03'
L3	N 48°26'35" W	49.75'
L4	S 82°07'16" E	36.86'
L5	S 24°59'45" W	29.99'
L6	S 34°19'37" W	74.60'
L7	S 47°45'33" E	64.55'
L8	S 47°47'50" E	49.80'
L9	N 47°45'33" W	50.00'
L10	N 54°31'15" W	44.94'
L11	N 63°37'38" W	49.51'
L12	N 63°40'55" W	54.44'
L13	N 26°19'05" E	50.00'
L14	N 26°19'05" E	60.00'
L15	N 20°02'03" E	59.71'
L16	N 08°50'32" E	20.28'
L17	S 09°12'01" W	60.36'
L18	S 17°37'16" W	62.16'
L19	S 24°40'20" W	53.15'
L20	N 47°45'33" W	53.17'
L21	N 63°39'00" W	45.56'
L22	S 63°40'55" E	25.00'
L23	S 60°22'30" E	50.19'



OWNER / DEVELOPER:
MERITAGE HOMES OF TENNESSEE, INC.
18655 N. CLARET DRIVE, STE 400
SCOTTSDALE, AZ. 85255

FLOODPLAIN NOTE:
THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. FEMA FIRM MAP #47149C0105J, DATED MAY 9, 2023.

DEED REFERENCE:
TAX MAP 29, PARCEL 22.02
RECORD BOOK 2435, PAGE 28II
ZONING: R-3
SECTION 28: 26 LOTS
SECTION 29 LAND AREA: 7.40± ACRES
MIN. LOT SIZE = VARIES

MINIMUM LOT SIZE AREA: 3,000 SQ.FT.
LOT WIDTH AT BUILDING SETBACK LINE: 40 FT.

MINIMUM YARD REQUIREMENTS:
FRONT SETBACK: 15 FT.
SIDE SETBACK: 5 FT.
REAR SETBACK: 15 FT.

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE _____

FINAL PLAT
SECTION 2B
MISSION HILLS SUBDIVISION
CITY OF LAVERGNE, TENNESSEE
3rd CIVIL DISTRICT, RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 22078.38	DATE: 10/14/25 REV: 10/20/25	FILE: 22078_Mission Hills-2B_Final Plat	DRAWN BY: WCC	SCALE: 1" = 50'	SHEET 2 OF 2
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Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
www.sec-civil.com

October 15, 2025

Gary Lide
City of La Vergne Engineering Department
5175 Murfreesboro Road
La Vergne, Tennessee 37086

RE: Mission Hills Section 2B Final Plat
Opinion of Probable Cost for City Bonding
SEC No. 22078

Dear Gary,

Below is the Opinion of Cost for Items left to be completed:

1. 3-quotes for pavement Median	\$68,360
2. SEC, Inc. Cost for As-Builts	\$7,500
3. General Erosion Control Maintenance	\$5,000
4. General Water and Sewer Maintenance	\$5,000
5. Contingency	\$13,672

Total opinion of probable cost = \$99,532

The pavement cost is based on the listed Average across the three provided bid proposals. The listed median is 65,417.84 (AMI) and the average cost was calculated to be \$68,359.70, so a cost of \$68,360 was used for pavement cost. A contingency of 20% of the pavement cost results to \$13,672.00 based on the \$68,360.

If you have any questions or if I may be of further assistance, I can be contacted by phone at 615-890-7901. My email address is aahmed@sec-civil.com.

Sincerely,

Aws Ahmed, P.E.
SEC, Inc.



PROPOSAL # 25-310552

DATE: 7/17/2025



ESTIMATING

SCHEDULING

Finn DuBois
Estimator

(615) 619-6036
fdubois@amiconstructioninc.com

Anna Ravesloot
Scheduling Coordinator

(615) 619-6028
scheduling@amiconstructioninc.com

TENNESSEE GENERAL CONTRACTOR'S LICENSE NUMBER 52196. Unlimited; HRA, HRA-B, MU-C, MU-D
EMR=0.72

AMI's mission is to glorify God by performing hassle-free projects of the highest quality while establishing long lasting relationships in a safe and positive environment.

PROJECT SUMMARY

PROJECT NAME: Mission Hills Phase 2B

LOCATION: La Vergne, TN

WORK TO INCLUDE:

- Overlay
- Painted Striping - Stop Bars
- Signage (without bollard)

PROJECT DETAILS

OVERLAY (9,108 SY):

- We will sweep and clean the existing asphalt.
- We will apply tack oil to the existing asphalt to help the new asphalt bond to the existing asphalt.
- We will pave with 1.5" of 411 E-mix asphalt and roll for compaction.
- We have included (1) equipment mobilizations.
- Crown adjustment not included.
- Casting adjustment not included.

PAINTED STRIPING:

- We will paint all stop bars with special traffic paint.
- All striping will be placed per the drawings.
- We will use top-of-the-line high-traffic paint and commercial walk behind machines to provide crisp lines.
- We have included (1) equipment mobilizations.

SIGNAGE (WITHOUT BOLLARDS):

- We will supply and install (2) stop signs and signposts.
- We will install the new posts in concrete.
- We will attach the new stop signs to the new posts.

*** Binder repairs or curb repairs not included as they were not marked at the time of our site visit.**

THE AMI ADVANTAGE

FULLY INSURED:

- General liability coverage of \$1,000,000.00 for each occurrence and \$2,000,000.00 general aggregate
- Workers compensation coverage of \$1,000,000.00 for each accident
- Automobile coverage of \$1,000,000.00 for each accident
- Excess umbrella coverage of \$5,000,000.00

PROFESSIONAL COMPANY:

- Member of the Tennessee Road Builders Association
- Member of the Greater Nashville Apartment Association (GNAA)
- Member of the Better Business Bureau with an A+ rating
- Member of the Wilson County/Lebanon Chamber of Commerce
- Celebrating our 30th year anniversary this year
- 2025 Pavement Maintenance & Reconstruction - Top 50 in the Country for Paving, Pavement Repair, Striping, and Sealcoating
- 2025 NBJ - Top 25 Fastest Growing Companies

PRICING BREAKDOWN

We propose to complete the above work in accordance with the above specifications for the sums provided below. You are approving all scopes unless you choose individual scopes below with check marks.

	SCOPE	QUOTE
<input checked="" type="checkbox"/>	<u>PAVING</u>	<u>QUOTE</u>
	OVERLAY	\$ 64,265.34
<input checked="" type="checkbox"/>	<u>STRIPING, SIGNAGE</u>	<u>QUOTE</u>
	PAINTED STRIPING & SIGNAGE	\$ 1,152.50

Payment to be made in cash or by check within **30 days from completion of work** unless otherwise stated below.

AREA OF WORK



PROPOSAL NOTES

GENERAL TERMS & CONDITIONS:

- Site Preparedness & Site Conditions:
 - Owner/Owner Agent (not AMI) is responsible for the removal of any materials or vehicles left in the designated work area prior to arrival, including but not limited to all vehicles, dumpsters, construction debris, shopping carts/racks, bicycle racks, and all other removable items. Any delays due to these items not being moved out of the work area prior to arrival are outside of AMI's control and will cause delays in the ability to meet the originally planned schedule. In the event that the property is not cleared prior to arrival and the job is delayed from starting on time, Owner/Owner Agent will be charged for ruined, spoiled, and/or wasted materials and an additional fee of \$500.00 for the first hour of delay or \$2,500.00 for waits longer than one (1) hour.
 - Any vehicles remaining on the property are to be towed at the expense and direction of others. AMI shall provide a list of towing companies upon request, but will not contact towing companies on the Owner/Owner Agent's behalf.
 - The work area, which includes where all employees, equipment, and trucks are being used or located, must remain clear of all vehicle and pedestrian traffic. Owner/Owner Agent is required to make arrangements with tenants, deliveries, and other vendors that normally need access to the area to ensure that they comply with this requirement. The safety of owner/Owner Agent's employees, tenants, customers, and AMI employees is the top priority. As a result, this policy is strictly enforced.
 - Owner will ensure that sprinklers do not operate in the jobsite area on days that work is being performed, including prior to the arrival of AMI crews. If sprinklers come on during the project, Owner/Owner Agent acknowledges that such action will cause delays in the work and can cause damage to the end product. Any delays or additional work needed to remedy any issues due to sprinklers coming on during the project will be billed accordingly.
 - AMI is not responsible for any damage to ANY underground utilities, including irrigation lines and sprinkler heads.
 - AMI is not responsible for any permitting, engineered drawings, planning commission approval, or the like required for this project. Please note that any of the aforementioned is the responsibility of others.
 - If you request any changes to the size of the area of asphalt, size of landscape islands, or any deviations in the striping, approval may be required from local authorities. AMI assumes no responsibility in submitting for or acquiring approval.
 - Certain municipalities may impose specific requirements regarding temperature and weather conditions under which AMI's work may be performed. Additionally, the effectiveness and longevity of paving, sealcoating, and other scopes are directly affected by current and forecasted weather conditions, including ambient temperature, surface temperature, humidity, and precipitation. AMI reserves the right to delay or reschedule work if, in its professional judgment, weather or temperature conditions are not suitable to ensure the quality and durability of the work, or to comply with applicable municipal standards. If AMI advises the Owner/Owner Agent that weather or temperature conditions are not ideal for the work, and the Owner/Owner Agent directs AMI to proceed with the work despite this advice, then the Owner/Owner Agent does so at their own risk. In such cases, AMI shall not be liable for any defects, failures, or required warranty work that may arise as a result of proceeding under suboptimal conditions. The Owner/Owner Agent expressly waives any claims related to quality, durability, or performance of the work that result from proceeding against AMI's recommendation due to weather or temperature concerns.
- Scheduling:
 - AMI's normal business hours are Monday through Friday, 6am to 5pm Central Standard Time. Work performed outside of stated hours is considered "outside of business hours" for the legal purposes of this Agreement. If Owner/Owner Agent requires work outside of AMI's business hours after an Agreement is made, Owner/Owner Agent is subject to overtime labor charges on the invoice.
 - If Owner/Owner Agent desires to reschedule, suspend, or in any way delay work on a scheduled project, Owner/Owner Agent must provide advanced notice via email to the AMI contact by 2:00 PM CST the business day before any AMI service is scheduled to occur. Failure to do so will cause AMI to incur unnecessary costs. As such, should Owner/Owner Agent fail to provide such notice, Owner/Owner Agent is responsible to AMI for any such costs and will additionally pay to AMI, as invoiced, a charge of \$2,500.00 for each occurrence of delay of scheduled work. For example, if Owner/Owner Agent and AMI have scheduled an 8:00 Monday morning service, and Owner/Owner Agent calls AMI on that Monday at 7:00 AM to postpone or otherwise reschedule that day's scheduled work, Owner/Owner Agent will be charged \$2,500.00 at the time of billing. This charge is not punitive but is rather an estimated total of costs AMI will actually incur due to Owner/Owner Agent's untimely lack of advanced notice.
- Warranty:
 - AMI Construction, Inc. (AMI) provides a limited warranty for work performed that covers any defects in materials and workmanship, including installation. This limited warranty covers all work performed by AMI and any of its subcontractors and starts on the date of installation of each scope and lasts for one calendar year. Anything outside of normal wear and tear for light duty automobile traffic is excluded from this warranty, including but not limited to the following: damage caused by snow removal practices, damage due to any chemical spills or applications, damage due to oil spillage or dripping, damage due to outriggers of any kind, damage due to the placement of any dumpsters onto the pavement or concrete, damage due to any vehicles or trailers with excessive weight, damage due to abuse or neglect, damage due to acts of God or abnormal weather.
- Payment Terms:
 - To avoid late fees, payments must be received by the due date described in Payment Terms below. Except as may be otherwise provided by written contract, all past due balances will be assessed at a 1.5% late fee per month (18% per year), with a minimum fee of \$15.00 per month.
 - Payment terms for all new customers are subject to credit approval. Upon our receipt of approval of the proposed work, all new customers will receive a Credit Application. After AMI receives that application and reviews the results of the credit check, they will notify the customer of their credit terms and execute the proposal. As an alternative to completing the credit application, the customer can choose to prepay. Existing customers with satisfactory and established credit history with AMI Construction will continue to have NET 30 payment terms, unless otherwise agreed to in writing. Under the Net 30 terms, total payment is required no later than thirty (30) days from the date of completion of the project as indicated by the invoice date. Payments should be made via cash, via company check (payable to AMI Construction, Inc., 107 Bay Court, Lebanon, TN 37087), or via ACH Wire Transfer. Credit Card payments are accepted for an additional 3.5% processing fee.
 - To the extent not prohibited by applicable law, Owner/Owner Agent agrees to pay all attorney fees, collection costs, and expenses associated with the collection of this debt and enforcement of this Proposal.

- Owner is advised that under Tennessee's Mechanic's Lien Law (TCA § 66-11-101 et seq.), any unpaid contractor, subcontractor, or material supplier may file a lien against the property for unpaid labor or materials. AMI will provide a written Notice of Nonpayment within the legally required timeline if seeking to assert lien rights.
- Change Orders, Mobilizations, Escalation, and the Bituminous Index:
 - All asphalt suppliers adjust pricing at the first of every month based on the State of Tennessee's Bituminous Index as published at <https://www.tn.gov/content/dam/tn/tdot/construction/Const-bituminousindex.pdf>. Due to the volatility in the current market, we must pass on the escalation costs in materials at the time of increase. Therefore, this proposal is valid until the end of the calendar month at the date of the proposal as shown above.
 - The Proposal/Contract Sum has been calculated based on the component materials, equipment, and labor. However, the construction market is volatile, and sudden price increases could occur. AMI agrees to use their best efforts to obtain the lowest possible prices from available resources, but should there be an increase in the prices after execution of this Agreement for use on this project, the Owner/Owner Agent agrees to pay the price escalation to AMI via Change Order. AMI agrees to only submit a change order if prices escalate by 5% or more. AMI agrees to provide documentation of original price and escalated price if requested by Owner/Owner Agent.
 - Owner/Owner Agent may request modifications to this proposal so long as required changes are within the general scope of this Agreement. In addition to Owner-initiated changes, AMI may require changes based on, but not limited to, environmental, structural, or logistical findings within the course of work. The proposal sum and the amount of time required to perform the project shall be adjusted as necessary, but agreement as to the amount of the adjustment must be reached before AMI commences said change or additional work, or expends any costs necessitated by said changes. Execution of a written change order is a condition precedent to performing the work and completing the project, except for work performed in emergency situations at the direction of and verbal agreement by Owner/Owner Agent.
 - Pricing is based on AMI having uninterrupted and unrestricted access to the job site and/or job phases as outlined in the Project Details above. If the work takes longer than AMI has included in their Proposal due to AMI's labor performance, AMI's material availability, etc., additional costs resulting from the delay will be absorbed by AMI. If the owner/Owner Agent/general contractor causes any delay by altering the conditions of the site or by restricting AMI's access to the site causing AMI to have additional demobilizations/mobilizations and/or additional labor days on site above what is included in the Project Details above, the owner/Owner Agent/general contractor agrees to issue a change order and pay AMI for the additional cost as outlined in the table below. Labor will be billed in ½ day increments, with ½ day being the minimum charge.

Crew	Amount	Unit of Measure
If the Base Stone crew has time on the job extended	\$1,960.00	Per crew, per ½ day
If the Base Stone equipment has to be removed or delivered to the site more than the number of times included on the proposal	\$1,776.80	Per each removal or delivery to the site
If the Concrete crew has time on the job extended or if the minimum access to curb is not met	\$3,473.63	Per crew, per ½ day
If the Milling crew has time on the job extended	\$2,173.50	Per crew, per ½ day
If the Paving crew has time on the job extended	\$3,750.00	Per crew, per ½ day
If the Paving equipment has to be removed or delivered to the site more than the number of times included on the proposal	\$1,776.80	Per each removal or delivery to the site
If the Sealcoating crew has time on the job extended	\$1,634.75	Per crew, per ½ day
If the Striping, Signage, Misc crew has time on the job extended	\$616.00	Per crew, per ½ day
If the Traffic Control Crew has time on the job extended	\$770.00	Per crew, per ½ day

- Right to Cure:
 - AMI maintains its Right to Cure. The Owner/Owner's Agent is responsible for notifying AMI in writing of any workmanship defects or warranty concerns within three (3) business days of the occurrence. AMI will then have ten (10) business days (or such time as is relatable to the severity of the workmanship defect) to remedy the defect before the Owner/Owner's Agent may issue a back charge or any other punitive action against AMI. AMI will not be responsible for any back charges or workmanship defects that AMI was not alerted to and given the opportunity to cure based on the parameters listed in this section.
- Termination or Suspension of Contract:
 - If the Owner/Owner Agent desires to cancel the contract, they must notify AMI in writing at least 30 days before the project is projected or scheduled to begin. If the contract is canceled by the Owner/Owner Agent within 30 days of the projected start date, the Owner/Owner Agent agrees to pay 5% of the total signed contract value to AMI (due within 5 days of contract cancellation), with a minimum charge of \$750, unless otherwise agreed to by both parties in writing. If the contract is cancelled after work is started, Owner/Owner Agent agrees to pay for work performed to date, costs to demobilize, and any costs associated with pre-purchased materials or material orders that can not be cancelled. This charge is not punitive, but rather an estimated value of overhead and other costs associated with planning and preparing to begin the project.
 - AMI shall be excused from its performance for a reasonable period of time to the extent that it is prevented, hindered, or delayed by a force majeure occurrence.
 - In the event work is temporarily or permanently paused, halted, restricted, stopped, or in any way impeded by a government entity, including but not limited to boards, HOAs, localities, cities, municipalities, counties, states, federal or other agencies acting on behalf of a government entity, Owner/Owner Agent will notify AMI Construction, Inc. immediately of the stoppage order. Should a government agency indicate or notify AMI's onsite crew, supervisor, or staff of a stoppage, AMI will notify Owner/Owner Agent immediately and will remove itself and equipment from the jobsite. Stoppage of work for any reason or amount of time will trigger a "progress payment" requirement. Owner/Owner Agent agrees to pay AMI Construction, Inc. for the progress made up to and including the date of stoppage. Terms for the progress payment will be "Due Upon

Receipt” and should be paid immediately upon receiving the progress payment invoice from AMI. Once work resumes on the job and the project is completed, AMI will invoice for the remaining balance of the project, with terms as agreed upon in the original contract (typically Net 30 days from project completion date).

- Dispute Resolution:
 - To the fullest extent permitted by applicable law, AMI's total liability to the Owner/Owner Agent for any and all claims, losses, expenses, damages, or causes of action arising out of or relating to this Agreement, whether in contract, tort (including negligence), or otherwise, shall be limited to the total amount paid by the Owner/Owner Agent to AMI under this Agreement. In no event shall AMI be liable for any indirect, incidental, consequential, special, or punitive damages, including but not limited to loss of profits, revenue, or business opportunities, even if AMI has been advised of the possibility of such damages.
 - Disputes shall first be attempted to be resolved informally. If unresolved, either party may elect to mediate or arbitrate in accordance with the Tennessee Uniform Arbitration Act, unless litigation is necessary. Venue shall be in the county where the project is located.
- Miscellaneous Provisions:
 - This proposal constitutes the entire agreement between the parties, and all previous agreements and negotiations, whether written or verbal, relating to the subject matter herein, are declared to be null and void except as herein stated. No amendment to this proposal hereinafter made between parties shall be binding unless reduced to writing and signed by an officer or authorized representative of both parties.
 - The use of Vendor/Subcontractor Portals must be discussed and agreed to in writing prior to estimating or the customer waives all rights to enforce AMI's use of the vendor portal as a requirement for payment. If the customer wishes to discuss the vendor portal setup after receiving pricing from AMI, the customer understands that the pricing for their project may be adjusted to reflect any registration fees incurred by AMI associated with the setup of the Vendor/Subcontractor portal.
 - The headings and titles used in this Agreement are for convenience and organizational purposes only and shall not affect the meaning, interpretation, or legal effect of any provision of this Agreement.
 - If any term, provision, covenant, or condition of this Agreement is held by a court of competent jurisdiction to be invalid, illegal, or unenforceable for any reason, the remaining portions of this Agreement shall remain in full force and effect and shall in no way be affected, impaired, or invalidated. AMI and Owner/Owner Agent agree to replace any invalid or unenforceable provision with a valid provision that most closely approximates the original intent and economic effect of the invalid provision.

SPECIFIC TERMS & CONDITIONS:

- Subgrade must be within +/- .10 before base stone application.
- Subgrade under curbing must be within +/- .10 before curb application.
- Staking/Surveying will be provided by others and at the expense of others prior to our arrival. If AMI is required staking/surveying, that work will be performed at an additional cost.
- All pricing is based on the civil plans provided to AMI. AMI is not responsible for changes in the scope or in the plans that were not communicated to AMI.
- No warranty is provided on any striping performed on concrete surfaces.
- Any extra mobilizations over what was included in our proposal will be an additional charge.
- We have assumed that we can have access to our whole scope of work at one time. If smaller sections are required, there will be additional charges.
- Traffic control is not included in the proposal.
- Owner and/or his agent (not AMI) is responsible for the removal of any materials or vehicles left in the designated work area prior to our arrival, including but not limited to all vehicles, dumpsters, construction debris, shopping carts/racks, bicycle racks, and all other removable items. Any delays due to these items not being moved out of the work area prior to our arrival are outside of our control and will cause delays in our ability to meet the originally planned schedule. In the event that the property is not cleared prior to our arrival and we are delayed in our starting on time, you will be charged an additional fee of \$500.00 per hour of delay. Any vehicles/materials remaining on the property are to be towed/moved at the expense of others (unless an authorization form has been signed for AMI to perform towing services, in which the owner/representative is responsible for reimbursing AMI for services rendered.)
- AMI is not responsible for any damage to ANY underground utilities, including irrigation lines and sprinkler heads.
- We have no knowledge as to the stability of the base underneath the existing asphalt. We are assuming that the base is firm and unyielding and will handle the load of full sized dump trucks, a milling machine, and a large paving machine. AMI is not responsible for any damage caused by driving any of our equipment on the existing parking lots at your facility. If we find that the base is not firm and fails with the load of our equipment, we will notify you immediately and present options to you for moving forward. You will be responsible for any costs associated with any work needed to the subgrade or base stone.
- Pricing is based on the TDOT Bituminous index of June 2025. Pricing is to be adjusted to the index at the time of actual material purchase.
- AMI will provide safety cones around the work area to prevent pedestrian traffic. AMI is not responsible for guarding the new concrete after it has been put in place. AMI is not responsible for any damage done to the concrete immediately after the pour and during the curing process including but not limited damage done by writing, walking, or driving on the new concrete.
- AMI is not responsible for any permitting, engineered drawings, planning commission approval, or the like required for this project. Please note that any of the aforementioned is the responsibility of others.
- If you request any changes to the size of the area of asphalt, size of landscape islands, or any deviations in the striping, you could be required to get approval from your local authorities. AMI is assuming no responsibility in submitting for or acquiring approval.
- All testing is excluded from this proposal.
- In the event of significant delay or price increase of material, equipment, or energy occurring during the performance of the contract through no fault of the Sub contractor, the contract sum, time of completion or contract requirements shall be equitably adjusted by change order. A change in price of an item of material, equipment, or energy will be considered significant when the price of an item increases 5% between the date of this contract and the date of installation. Contractor agrees to change orders of actual cost plus 10%.
- The use of Vendor/Subcontractor Portals must be discussed and agreed to in writing prior to estimating or the customer waives all rights to enforce AMI's use of the vendor portal as a requirement for payment. If the customer wishes to discuss the vendor portal setup after receiving pricing from AMI, the customer understands that the pricing for their project may be adjusted to reflect any registration fees incurred by AMI associated with the setup of the Vendor/Subcontractor portal.

ACCEPTANCE OF ESTIMATE

The above specifications and prices are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

This proposal may be withdrawn by us if not accepted within 30 days from the date of the proposal as shown above.

YOUR SIGNATURE: _____ **DATE:** _____

PRINTED NAME & TITLE: _____

ACCOUNTS PAYABLE CONTACT: _____

ACCOUNTS PAYABLE EMAIL ADDRESS: _____

ACCOUNTS PAYABLE PHONE #: _____

BILLING ADDRESS: _____

PLEASE CHECK IF YOU ARE A NEW CUSTOMER:

First time customers will receive a link to complete a credit check, which needs to be completed before documents will be executed and before the project can be scheduled. If a new customer wishes to bypass the credit application process, they can pay in full before the work is scheduled.

****IF A VENDOR PORTAL IS REQUIRED FOR PAYMENT, PLEASE LIST THE NAME OF THE PORTAL, ANY REQUIRED FEES ASSOCIATED WITH THE USE OF THE PORTAL, & ANY PERTINENT INFORMATION REGARDING THE PORTAL BELOW:**



RUSTY MCDONALD, PRESIDENT

AMI CONSTRUCTION, INC.

DATE: 7/17/2025



1441 Elm Hill Pike

Phone 615-627-2901

Nashville, TN. 37210

Fax 615-627-2906

DATE: 07/15/25

PROPOSAL # BUDGET

FROM: Darden Shadrach
JOB: Mission Hills Ph. 2B Topping

LOCATION: La Vergne

Description	approx. Quantity	Unit	Unit Price	Total
Asphalt				
Tack & Surface 1.5"	4,595	SY	\$ 13.75	\$ 63,181.25
Bituminous Adjustment (July 2025)	1	LS	\$ -	\$ -
	TOTAL			\$63,181.25

This is a budget only.

EXCLUSIONS:

1. Any Subgrade Work
2. Engineering & Layout
3. Testing or its Expense
4. Bonds or Associated Fees
5. Rebar in Curbs
6. Utilities and/or Adjustments
7. Signs
8. Seeding or Sodding
9. Fees & Permits
10. Any work not specifically stated above.

Quote is based on April 2022 TDOT Bituminous Index. (\$659.17)
Prices will be adjusted in accordance with the TDOT Bituminous Index, based on the variance from the month the job was quoted to the month the work is done.



1441 Elm Hill Pike

Phone 615-627-2901

Nashville, TN. 37210

Fax 615-627-2906

DATE: 07/15/25

PROPOSAL # BUDGET

FROM: Darden Shadrach
 JOB: Mission Hills Ph. 2A Topping

LOCATION: La Vergne

Description	approx. Quantity	Unit	Unit Price	Total
Asphalt				
Tack & Surface 1.5"	4,365	SY	\$ 13.75	\$ 60,018.75
Bituminous Adjustment (July 2025)	1	LS	\$ -	\$ -
	TOTAL			\$60,018.75

This is a budget only.

EXCLUSIONS:

1. Any Subgrade Work
2. Engineering & Layout
3. Testing or its Expense
4. Bonds or Associated Fees
5. Rebar in Curbs
6. Utilities and/or Adjustments
7. Signs
8. Seeding or Sodding
9. Fees & Permits
10. Any work not specifically stated above.

Quote is based on April 2022 TDOT Bituminous Index. (\$659.17)
 Prices will be adjusted in accordance with the TDOT Bituminous Index, based on the variance from the month the job was quoted to the month the work is done.

EARTHWORK & SITE UTILITIES BID PROPOSAL



Middle Tennessee Infrastructure, Inc.

105 Homewood Drive
 Murfreesboro, TN 37127

Contact: Tristan Carroll
 Phone: 615-624-3014
 Email: Tristan.Carroll@midtni.com

Handwritten signature
 V.P. of Operations
 7-17-25

Quote To: Chelsee Campbell
 Company: Meritage Homes
 Phone: 615-992-2004
 Email:

Project Name: Mission Hills 1-4 Paving
 Project Address: Waldron Road
 Plans Date: 5/3/24
 Revision Date:

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
Phase 1					
101	Base/Prime/Binder (8" & 2")	3,280.00	SY	31.00	101,680.00
102	Curb and Gutter	2,145.00	LF	19.00	40,755.00
103	Temporary Turnaround	900.00	SY	18.00	16,200.00
104	Topping (1.5")	3,280.00	SY	16.00	52,480.00
Phase 1 Total					211,115.00
Phase 2A					
201	Base/Prime/Binder (8' & 2")	4,365.00	SY	31.00	135,315.00
202	Curb and Gutter	3,245.00	LF	19.50	63,277.50
203	Extruded Curb	300.00	LF	15.00	4,500.00
205	Topping (1.5")	4,365.00	SY	16.00	69,840.00
Phase 2A Total					272,932.50
Phase 2B					
251	Base/Prime/Binder (8' & 2")	4,780.00	SY	31.00	148,180.00
252	Curb and Gutter	2,935.00	LF	19.50	57,232.50
254	Temporary Turnaround	1,500.00	SY	18.00	27,000.00
255	Topping (1.5")	4,780.00	SY	16.00	76,480.00
Phase 2B Total					308,892.50
Phase 3					
301	Base/Prime/Binder (8' & 2")	6,165.00	SY	33.00	203,445.00
302	Curb and Gutter	4,435.00	LF	20.00	88,700.00
303	Temporary Turnaround	900.00	SY	18.00	16,200.00
304	Topping (1.5")	6,165.00	SY	16.00	98,640.00
Phase 3 Total					406,985.00
Phase 4					
401	Base/Prime/Binder (8' & 2")	5,005.00	SY	35.00	175,175.00
402	Curb and Gutter	3,325.00	LF	21.00	69,825.00
403	Topping (1.5")	5,005.00	SY	16.00	80,080.00
Phase 4 Total					325,080.00

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
GRAND TOTAL					\$1,525,005.00

NOTES:

**Exclusions:

- Striping
- Signage
- Wheel Stops
- Speed Bumps
- Subgrade Prep
- Layout
- Undercut of Unsuitable Soils
- Mailbox Kiosk

Company	Section 2B	
AMI	\$65,417.84	Median
Four Star	\$63,181.25	
MTI	\$76,480.00	
Average	\$68,359.70	

Pavement	\$68,360.00
As-Built	\$7,500.00
EPSC	\$5,000.00
W/S Maint.	\$5,000.00
Contingency	\$13,672.00
Total	\$99,532.00



Item #: 8. Site Plan - 164 Chaney Boulevard - Ten Townhomes on 0.96 Acres. Requested by Morley Corp. Property located at 164 Chaney Boulevard (Tax Map 18P, Group E, Parcel 4). R-3 (High Density Residential) Zoning District. Property owned by Fahim Eryan. (DEFERRED)

Reviewed By:

Bo Logan, City Planner
Gary Lide, City Engineer

Summary:

On behalf of their client, Morley is requesting approval of the site plan for 164 Chaney, a townhome community.

The site is 0.96 ± acres. The purpose of the plan is to make way for new multi-family residential development.

The property is located off Chaney Blvd. The proposed layout on the plan shows 10 proposed dwelling units in two (2) new buildings. One building will contain 6 units and the other 4. Each will be 2 stories tall.

The City's parking requirements are 30 spaces (3 per unit). The applicant is showing 30 proposed parking spaces. That number includes 2 HC spaces.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@laveragnetn.gov; and Jake Blair - jblair@laveragnetn.gov)

No comments.

Engineering (Gary Lide - glide@laveragnetn.gov)

1. Provide a filled-out copy of the Longterm Maintenance Agreement (LTMA). This includes the Longterm Maintenance Plan (LTMP) for the stormwater system. The LTMA form can be found at the following link: <https://www.laveragnetn.gov/DocumentCenter/View/3971/Long-Term-Maintenance-Agreements---La-Vergne>. The LTMP format is at the discretion of the engineer.
2. Add radius returns to driveway entrance. 15' min is required per CVity Standard Detail C009. (Link to Standard Specifications: <https://www.laveragnetn.gov/DocumentCenter/View/4672/Public-Works-Standard-Specifications-Section-3---Roads-Bridges-Drainage-and-Grading>) In this case, the Engineering Department will accept a 10' radius return on the south side to avoid overlapping with the southern neighbor. The north radius return must be 15'.
3. (For Planning Commission Discussion) The entry drive is shown as 24' wide. This is less than the 36' minimum required for a multi-family primary entrance. However, there are only ten units on this development with no room for additional growth.
4. (Sheet C101) Show lane striping at entrance up to first parking area.
5. (For information) Traffic study has not been requested due to it only being ten units.
6. (Sheet C101) There are 30 parking spaces shown. By our understanding of the ADA requirements, two handicap spaces (one of them van-accessible) are required. Please either provide documentation that these are not required by ADA or show them on the plan.

7. (Sheet C101) If a monument sign is planned along the road frontage, show it with a description of its height and size.
8. (Sheet C102) Show the Water Quality Unit (AquaSwirl) on the plan. Show inlet and outlet elevations.
9. (Sheets C102 and C502) It appears that the pond outlet structure is labeled as STR305 on Sheet C102 and STR300 on Sheet C502. Clarify.
10. (Sheet C102) Show riprap pad for energy dissipation at the outfall of HW300.
11. (Sheet C102) Provide erosion control blanket in the flowpath of the ditch from the riprap area in the southwest corner of the site to the site outfall in the northwest corner.
12. (Sheet C102) Show erosion control blanket on all slopes steeper than 5:1.
13. (Sheet C102 or C502) Provide a detail and/or a specification for riprap pads and areas. Include the D50 of the stone.
14. (Sheet C100) Temporary Construction Ingress/Egress Pad must be 100 feet long.
15. (Sheet C102) Rename this sheet "Grading, Drainage, and Final Erosion Control Plan". This is required for compliance with the city stormwater ordinance.
16. (Sheet C101) Show required ADA-compliant H/C ramps in public sidewalk where it is cut by entry drive.
17. (Sheet C101) Add note that the public sidewalk will be repaired after completion of construction.
18. (Sheet G100) Add the applicable required City General Notes. They can be found as 'General Information G04' in the document at the following link: <https://www.lavergnetn.gov/DocumentCenter/View/4671/Permitting-and-Construction-General-Information-and-Requirements>
19. (Sheet C101) Provide narrative regarding how garbage will be handled. Confirm that a dumpster pad and enclosure will not be required.

Utilities (Scott Tatalovich - statalovich@lavergnetn.gov)

1. Sht G100 – Under Note 2 indicating “Tennessee Underground Utility Locate Service Phone:811,” should also indicate to call 3 days before digging. Recommend to make this it’s own note, rather than subtext under Note 2.
2. Sht G100 – Under Note 5, should indicate “City of La Vergne” Standard Specifications rather than TDOT Standard Specifications.
3. Sht G100 – Plan set shall have a survey datum statement indicating both horizontal and vertical control. I see a Project Benchmark indicated on Sht C102, with vertical control referenced as NAVD1988. Plans shall be in Tennessee State Plan coordinates.
4. Sht C103 - Each unit’s grinder pump tank shall connect to the low-pressure force main with a sewer connection box per City Std Dtl 19.0 (containing a ball-check valve and a ball valve). Because of this, all units shall connect directly to a public sewer extension in a 20-foot public utility easement located within your property to serve Units 1-6.
5. Sht C103 – provide 10’ public utility easement at the front of the property for all the water meter banks at the front of the site.
6. Sht C103 – Public water services under pavement (Chaney Blvd) shall have a PVC sleeve, per City Standard Specifications 2” larger than the service size.
7. Sht C103 – Sanitary Sewer General Note 2, shall be removed. Note 1 has the plans covered. Onsite gravity sewer plumbing shall be sch 40 per City Std Dtl 1.0. All pressure sewer shall also be sch 40.
8. Sht C103 – Sanitary Sewer General Note 3, shall be removed. It does not apply.
9. Sht C103 – Waterline General Note 2 shall be corrected to read “Public waterlines less than 3” shall be PVC, SDR 21”, which applies to the 2” laterals across the street to serve the water meter banks.
10. Sht C103 – Waterline General Note 3 shall be removed it does not match City Standards and also does not apply.
11. Sht C103 – Waterline General Note 5 shall be removed, it doesn’t apply and other options are available in City Standards that may fit certain circumstances, if it did apply.
12. Sht C103 – Show sewer cleanouts on gravity lines from building to grinder pump tanks.
13. Sht C103 – For your information, City of La Vergne grinder pumps require a 240V electrical service.
14. Sht C103 – For your information, Grinder pump tank panels should be mounted to the building approximately 5 feet off the ground and have a continuous electrical power cable between pump and panel inside a conduit.
15. Sht C103 – Provide as much clearance as possible for sewer force main from tree plantings along north side of site, and indicate clearance in next submittal. Provide a minimum 10’ clear of trees.

Codes (Joe White - jwhite@lavergnetn.gov)

No comments.

Fire (Curtis Brinkley - cbrinkley@lavergnetn.gov)

No comments.

Police

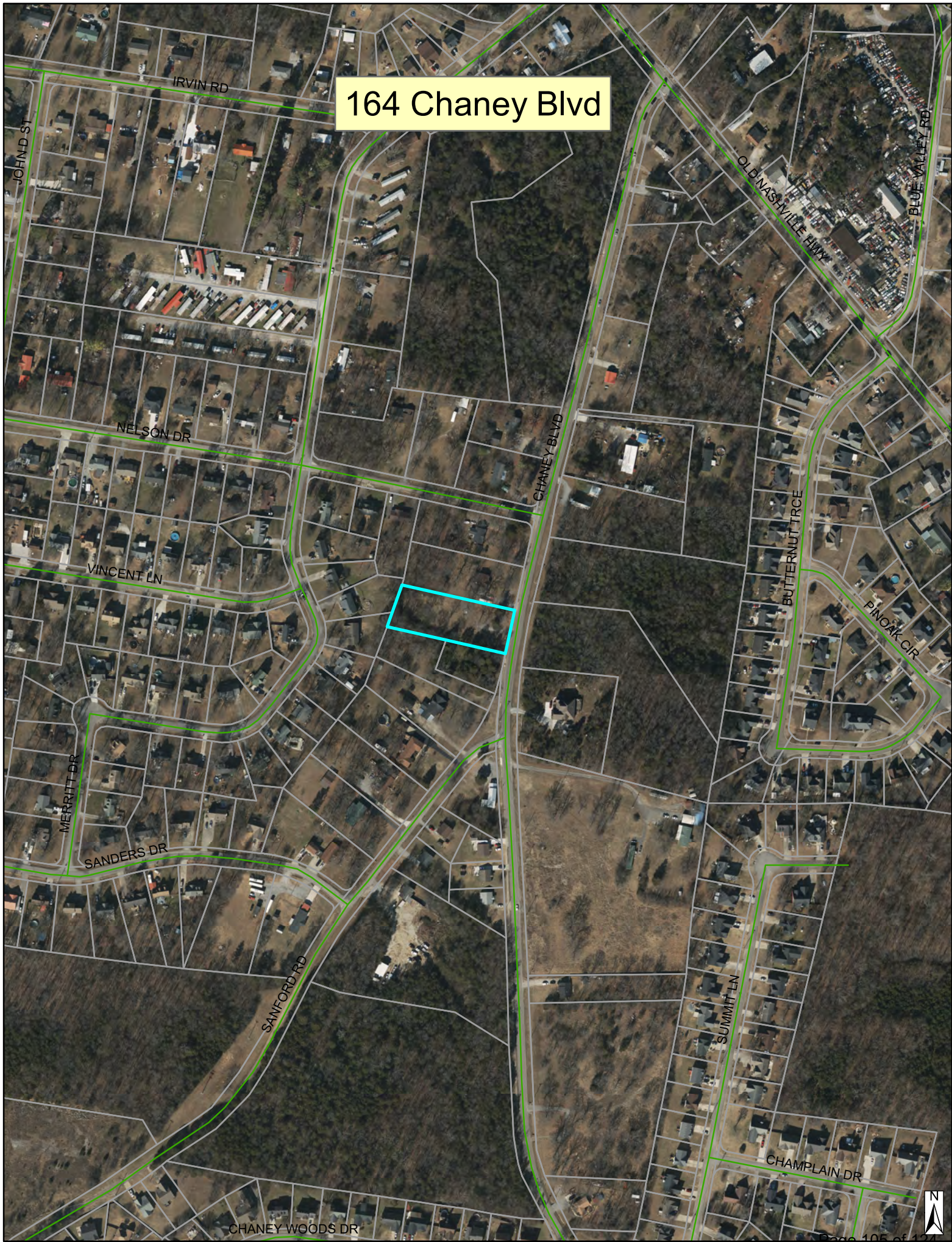
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

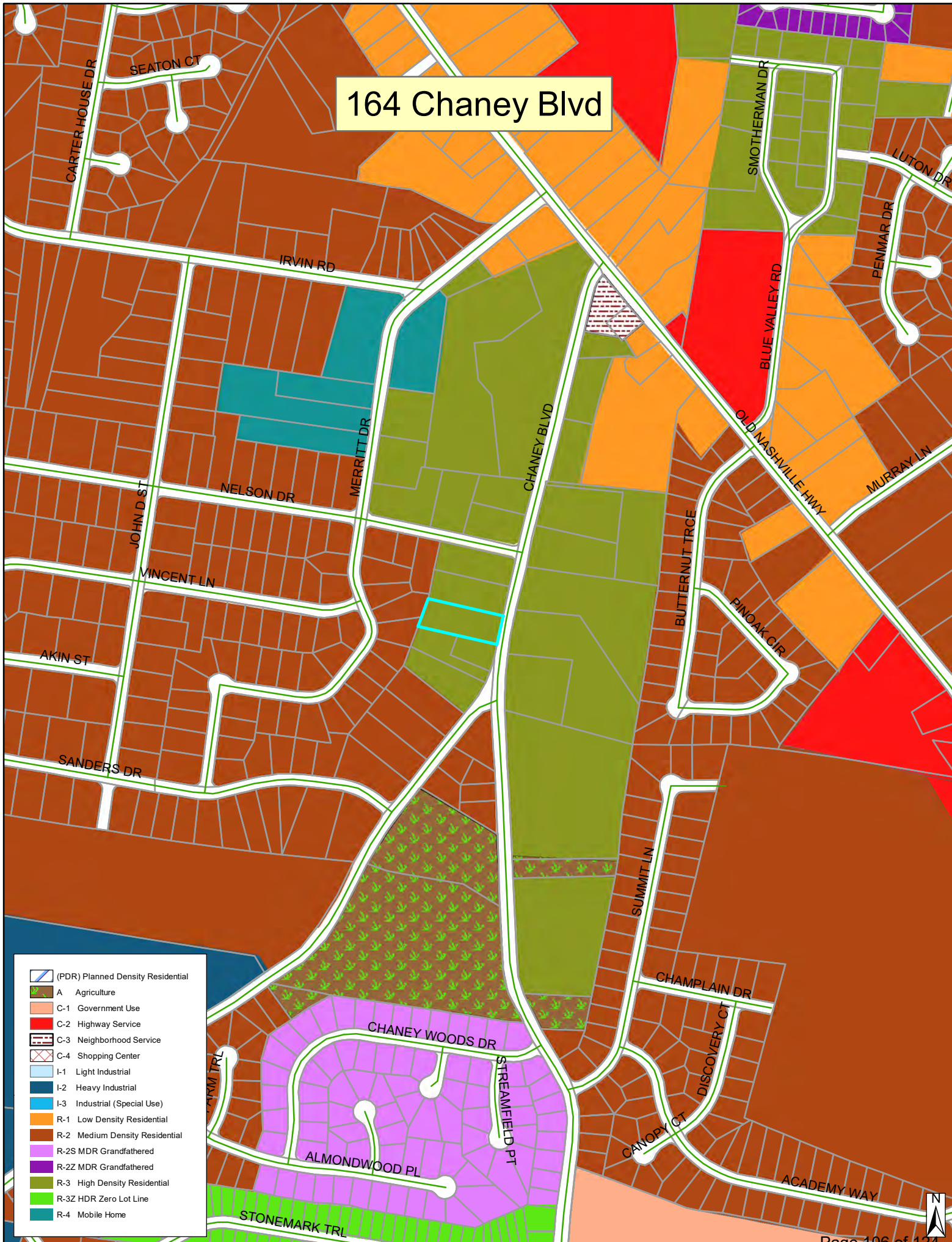
164 Chaney Blvd



















164 Chaney Blvd



164 Chaney Blvd



-  (PDR) Planned Density Residential
-  A Agriculture
-  C-1 Government Use
-  C-2 Highway Service
-  C-3 Neighborhood Service
-  C-4 Shopping Center
-  I-1 Light Industrial
-  I-2 Heavy Industrial
-  I-3 Industrial (Special Use)
-  R-1 Low Density Residential
-  R-2 Medium Density Residential
-  R-2S MDR Grandfathered
-  R-2Z MDR Grandfathered
-  R-3 High Density Residential
-  R-3Z HDR Zero Lot Line
-  R-4 Mobile Home





164 Chaney Blvd.

Site Plan LaVergne, Rutherford County, TN



Site Location Map
Scale 1" = 500'

Sheet List Table

Sheet	Title
G100	Cover Sheet
C100	Existing Conditions / Erosion Control Plan
C101	Site Plan
C102	Grading and Drainage Plan
C103	Utility Plan
C104	Landscape Plan
C501	Site Details
C502	Grading and Drainage Details
C503	Utility Details

Resource List

Water Department Supervisor
1500 E. Nir Shreibman Blvd.
La Vergne, TN 37086
Phone: (615) 793-9891
Jeremy Buskus

Piedmont Natural Gas
Phone: (877) 279-3636
<https://gasadvantage.piedmontng.com>

Middle Tennessee Electric
Phone: (877) 777-9020
<https://www.mte.com>

Stormwater Services
1500 E. Nir Shreibman Blvd.
La Vergne, TN 37086
Phone: (615) 287-8658
Alexandra Thompson

AT&T
Phone: (800) 620-6000

Sewer Department Supervisor
1500 E. Nir Shreibman Blvd.
La Vergne, TN 37086
Phone: (615) 862-9891
Shane Stott

Comcast
Phone: (888) 266-2278
<https://www.xfinity.com/>

Street Department Supervisor
1500 E. Nir Shreibman Blvd.
La Vergne, TN 37086
Phone: (615) 793-9891
Douglas Oakley

City Planner
1500 E. Nir Shreibman Blvd.
La Vergne, TN 37086
Phone: (615) 287-8702
Bo Logan

General Notes:

- Contractor shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work.
- The contractor is cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of various utility companies, and where possible measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must contact the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities.
Tennessee Underground Utility Locate Service
Phone: 811
- The contractor shall verify all measurements and be responsible for any mistakes they may make as a result. If the contractor discovers any discrepancies in figures on the drawings, he/she shall report same to the Engineer before proceeding with any work affected by the discrepancy, and shall be held responsible for results should he/she fail to make such effort.
- Local, state, and national laws and guidelines shall take precedence over design information if in conflict. Contractor shall inform client and Morley and Associates, Inc. in writing if any conflicts arise.
- Material specifications shall be in conformance with applicable portions of the TDOT Standard Specifications, (latest edition), memorandums and supplements unless specifically stated otherwise on these plans, contract documents or local code.
- Contractor shall be familiar with all plans associated with the project as it relates to the preparation and construction of all improvements, such as architectural, structural, MEP, and landscape plans.

Site Summary

Property Information
Proposed Use = Multifamily Residential Units (Townhouses)
Existing Use = Vacant
Current Address = 164 Chaney Blvd. LaVergne, TN 37086
Parcel ID. = 018P-E-004.00
Lot Area = ± 0.96 Acres (±41,758 SF)

Zoning Information
Current Zoning Classification = R3 - High Density Residential
Building Setbacks = Front: 35'
Side: 10'
Rear: 20'

Building Information
Proposed Buildings Gross Floor Area = 7,650 (18%)
Max. Building Height = 2 stories - 36'

Site Information
Number of Units = 10
Gross Density = 10 units per acre
Pervious Area = 15,526 SF (37%)
Impervious Area = 26,232 SF (63%)
Lot Coverage = 63%
Proposed Building Coverage = 7,650 SF

Parking Information
Required Parking Spaces = 30 (3 per unit)
Available Parking Spaces = 30

Landscape
Required Landscape = 3 canopy trees (2.5" caliper) per acre = 3
= 3 understory (1.5" caliper) per acre = 3
= 15 shrubs (18" high) per acre = 15

Proposed Landscape = 26 canopy trees
= 14 understory trees
= 119 shrubs

Surveyor

Dale Associates
615-297-5166
516 Heather Place
Nashville, TN 37204

Owner/Developer

Fahim Eryan
franksabry@yahoo.com
615-305-3766
2089 Brookstone Drive
Mount Juliet, TN 37211

Civil Engineer



MORLEY
ARCHITECTS | ENGINEERS | SURVEYORS

Morley
Attn: Alejandro Mojica, PE
alejandrom@morleycorp.com
(615) 988-7668
2603 Elm Hill Pike, Suite 1
Nashville, TN 37214



All ideas, designs, calculations, and arrangements indicated or represented by this drawing are owned by and are the property of Morley and Associates, Inc. and were created as instruments of service for use on and in connection with the specified project. Morley and Associates retains all common law, statutory law and other rights, including copyrights. No drawings or electronic files shall be reused for any purpose other than the project. They shall not be disclosed to or be used by any other person or firm without the written consent of Morley and Associates, Inc. Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. must be notified of any variations from the dimensions and conditions shown by these drawings. If differences exist between electronic files and the signed and sealed hard copy drawings, the hard copy shall govern.

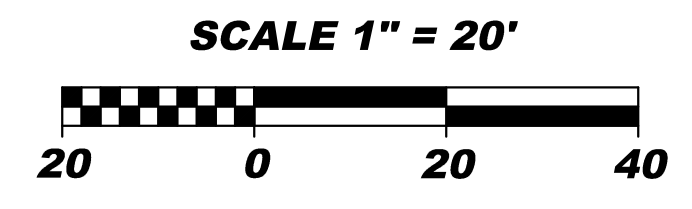
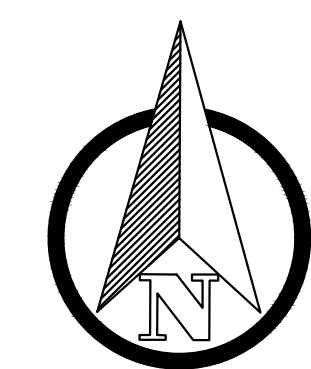
4800 Rossford Ln., Newburgh, IN 47630
812.464.9585 Home 812.464.2514 Fax
morleycorp.com

164 Chaney Blvd. LaVergne, TN 37086

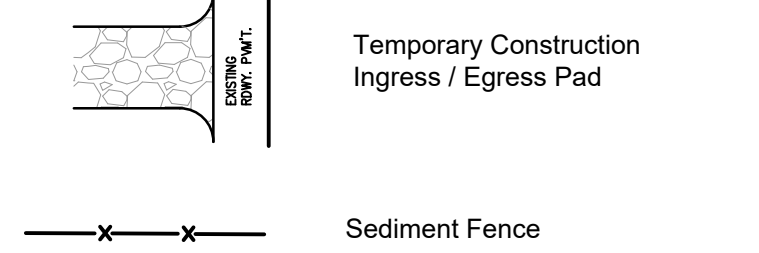
Existing Conditions / Erosion Control Plan

No.	By	Date

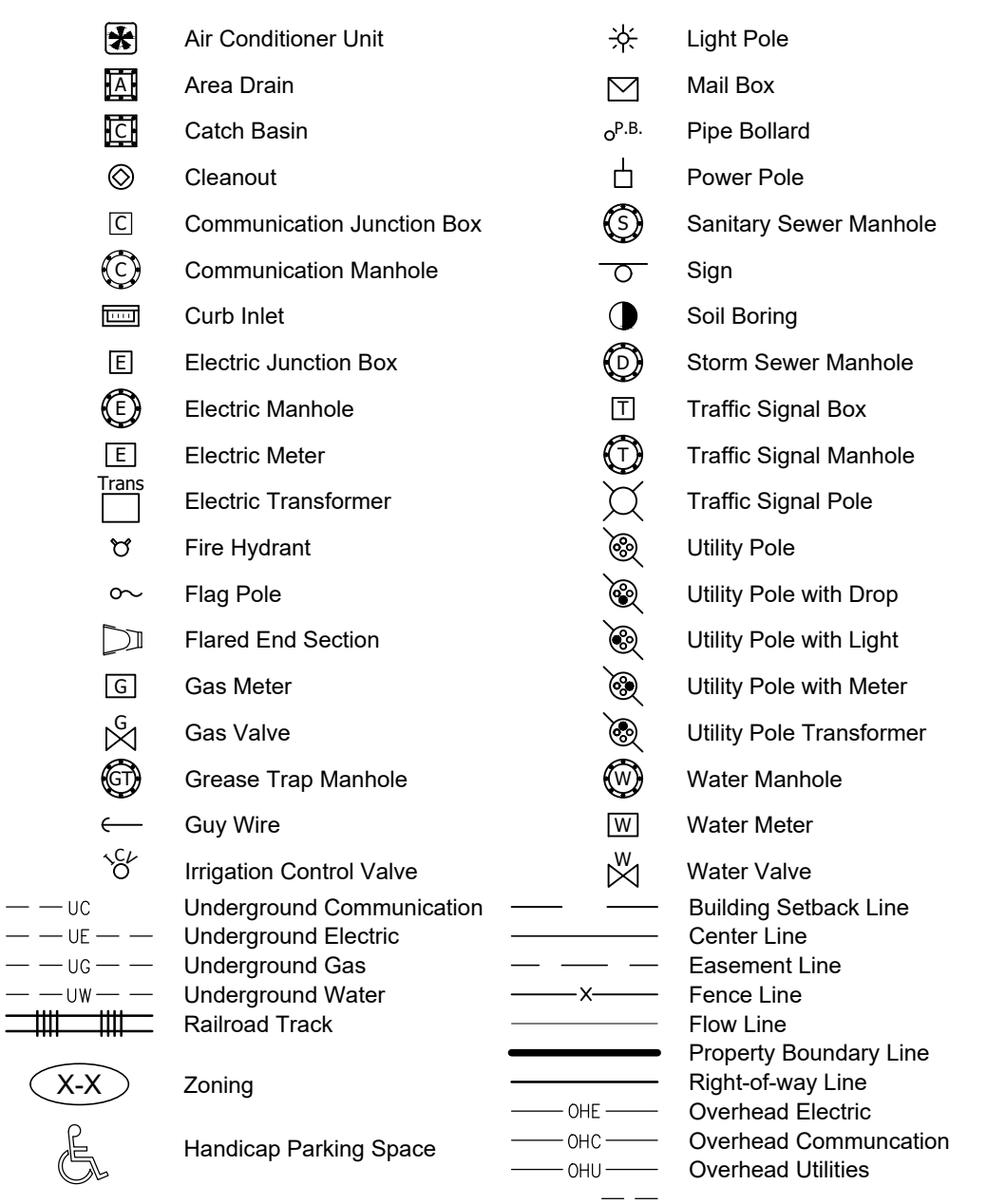
Revisions	
Scale: 1" = 20'	
Designed By: AMC	Job Number: 13233.1001-A
Drawn By: KPR	Date: 09/29/2025
Filename: 13233 Civil Base	
Sheet Number: C100	



Proposed Legend

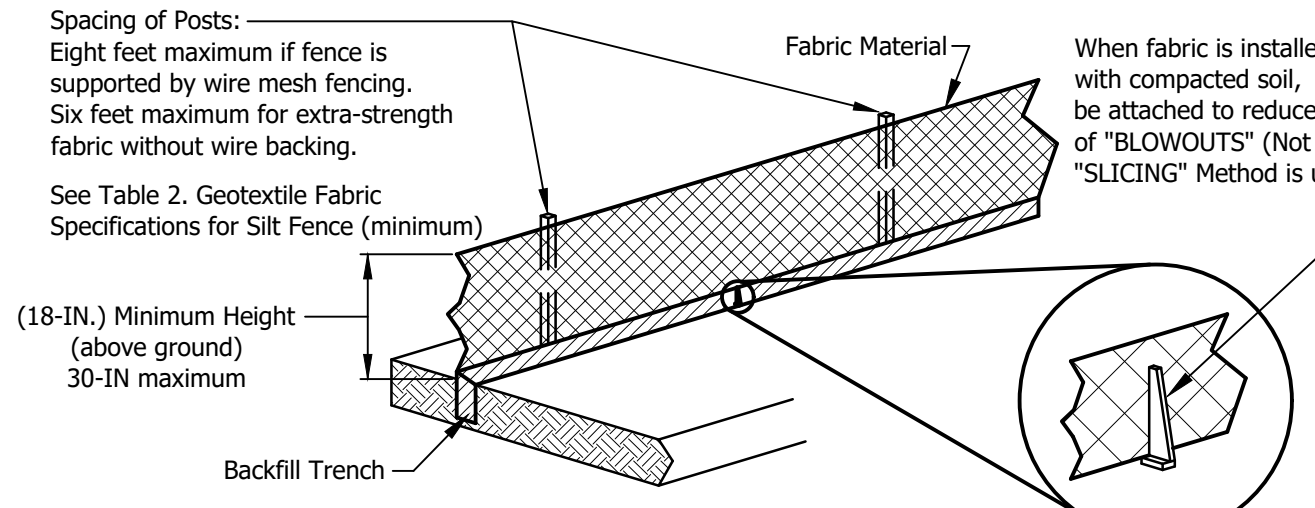
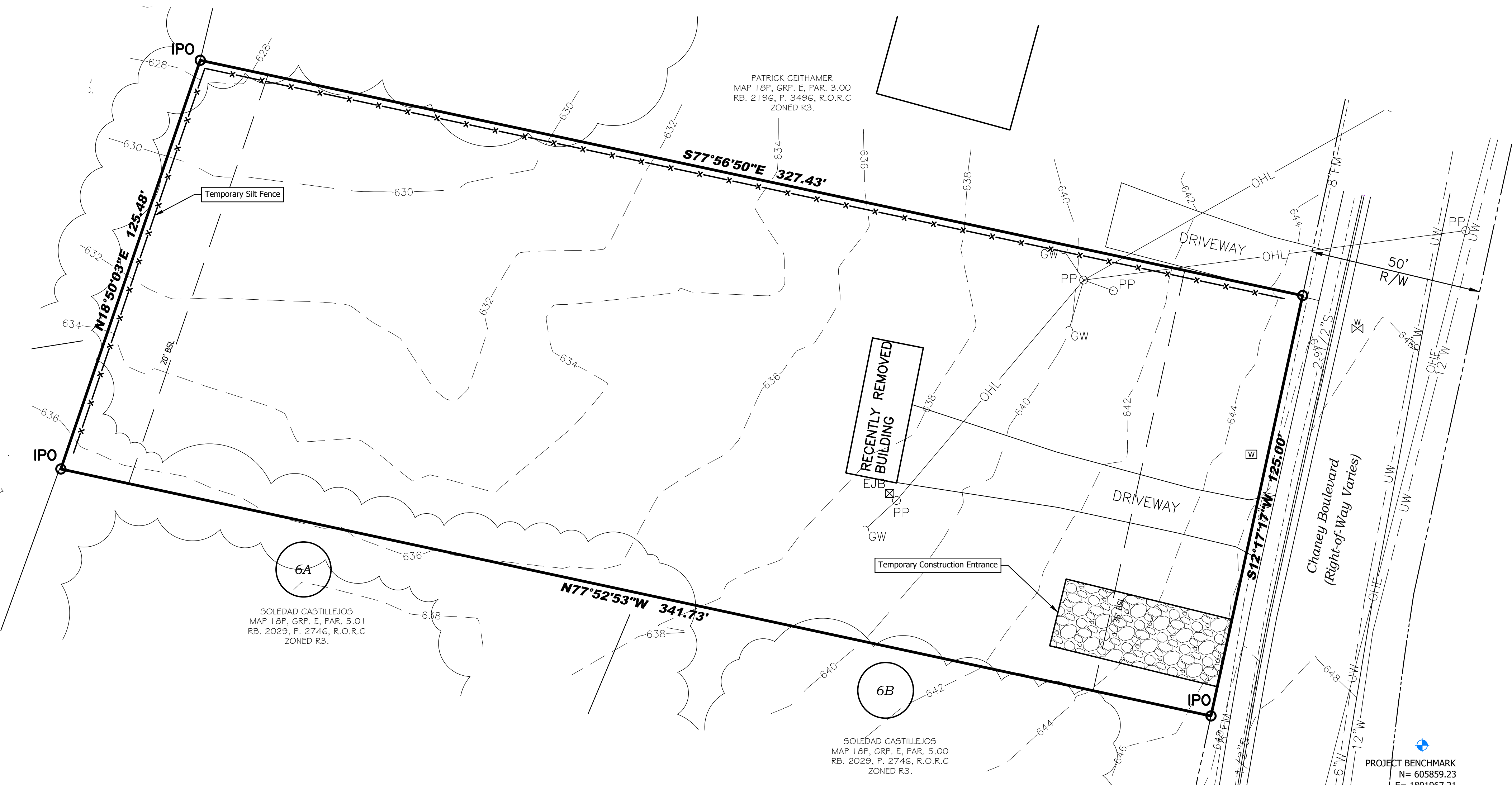


Existing Legend



Erosion Notes

- Contractor shall provide all necessary erosion control methods as per the City of La Vergne and the State of Tennessee regulations and specifications.
- Construct temporary gravel constr. entrance / exit pad before commencing construction. Entrance to be stabilized with coarse aggregate to a depth of 8 inches and for a length of 50'.
- All disturbed areas to have seeding, fertilizer and mulching within 15 days upon completion of final grading.
- Prior to initiating any land-disturbing activities, a representative for the project should walk the site with construction plans in hand and mark the limits of construction that were established during the planning phases. Areas to be protected should be marked with rope, safety fencing (commonly orange colored), or surveyor flags. Signage can also be used to identify and explain limits of construction and areas that are to be protected from construction activities.
- Protect all drop inlets during construction with fabric drop inlet or gravel or straw bale protection. The pollution prevention plans are general guidelines for the contractor to follow. The contractor is still required to keep all sediment off public roads.
- If any erosion control measure is not sufficient the contractor shall add additional control measures.
- Topsoil shall be stockpiled and strategically located throughout the site. Silt fence shall be temporarily installed around all stockpiles to prevent runoff.
- Bulk clearing of sediment from pavement by flushing with water shall "not" be permitted.
- All unvegetated area left inactive for fifteen (15) days or more shall be temporarily or permanently stabilized with measures appropriate for season to minimize erosion potential.
- All erosion control measures are to be installed per manufacturer's recommendations and guidelines.
- Dumpster's must be kept covered.
- Seeding mix and rate of application shall be per the Tennessee Department of Transportation Standard Specifications, latest edition.
- Inspections shall be performed at least twice weekly, 72 hours apart.
- Matting or sod shall be installed on slopes 3:1 or greater.
- 90% vegetation required to achieve temporary or permanent stabilization.
- Contractor shall be responsible for the removal of debris and trash at all stages of construction.
- Contractor shall designate an area for equipment filling and maintenance.



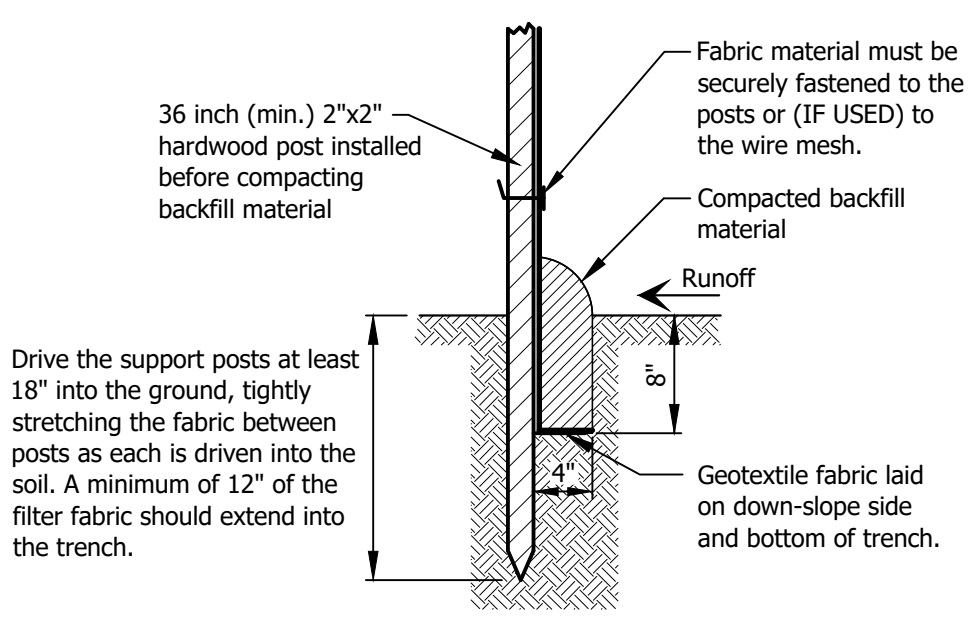
Percent Slope	Maximum Distance
<2%	<50:1 100 feet
2%-5%	50:1 to 20:1 75 feet
5%-10% ⁽¹⁾	20:1 to 10:1 25 feet
10%-20% ⁽¹⁾	10:1 to 5:1 15 feet
>20% ⁽¹⁾	>5:1 15 feet

⁽¹⁾ Consider other alternatives
Note: Multiple rows of silt fence are not recommended on the same slope.

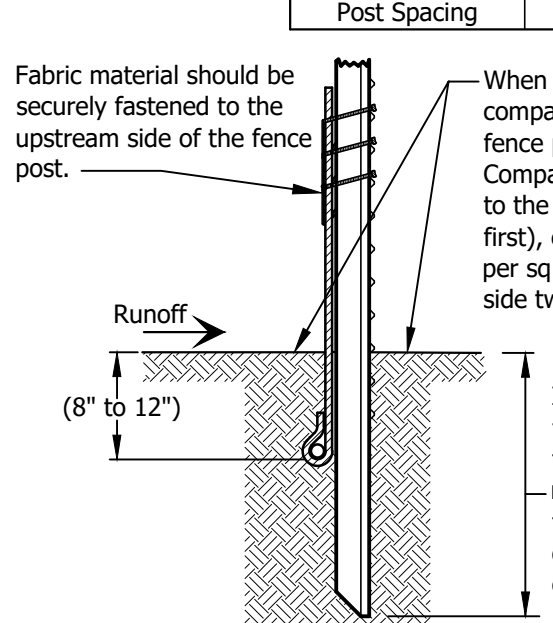
Physical Property	Woven Geotextile Fabric	Non-Woven Geotextile Fabric
Filtering efficiency	85%	85%
Textile strength at 20% elongation	30 lbs. per linear inch	50 lbs. per linear inch
Standard strength	50 lbs. per linear inch	70 lbs. per linear inch
Extra strength	0.3 gal./min./sq. ft.	4.5 gal./min./sq. ft.
Slurry flow rate	15 gal./min./sq. ft.	220 gal./min./sq. ft.
Water flow rate	70%	85%
UV resistance	7 feet	5 feet
Post Spacing		

ATTACHING TWO SILT FENCES WHEN TRENCHING IS USED

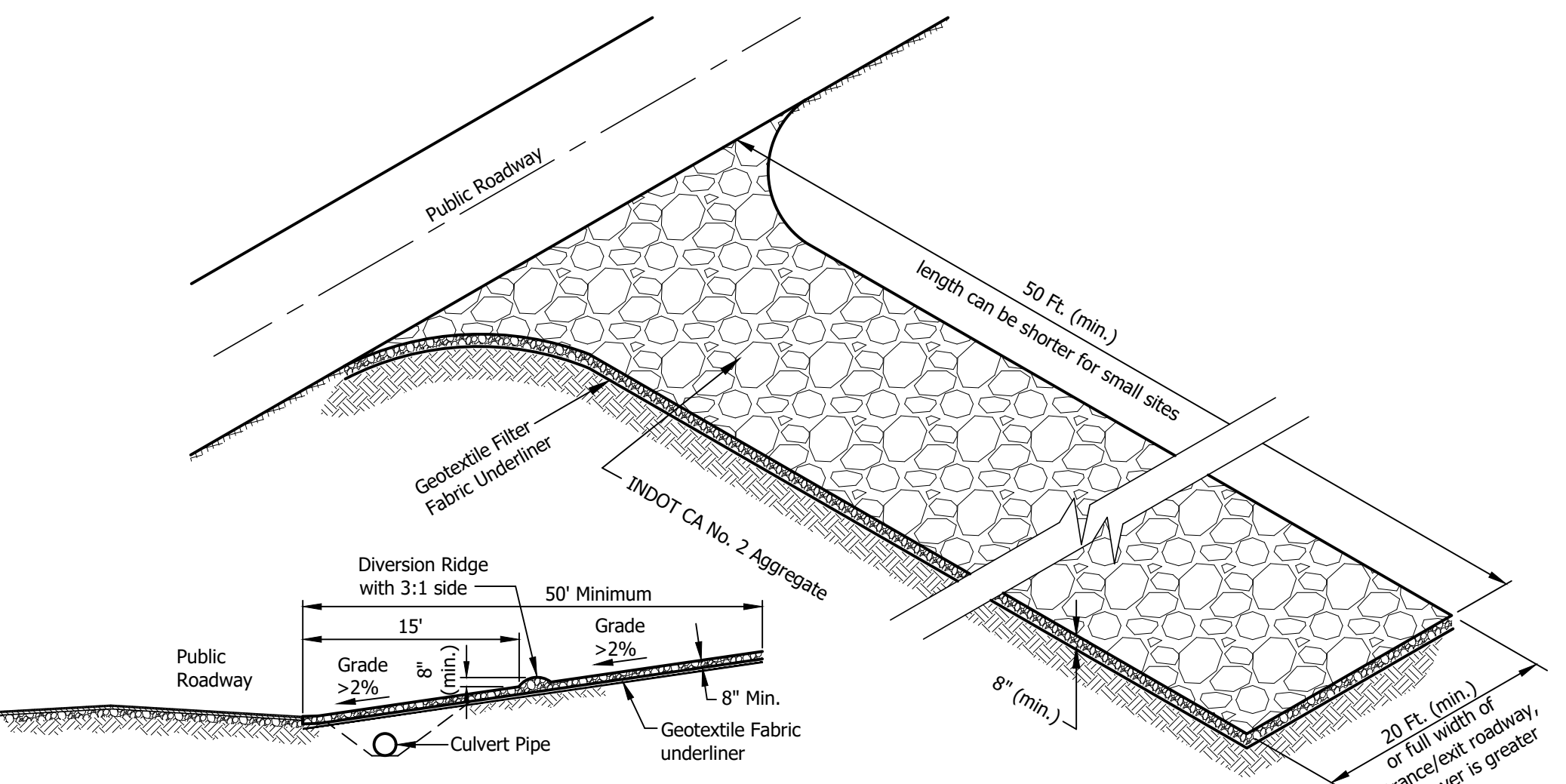
If installing prefabricated silt fence, install fence with the filter fabric on the up-slope side of the excavated trench and the support posts on the down-slope side. Drive the support posts at least 18 inches into the ground, tightly stretching the fabric between posts as each is driven. If assembling on site, attach filter fabric to the support posts and attach wooden lathe to secure fabric to posts, stretching the fabric between posts as it is fastened.



TRENCH METHOD



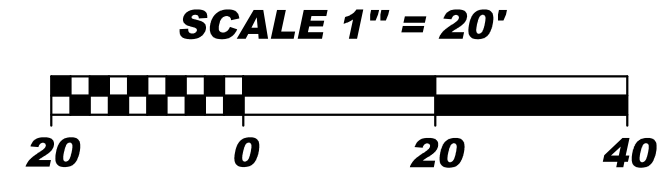
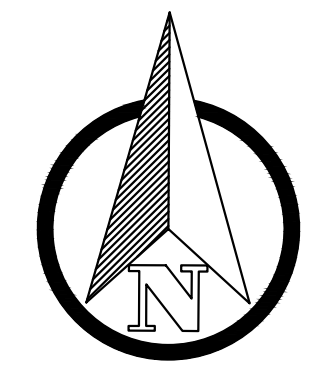
SLICING METHOD



- Installation:**
- Remove all vegetation and other objectionable material from the foundation area.
 - Grade the foundation and crown for positive drainage. If the slope of the construction entrance is toward a public road and exceeds 2%, construct an 8" high diversion ridge with a ratio of 3:1 side slopes across the foundation area about 15 feet from the entrance to divert runoff away from the road.
 - Install a culvert pipe under the pad if needed to maintain proper public road drainage.
 - If wet conditions are anticipated, place geotextile fabric on the graded foundation to improve stability.
 - Place aggregate (INDOT CA No. 2) to the dimensions and grade as shown in the construction plans, leaving the surface smooth and sloped for drainage.
 - Where possible, divert all storm water runoff and drainage from the temporary construction ingress/egress pad to a sediment trap or basin.

Temporary Construction Ingress / Egress Pad

Silt-Fence Installation



Proposed Legend

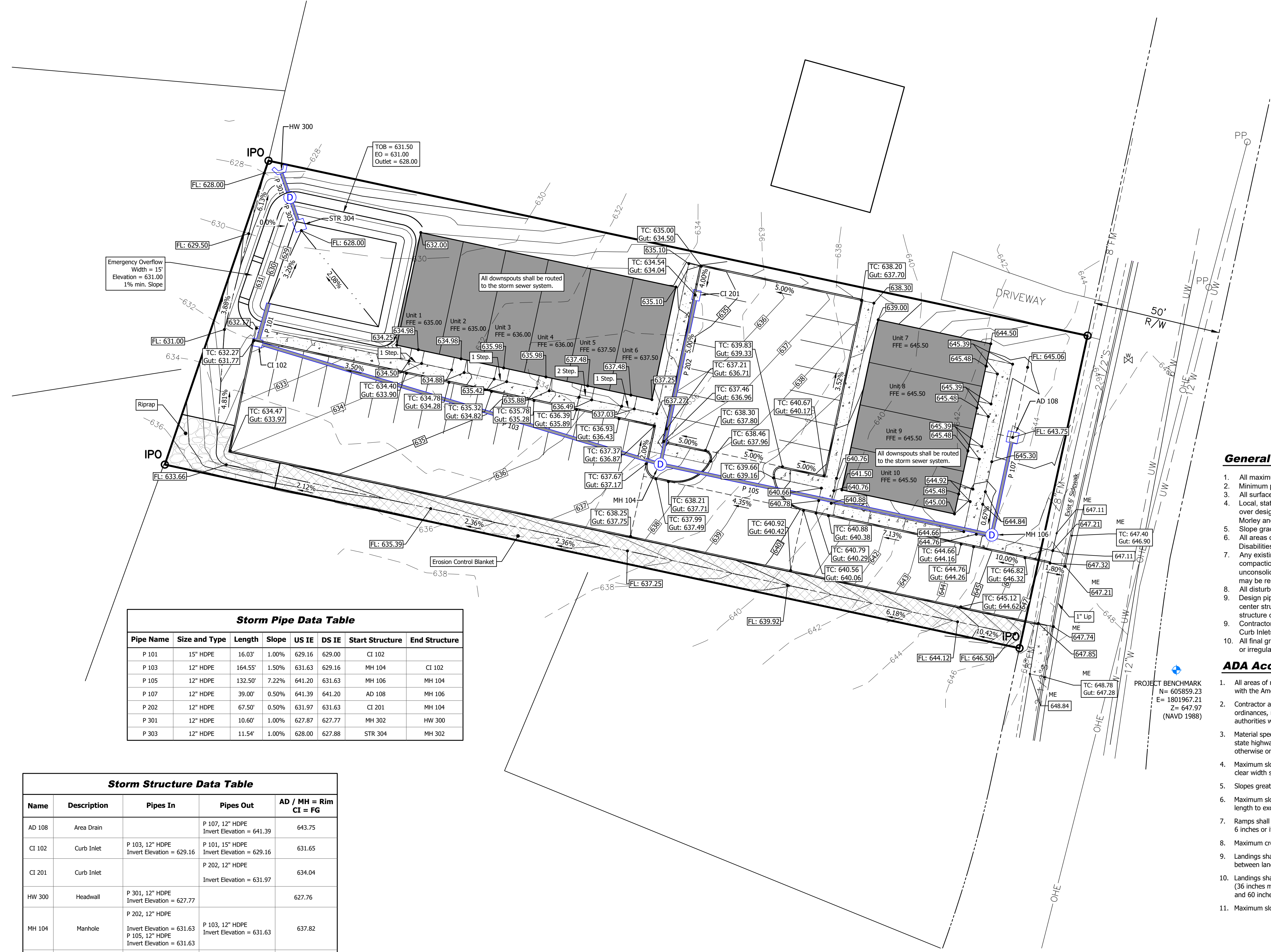
- XXX Spot Elevation
- Gut: Gutter
- ME: Match Existing
- TC: Top of Curb
- FL: Flowline
- TW: Top of Wall
- BW: Bottom of Wall
- Storm Sewer Pipe
- Area Drain, AD
- Curb Inlet, CI
- Headwall, HW
- DS Downspout
- C.O. Cleanout
- Rip Rap
- Erosion Control Blanket

General Grading and Drainage Notes:

1. All maximum earthwork graded slopes is 4:1, unless otherwise noted.
2. Minimum pavement slope = 0.5%.
3. All surfaces shall be graded to drain.
4. Local, state, and national laws and guidelines shall take precedence over design information if in conflict. Contractor shall inform client and Morley and Associates, Inc. in writing if any conflicts arise.
5. Slope grades to direct water away from buildings and prevent ponding.
6. All areas of new facilities shall comply with the Americans with Disabilities Act (ADA) Accessibility Guidelines.
7. Any existing unconsolidated fill and/or utility trenches shall be tested for compaction prior to paving and/or slab construction. Excavation of unconsolidated material and compaction of new material in these areas may be required to prevent future settlement.
8. All disturbed areas to be seeded and mulched.
9. Design pipe slopes are calculated from the center of structure to the center structure. Construction pipe slopes may vary slightly if the structure cross slope does not match the design pipe slope.
10. Contractor to install ADS Flexstrom Catch-It Lite Inlet Filter Protection in Curb Inlets and Area Drains.
11. All final graded areas shall be smooth and free of any ruts, rocks, debris or irregularities.

ADA Accessibility Guidelines:

1. All areas of new facilities and altered portions of existing facilities shall comply with the American with Disabilities Act (ADA) Accessibility Guidelines.
2. Contractor and materials shall comply with all local, state and federal codes, ordinances, rules, regulations, orders and other legal requirements of municipal authorities which bear on the performance of the work.
3. Material specifications shall be in conformance with applicable portions of the state highway standard specifications, (latest edition) unless specifically stated otherwise on these plans, contract documents or local code.
4. Maximum slope for ADA accessible route shall be 1:20 (5.0%). The minimum clear width shall be 36 inches.
5. Slopes greater than 1:20 (5.0%) shall be considered a ramp.
6. Maximum slope for a ramp shall be 1:12 (8.33%), but shall not require a ramp length to exceed 30 feet.
7. Ramps shall be equipped with handrails on both sides if the rise is greater than 6 inches or if the ramps length is greater than 6 feet.
8. Maximum cross slopes shall be 1:50 (2.0%).
9. Landings shall be incorporated in ramps so that the maximum vertical rise between landings is no greater than 30 inches.
10. Landings shall be a minimum of 60 inches in length and as wide as the ramp (36 inches minimum). Landings at a change in direction shall be 60 inches wide and 60 inches long (minimum).
11. Maximum slope in an ADA parking space and its aisle shall be 1:50 (2.0%).



Storm Pipe Data Table

Pipe Name	Size and Type	Length	Slope	US IE	DS IE	Start Structure	End Structure
P 101	15" HDPE	16.03'	1.00%	629.16	629.00	CI 102	
P 103	12" HDPE	164.55'	1.50%	631.63	629.16	MH 104	CI 102
P 105	12" HDPE	132.50'	7.22%	641.20	631.63	MH 106	MH 104
P 107	12" HDPE	39.00'	0.50%	641.39	641.20	AD 108	MH 106
P 202	12" HDPE	67.50'	0.50%	631.97	631.63	CI 201	MH 104
P 301	12" HDPE	10.60'	1.00%	627.87	627.77	MH 302	HW 300
P 303	12" HDPE	11.54'	1.00%	628.00	627.88	STR 304	MH 302

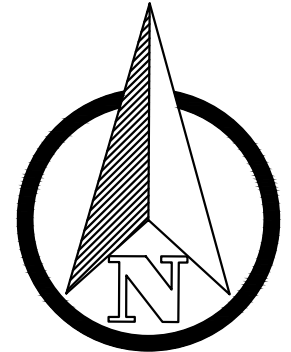
Storm Structure Data Table

Name	Description	Pipes In	Pipes Out	AD / MH = Rim CI = FG
AD 108	Area Drain		P 107, 12" HDPE Invert Elevation = 641.39	643.75
CI 102	Curb Inlet	P 103, 12" HDPE Invert Elevation = 629.16	P 101, 15" HDPE Invert Elevation = 629.16	631.65
CI 201	Curb Inlet		P 202, 12" HDPE Invert Elevation = 631.97	634.04
HW 300	Headwall	P 301, 12" HDPE Invert Elevation = 627.77		627.76
MH 104	Manhole	P 202, 12" HDPE Invert Elevation = 631.63 P 105, 12" HDPE Invert Elevation = 631.63	P 103, 12" HDPE Invert Elevation = 631.63	637.82
MH 106	Manhole	P 107, 12" HDPE Invert Elevation = 641.20	P 105, 12" HDPE Invert Elevation = 641.20	645.17
MH 302	WQU - See Sheet C502	P 303, 12" HDPE Invert Elevation = 627.88	P 301, 12" HDPE Invert Elevation = 627.87	631.50
STR 304	See Sheet C502		P 303, 12" HDPE Invert Elevation = 628.00	630.60

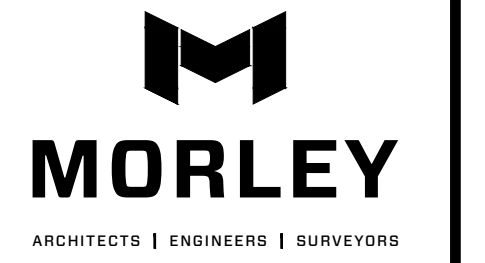
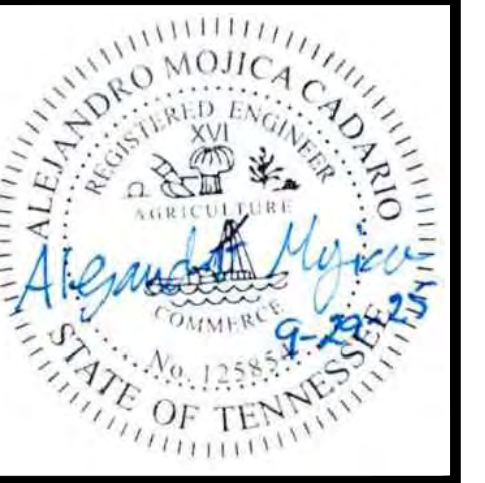
164 Chaney Blvd. LaVergne, TN 37086

Civil
Grading and Drainage
Plan

No.	By	Date
Revisions		
Scale: 1" = 20'		
Designed By:	AMC	Job Number: 13233.1.001-A
Drawn By:	KPR	Date: 09/29/2025
Filename:	13233 Civil Base	
Sheet Number:	C102	



SCALE 1" = 20'



Proposed Legend

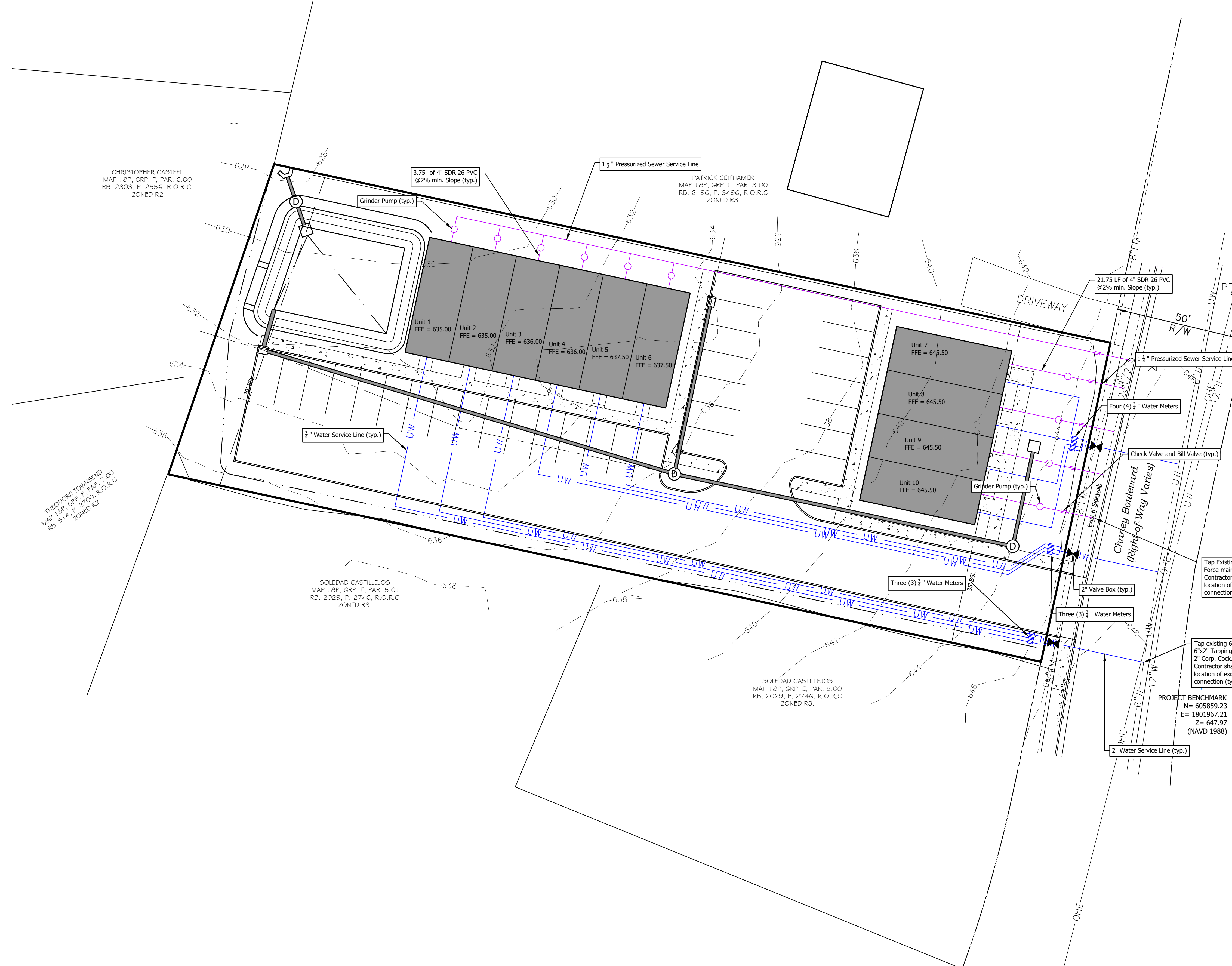
- Sanitary Sewer Line
- Potable Water Service
- Storm Sewer Pipe
- Water Meter
- Gate Valve
- Grinder Pump

Sanitary Sewer General Notes:

- All material and construction methods of the water and sewer facilities shall conform to City of La Vergne requirements and specifications.
- All sanitary sewer lines shall be constructed of PVC SDR 35, unless otherwise noted.
- Any lateral pipes with less than 3-foot of cover above the top of pipe shall be Ductile Iron Pipe Class 350. Ductile iron service laterals shall be cement coated and conform to the ANSI A21.51 and AWWA C 151, latest revisions. Fittings shall comply with ANSIA 21.10 and AWWA C110. Fittings shall use either mechanical joint or push-on type. Pipe joints shall use O-ring gaskets in accordance with ANSI21.11 and AWWAC.
- Minimum of 18" vertical and 10' horizontal clearance between potable waterlines and proposed sanitary and storm sewers.
- All lateral services must have a cleanout installed within 5' of the exterior of the building being serviced.
- All sanitary sewer cleanouts in concrete or pavement areas shall be in compliance with City of La Vergne requirements.
- Contractor shall notify City of La Vergne 48 hours prior to starting construction.
- See building plumbing plans for exact location of sewer service entering the building.

Waterline General Notes:

- All material and construction methods of the water and sewer facilities shall conform to City of La Vergne requirements and specifications.
- Water lines less than 3" shall be Type K copper.
- Water lines 3" or larger shall be ductile iron pipe conforming to USA Standard A21, Class 52 for centrifugally cast ductile iron pipe. It shall be bituminous coated, cement lined, plain end ductile iron pipe with push-on, single gasket joints. The pipe shall meet the requirements of ANSIA 21.53/AWWA C-153 and ANSI A21.10/AWWA C-110, latest revisions.
- Contractor shall coordinate location of tap with City of La Vergne.
- Megalug mechanical restraints, or equal, shall be used on all fittings and valves.
- Use fittings as necessary to prevent over-deflection of pipe.
- Separation between potable waterlines and sewer lines shall be 10' horizontally and 18" vertically measured from outside edge of pipe.
- Tracer wire shall be installed along all water services and mains.
- See building plumbing plans for exact location of water services entering the building.



CHRISTOPHER CASTEEL
MAP 18P, GRP. F, PAR. 6.00
RB. 2303, P. 255G, R.O.R.C.
ZONED R2

PATRICK CEITHAMER
MAP 18P, GRP. E, PAR. 3.00
RB. 2196, P. 349G, R.O.R.C.
ZONED R3

THEODORE TOWNSEND
MAP 18P, GRP. F, PAR. 7.00
RB. 51, P. 2700, R.O.R.C.
ZONED R2

SOLEDAD CASTILLEJOS
MAP 18P, GRP. E, PAR. 5.01
RB. 2029, P. 274G, R.O.R.C.
ZONED R3

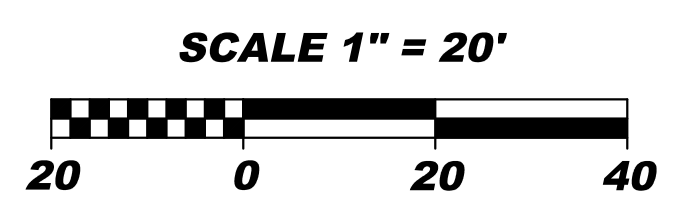
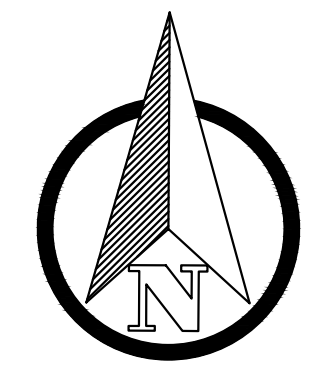
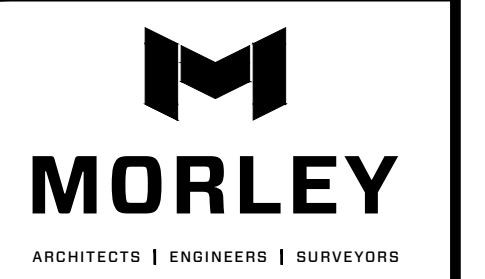
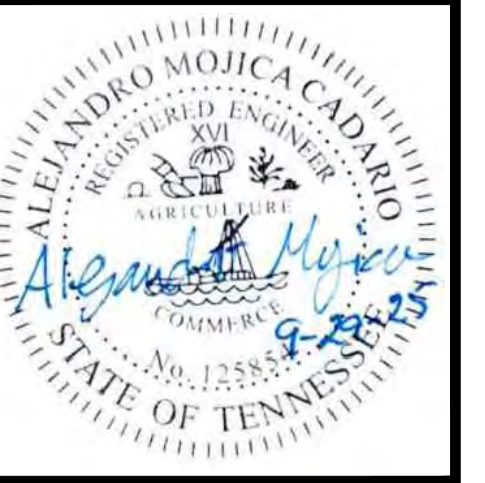
SOLEDAD CASTILLEJOS
MAP 18P, GRP. E, PAR. 5.00
RB. 2029, P. 274G, R.O.R.C.
ZONED R3

PROJECT BENCHMARK
N = 605859.23
E = 1801967.21
Z = 647.97
(NAVD 1988)

164 Chaney Blvd. LaVergne,
TN 37086

Civil
Utility Plan

No.	By	Date
Revisions		
Scale: 1" = 20'		
Designed By:	AMC	Job Number: 13233.1.001-A
Drawn By:	KPR	Date: 09/29/2025
Filename:	13233 Civil Base	
Sheet Number:	C103	

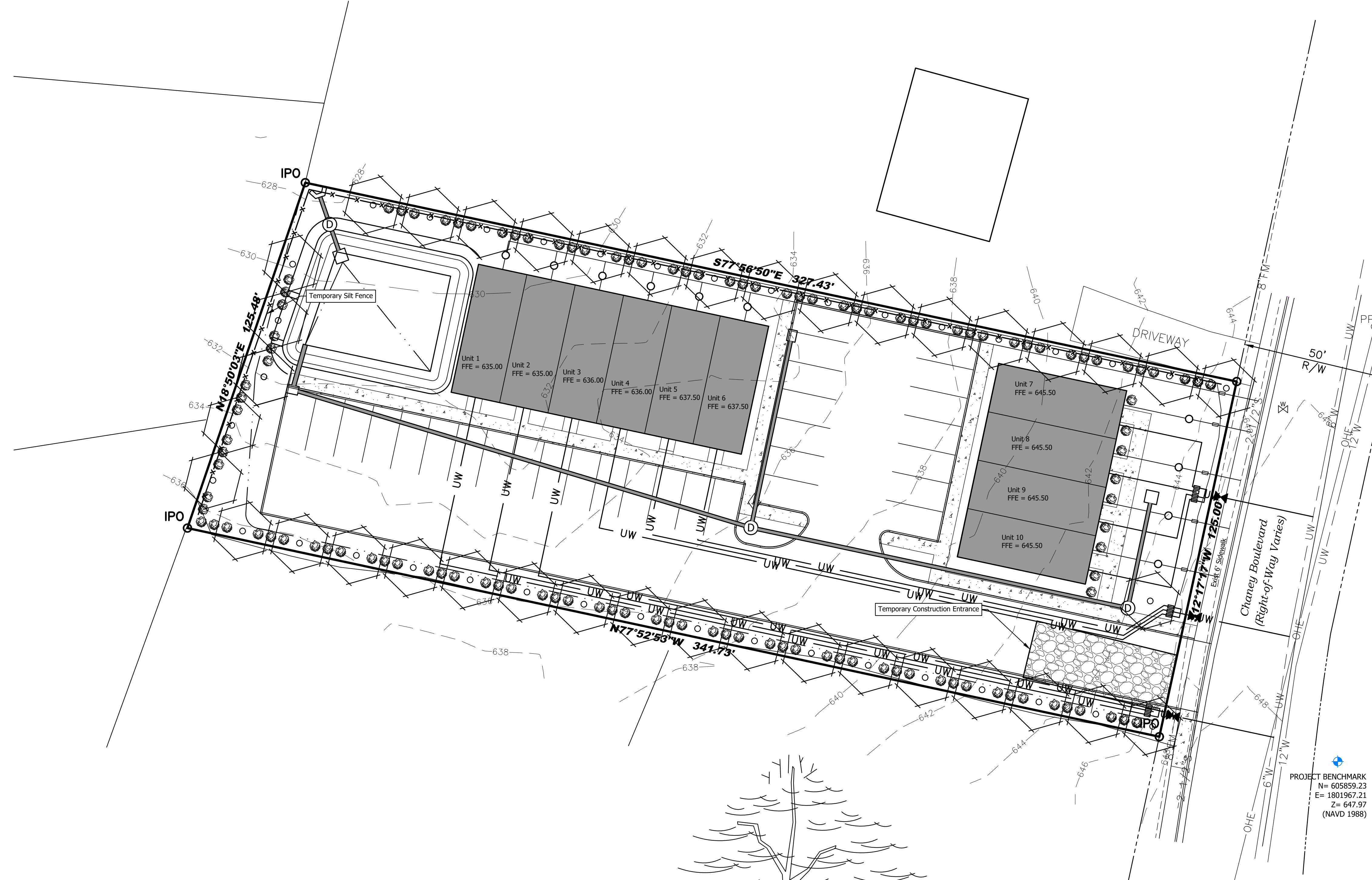


Proposed Legend

- Building Footprint
- Concrete Sidewalk
- Shrubs
- Trees

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Plant List

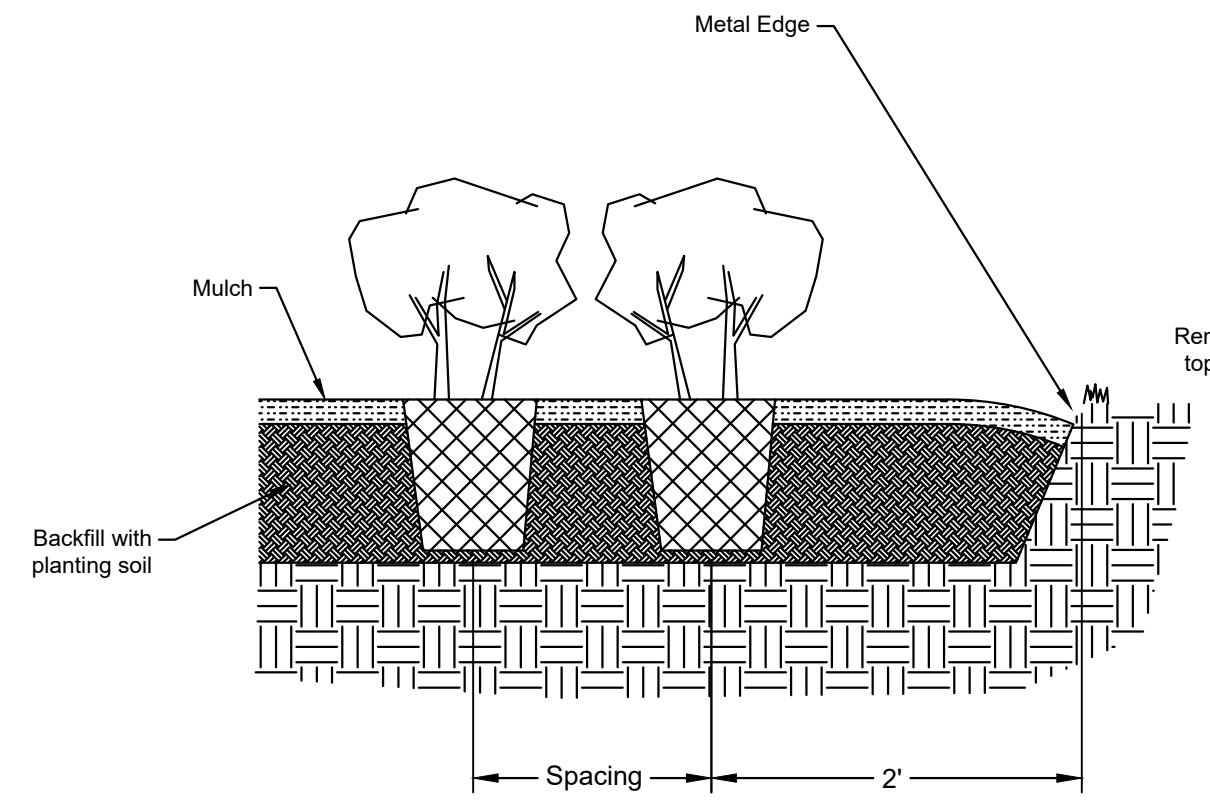
TREES					
KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	COND.
AR	26	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL.	B&B
IF	14	ILEX X ATTENAUTA 'FOSTER NO. 2'	FOSTER HOLLY	1-1/2" CAL.	B&B
SHRUBS					
PS	119	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	18"	CONT.

Landscape Requirements

- Current Zoning Classification = R-3
- Area of Development = 0.96 Ac.
- Required Landscape = 3 canopy trees (2.5" caliper) per acre = 3
= 3 understory (1.5" caliper) per acre = 3
= 15 shrubs (18" high) per acre = 15
- Proposed Landscape = 26 canopy trees = 14 understory trees = 119 shrubs

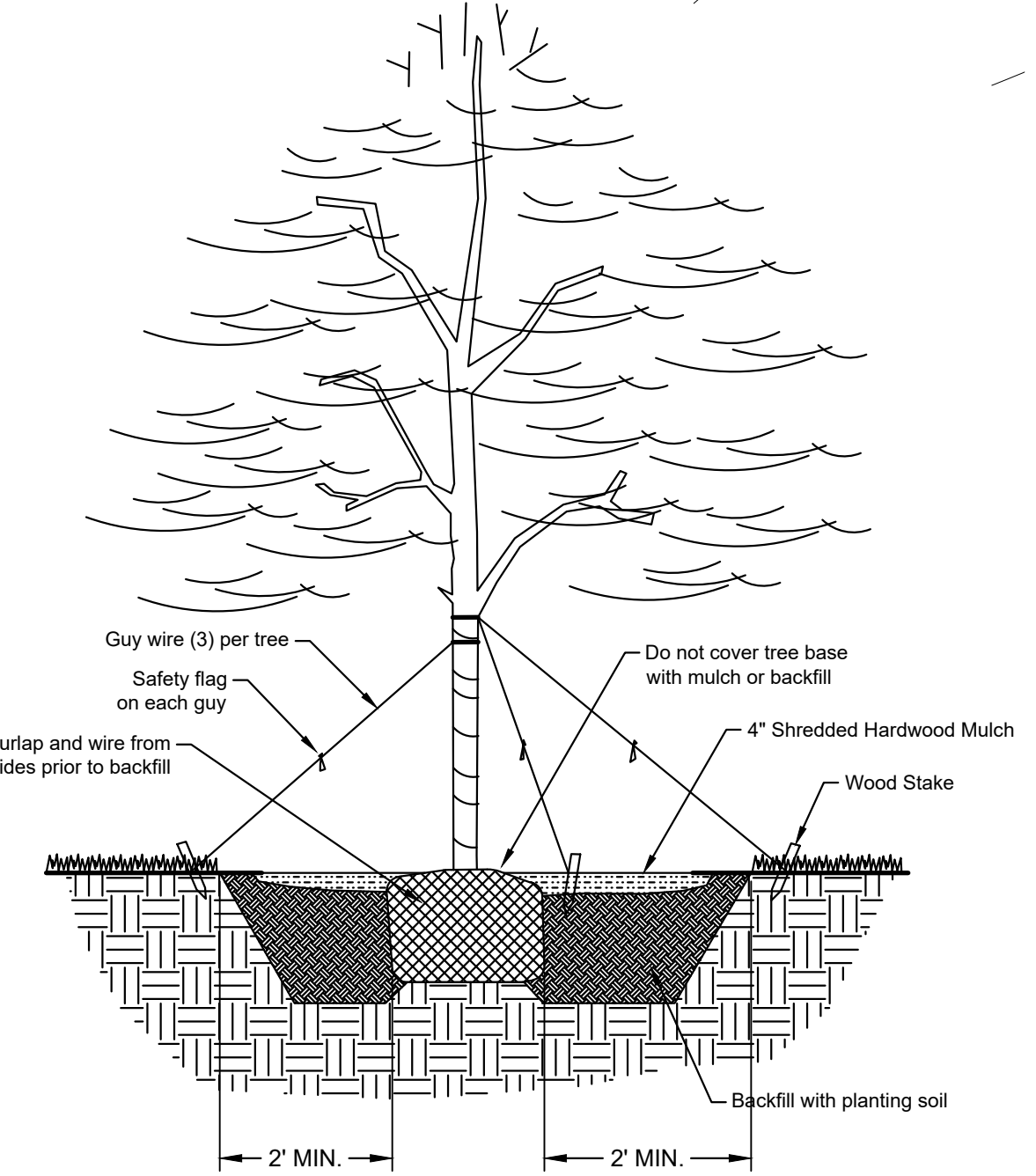
Landscape Notes:

- Engineer shall be notified in writing of any discrepancies between site conditions and plans prior to proceeding with work.
- When not specified herein, all plantings and landscaping shall follow the requirements in the Zoning Ordinance of the City of La Vergne.
- Drawing may not be to scale.
- All final grading and drainage shall be done in accordance with the civil plans for this project.
- Unless otherwise allowed for specific reasons, all trees shall have comparatively straight trunks (except for those that are multi-trunk), well developed leaders and tops, and the roots shall not only be characteristic of the species, cultivar or variety, but also shall exhibit evidence of proper nursery pruning practices. They shall have acceptable balance between top and root. At the time of planting, all trees must be free of mechanical injuries, and other objectionable features that tend to affect the future form and health of the plant.
- Pits for the planting of trees shall be at least three (3) times wider than the diameter of the roots or root ball. The edges of planting pits shall be scarified to prevent glazing of soil after digging.
- As soil is placed into hole, clumps of soil shall be broken up to a maximum size of 1/2 inch size clumps. Water shall be used during backfilling intermittently to improve soil settling. When the planting is completed, the entire root area shall be thoroughly saturated with water. Care shall be taken to prevent the tree from becoming off center during this process.
- Tree trunks shall be guyed, or supported in an upright position, according to accepted arboricultural practices. The guys or supports shall be installed so that they will neither girdle or cause serious injury to the tree nor endanger public safety. Tree stakes, guy wires, and supports for trees shall be removed the spring following the first full growing season.
- Contractor shall provide a one year warranty on trees.



Shrub Planting Detail

No Scale



Tree Planting Detail

No Scale

164 Chaney Blvd. La Vergne, TN 37086

Civil Landscape Plan

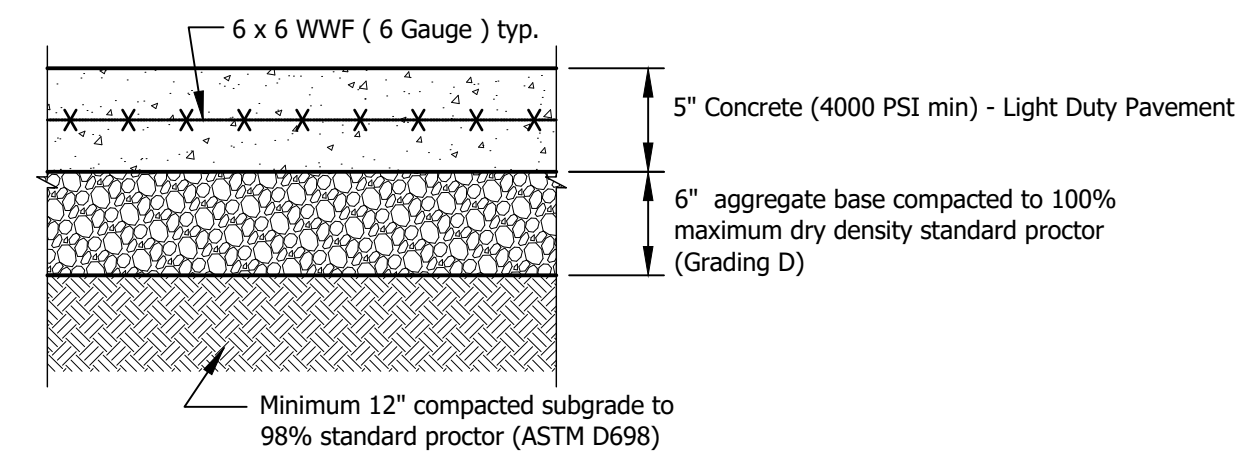
No.	By	Date

Revisions

Scale: 1" = 20'	
Designed By: AMC	Job Number: 13233.1.001-A
Drawn By: KPR	Date: 09/29/2025

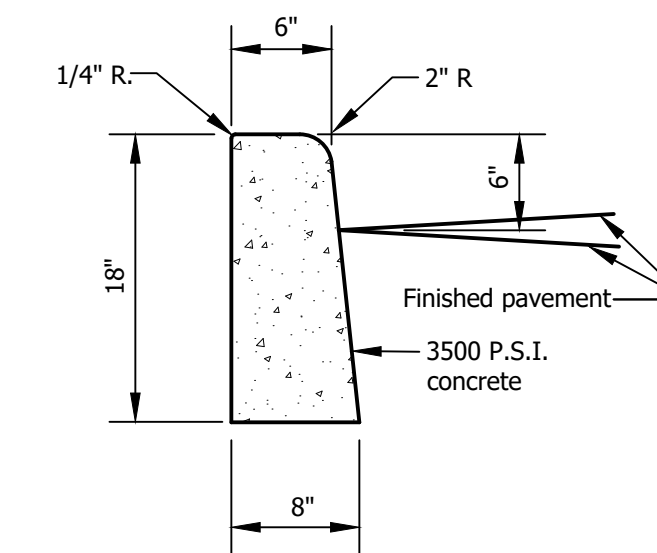
Filename: 13233 Civil Base
Sheet Number:

C104



Concrete Pavement Section

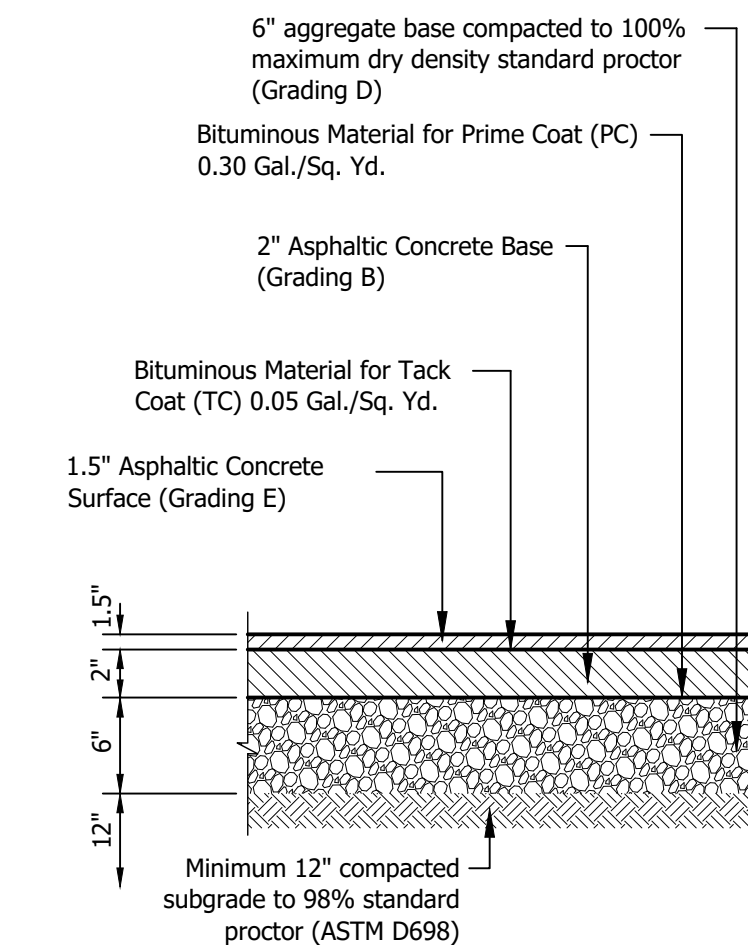
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- Notes:**
- 1/2" Preformed Expansion Joint material at all P.C. & P.T. of Curb Radius.
 - Tooled Contraction Joints at 10'-0" centers. Contraction Joint to be Minimum 2-1/2" deep and 1/8" wide.

Standing Curb Detail

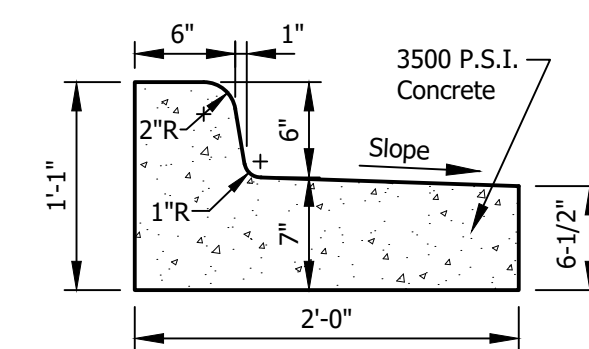
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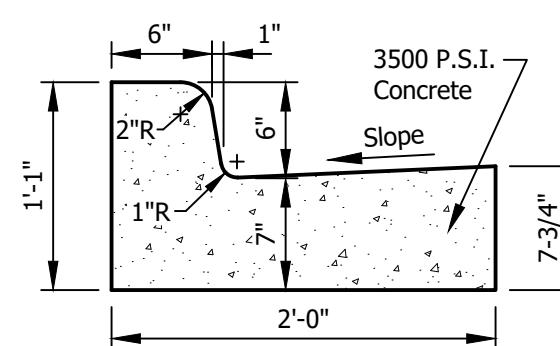
NOTE: Pavement sections shown shall be reviewed and approved by the geotechnical engineer for this site. If pavement sections were provided per a geotechnical investigation then those sections shall have precedence over those shown on this plan.

Standard Pavement

No Scale



Drainage Away From Curb

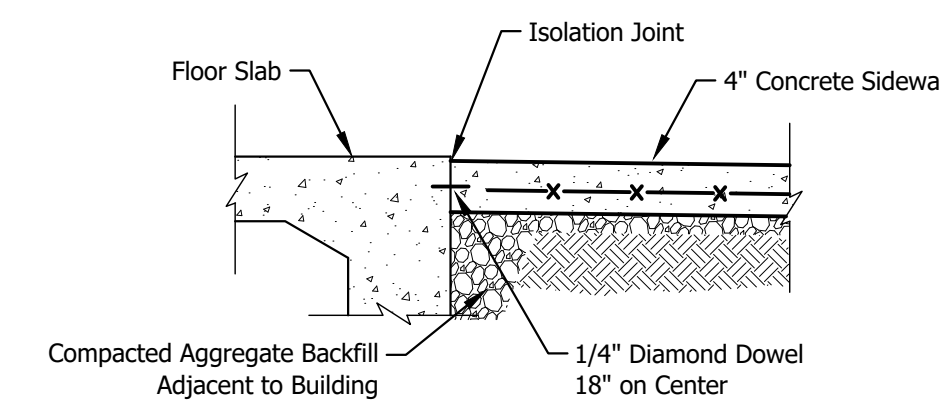


Drainage To Curb

- Notes:**
- 1/2" Preformed Expansion Joint material at all P.C. & P.T. of Curb Radius.
 - Tooled Contraction Joints at 10'-0" centers. Contraction Joint to be Minimum 2-1/2" deep and 1/8" wide.

Straight Curb and Gutter Drain Toward & Away From Curb

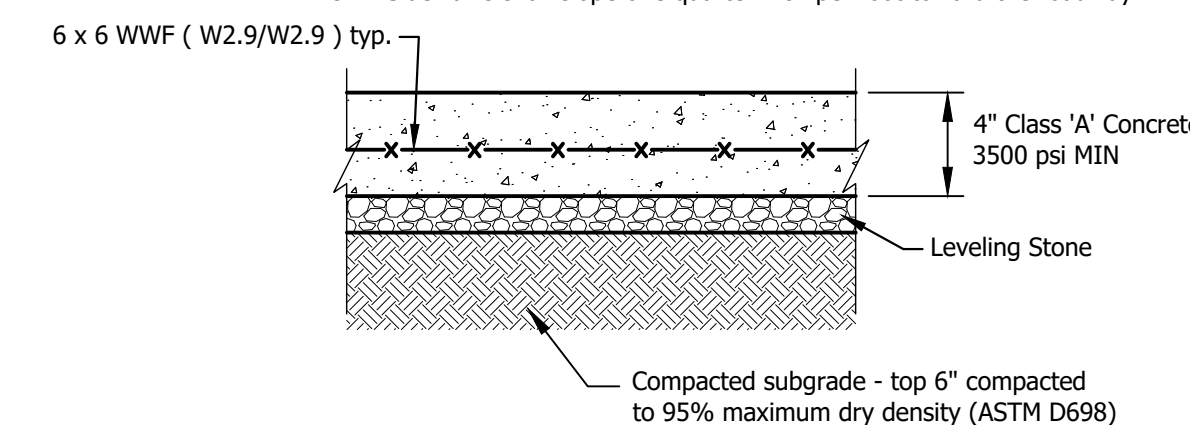
No Scale



Concrete Sidewalk at Door

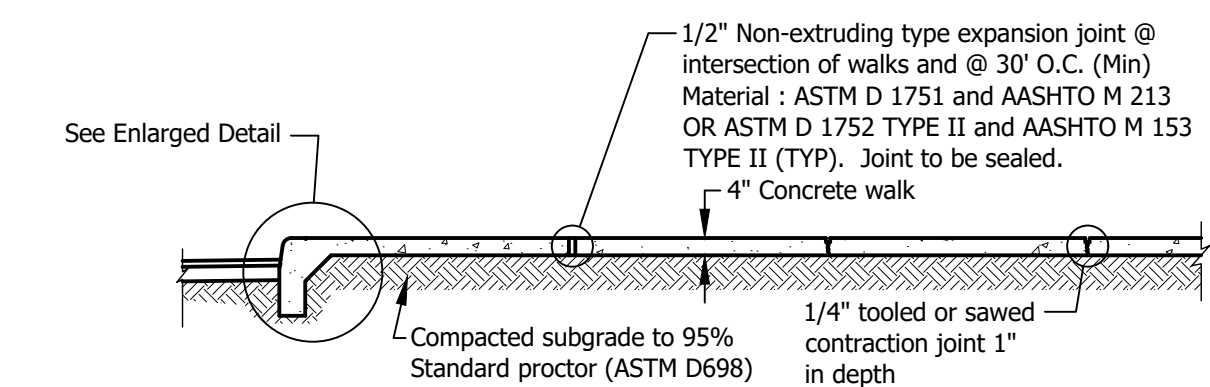
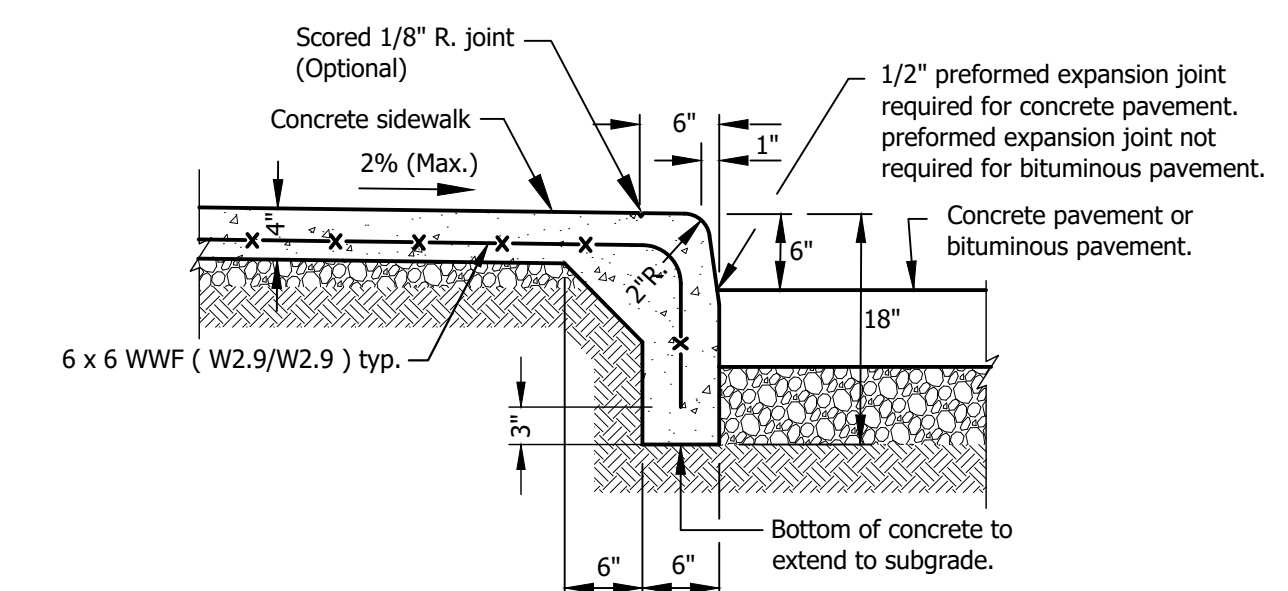
No Scale

- Notes:**
- Sidewalks shall conform to Tennessee Department of Transportation.
 - Expansion joint material shall conform to the requirements of the Tennessee Department of Transportation specifications.
 - Concrete materials and placement methods shall be in accordance with the materials and methods specified in Section 3.5 "Portland Cement Concrete Pavements".
 - Sidewalks shall conform and be constructed in accordance with the Americans with Disabilities Act.
 - Sidewalks shall slope one quarter inch per foot toward the roadway.



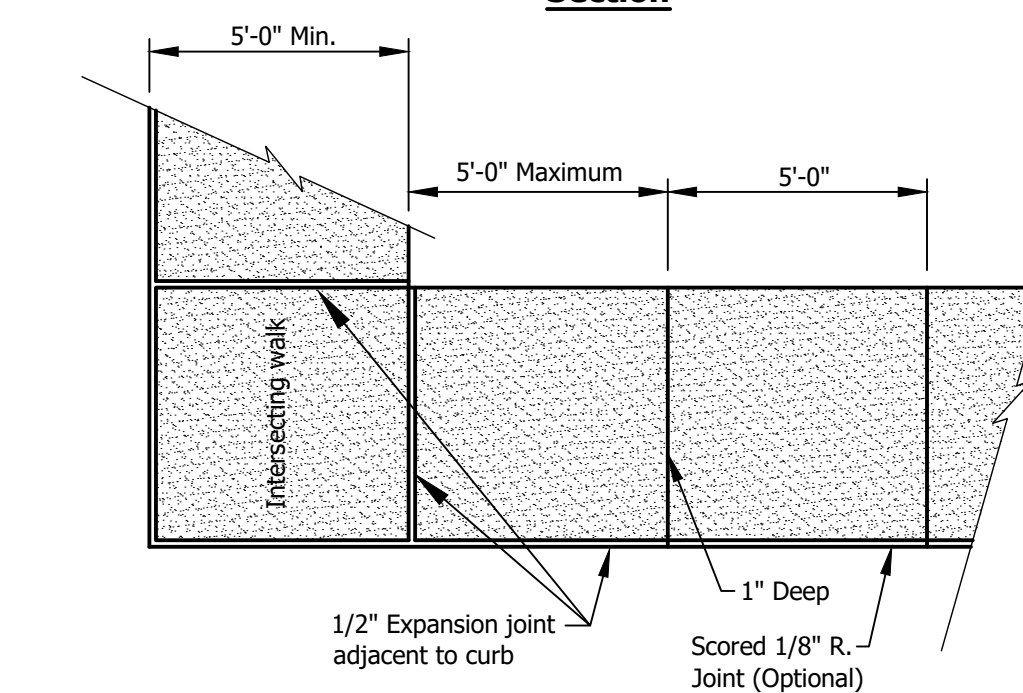
Concrete Sidewalk Section

No Scale



- Note:** Leveling course of sand may be used to achieve final subgrade elevation, compacted to 95% standard proctor density (ASTM D698)

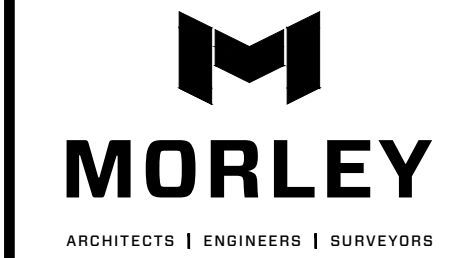
Section



Plan

Concrete Sidewalk w/ Monolithic Curb

No Scale



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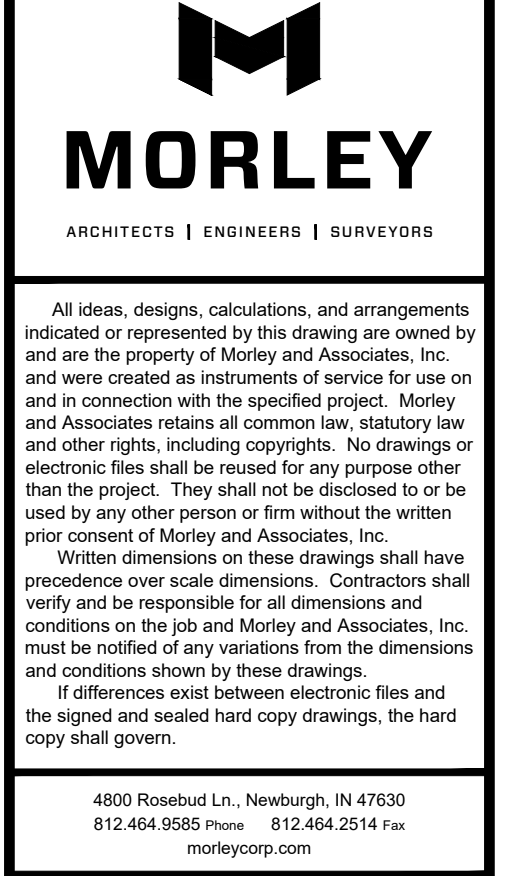
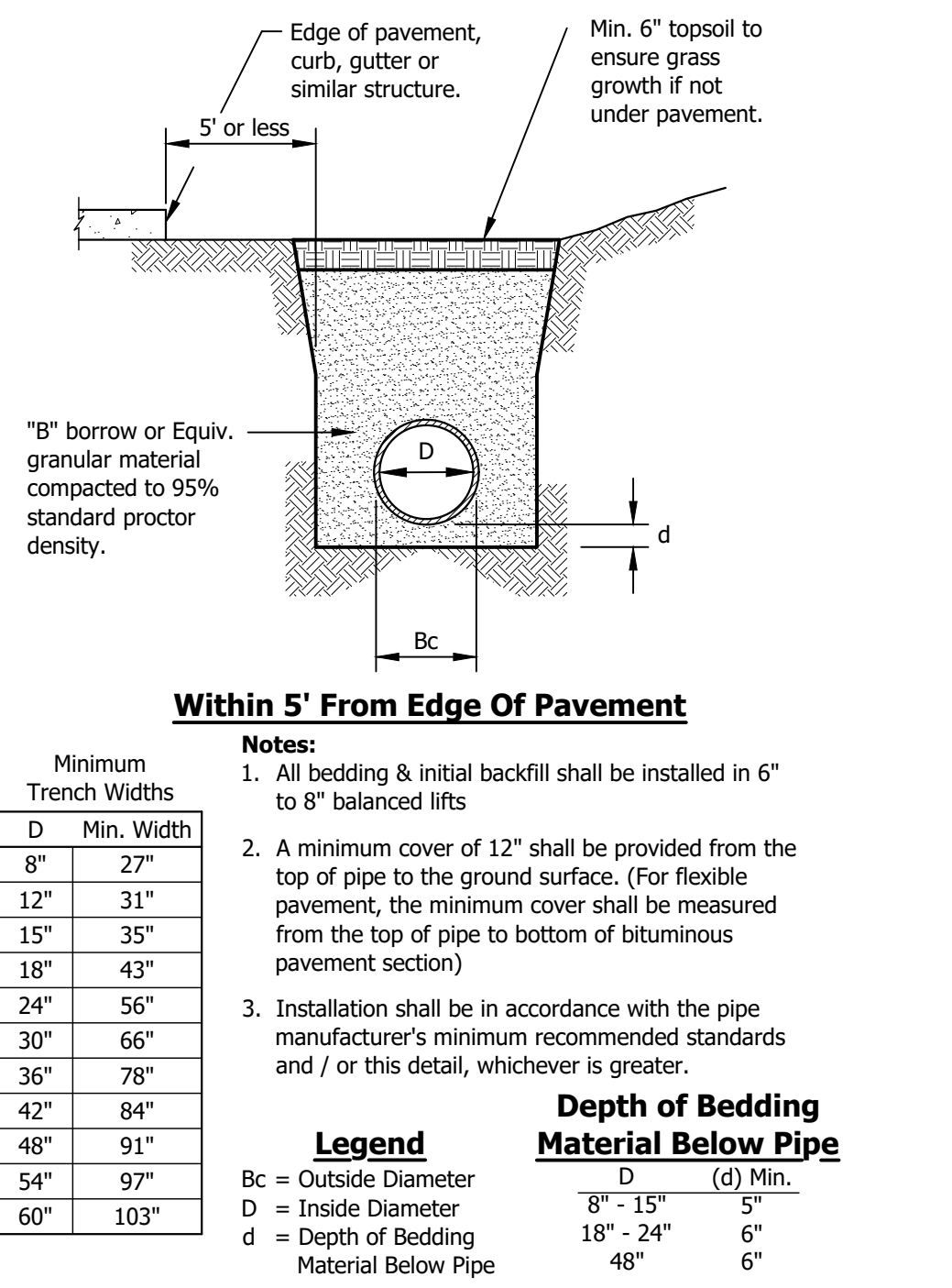
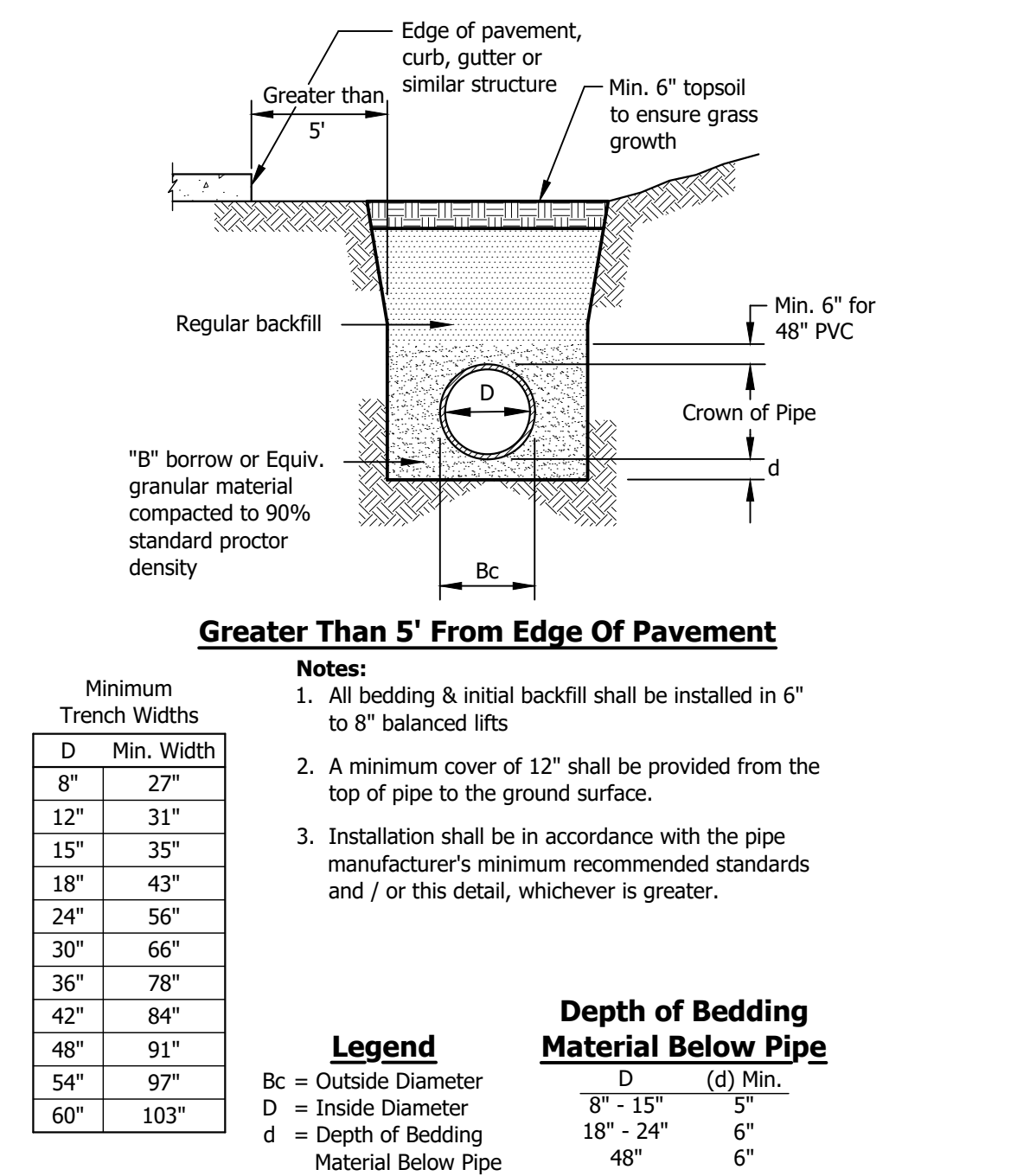
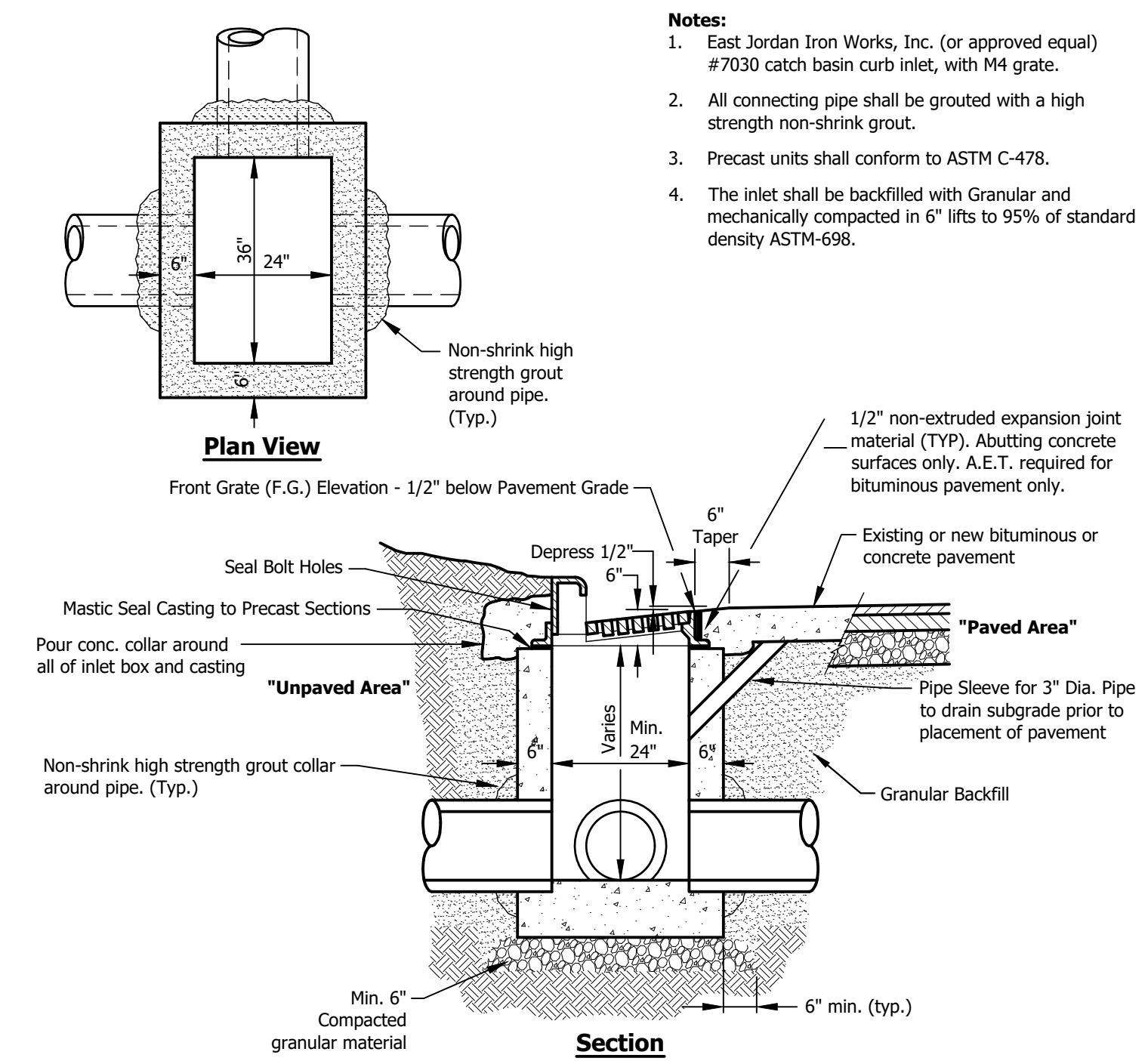
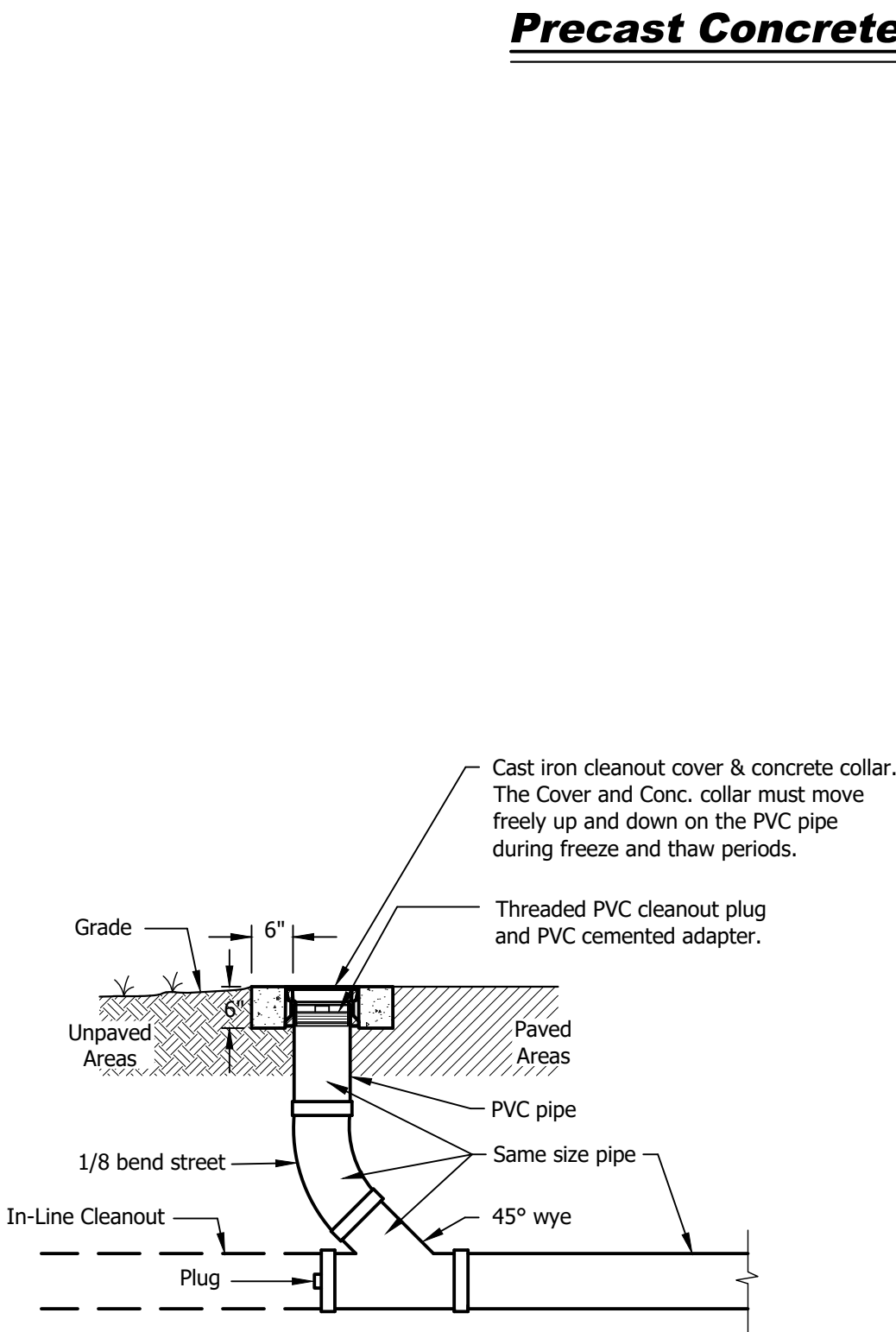
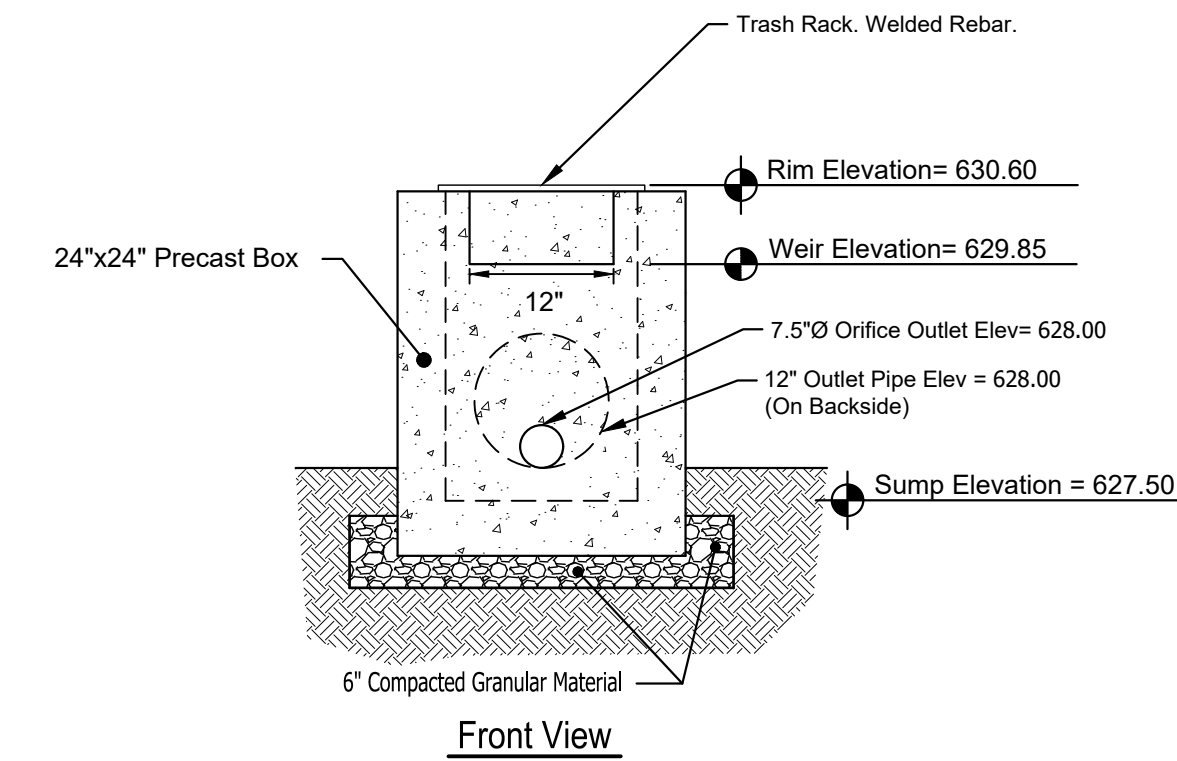
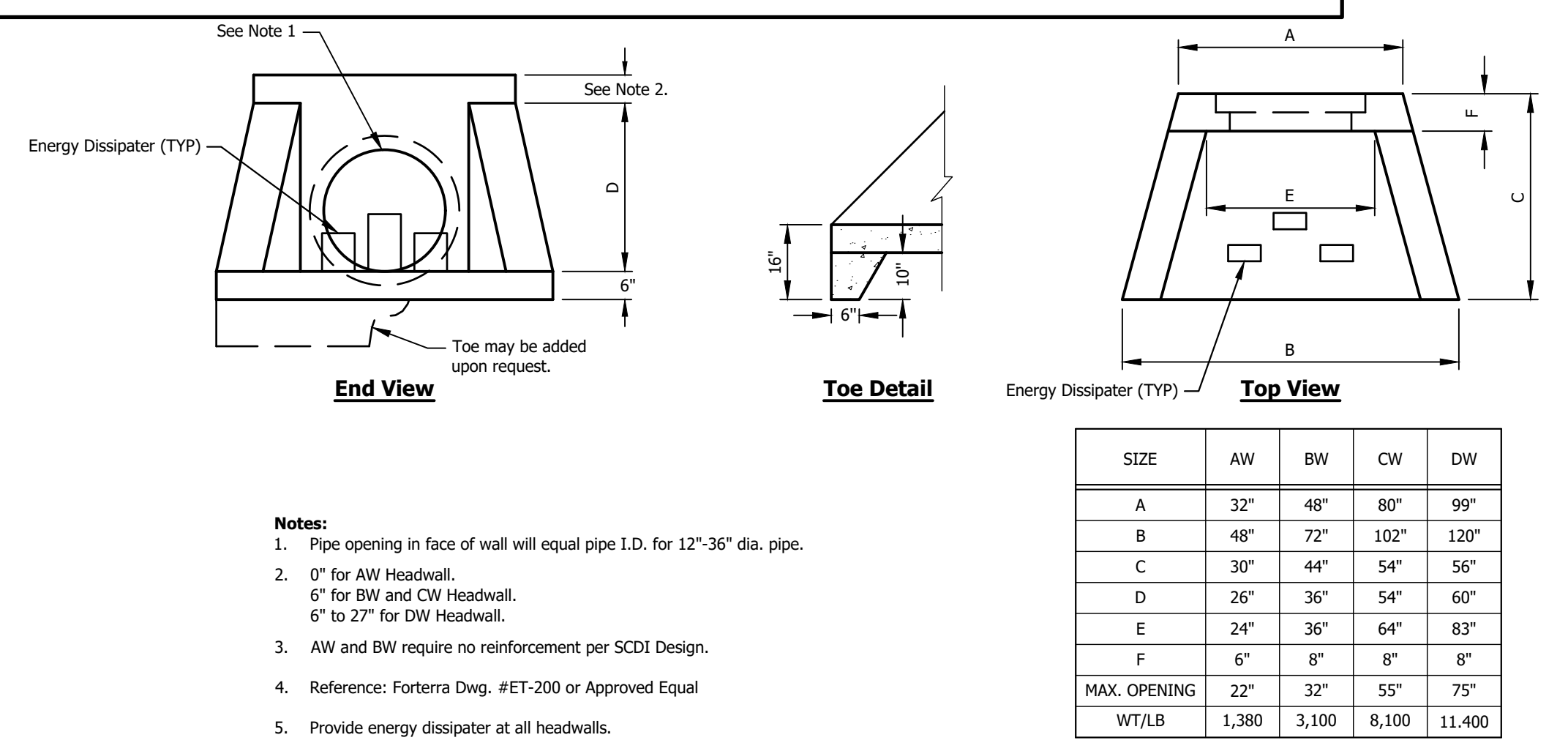
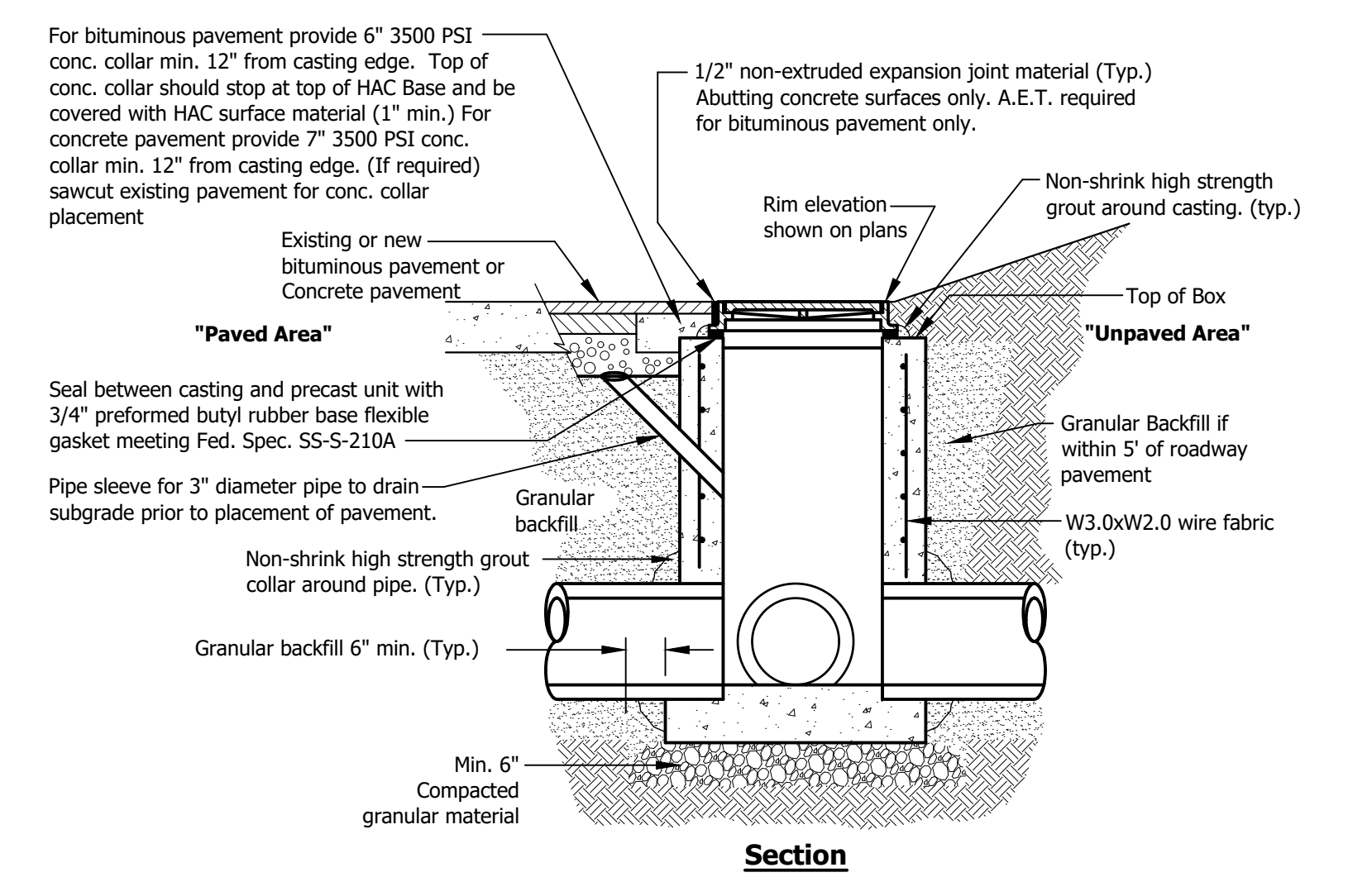
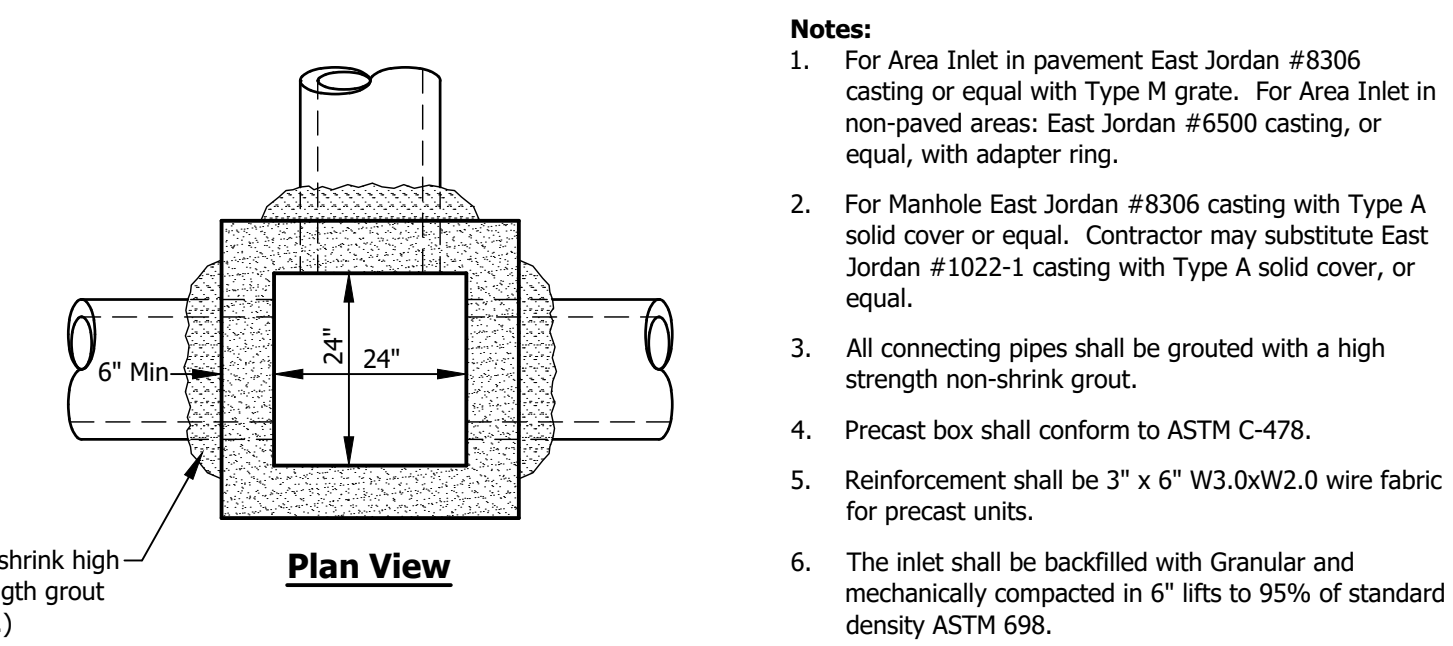
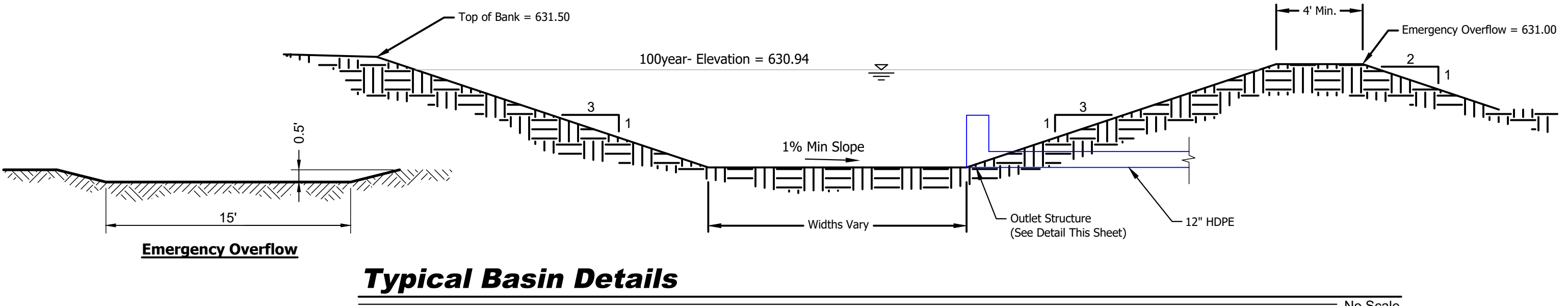
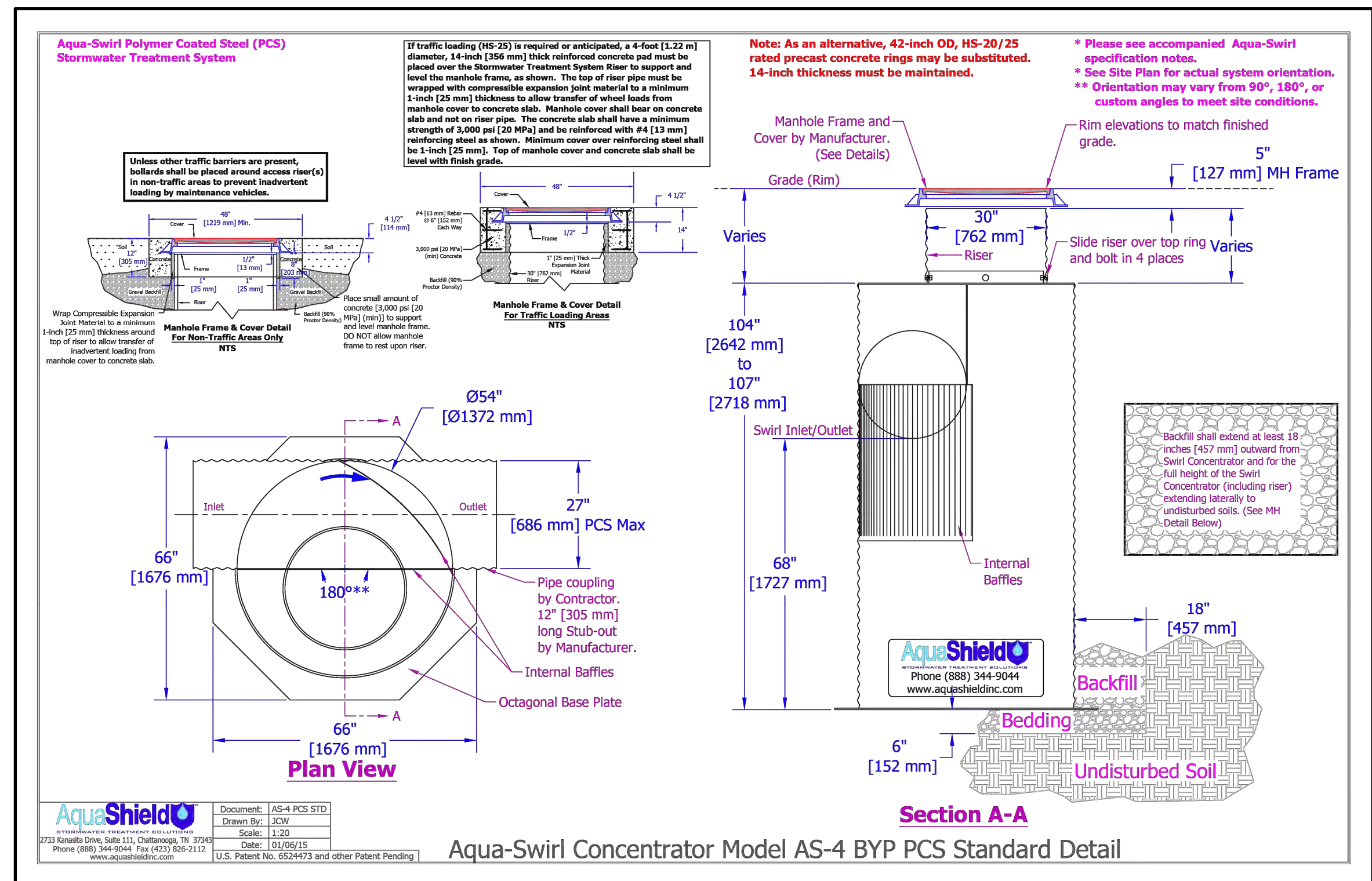
164 Chaney Blvd. LaVergne, TN 37086

Civil Site Details

No.	By	Date

Revisions	
Scale: As Shown	
Designed By: AMC	Job Number: 13233.1.001-A
Drawn By: KPR	Date: 09/29/2025
Filename: 13233 Civil Base	
Sheet Number:	

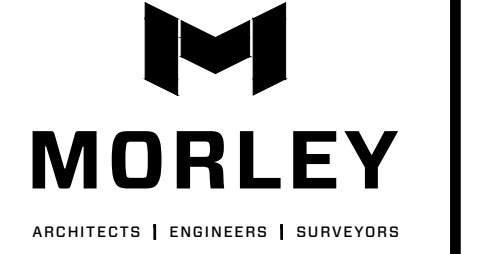
C501



164 Chaney Blvd. LaVergne, TN 37086

Civil
Grading and Drainage

No.	By	Date
Revisions		
Scale: As Shown		
Designed By	AMC	Job Number: 13233.1.001-A
Drawn By	KPR	Date: 09/29/2025
Filename:	13233 Civil Base	
Sheet Number:	C502	

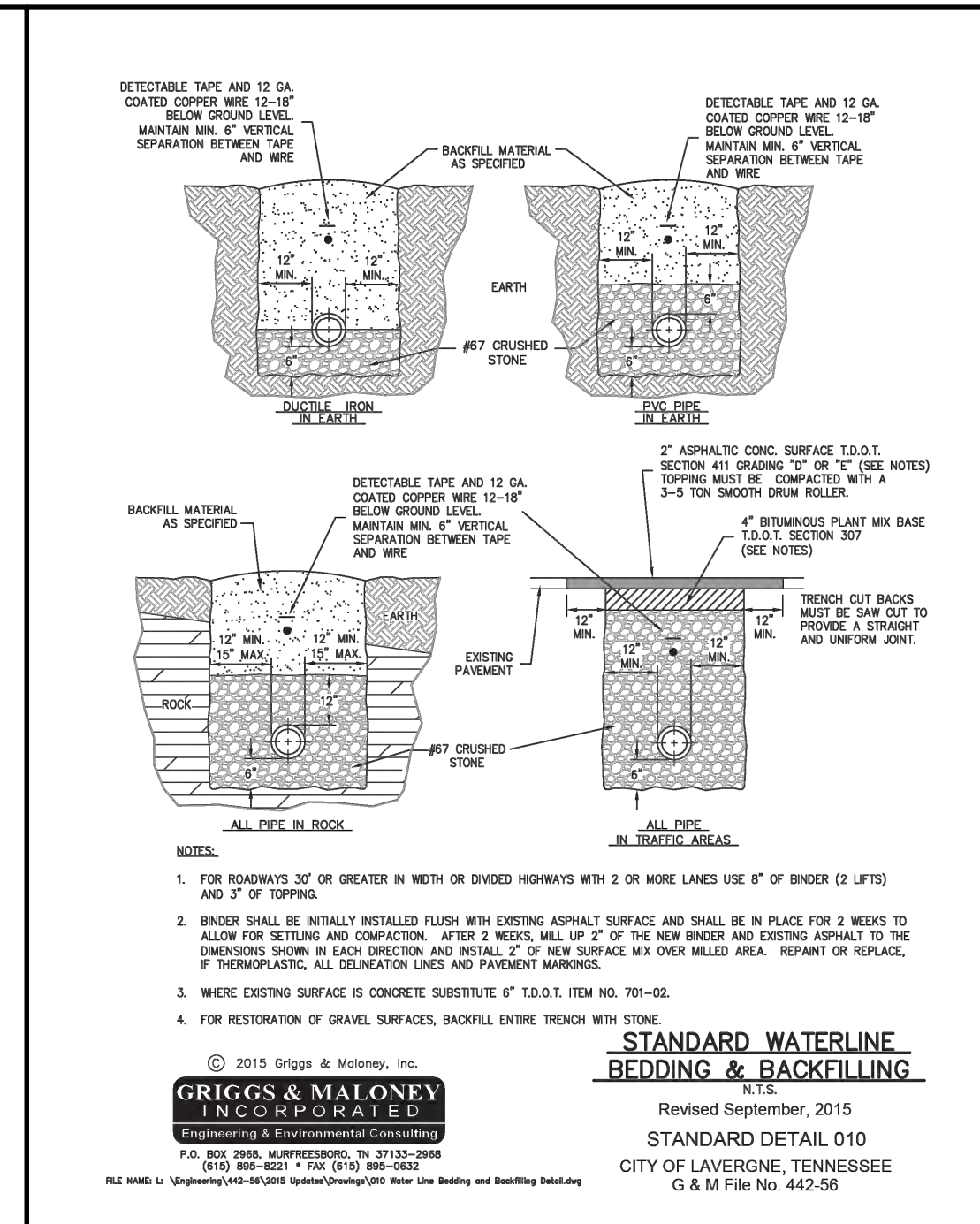
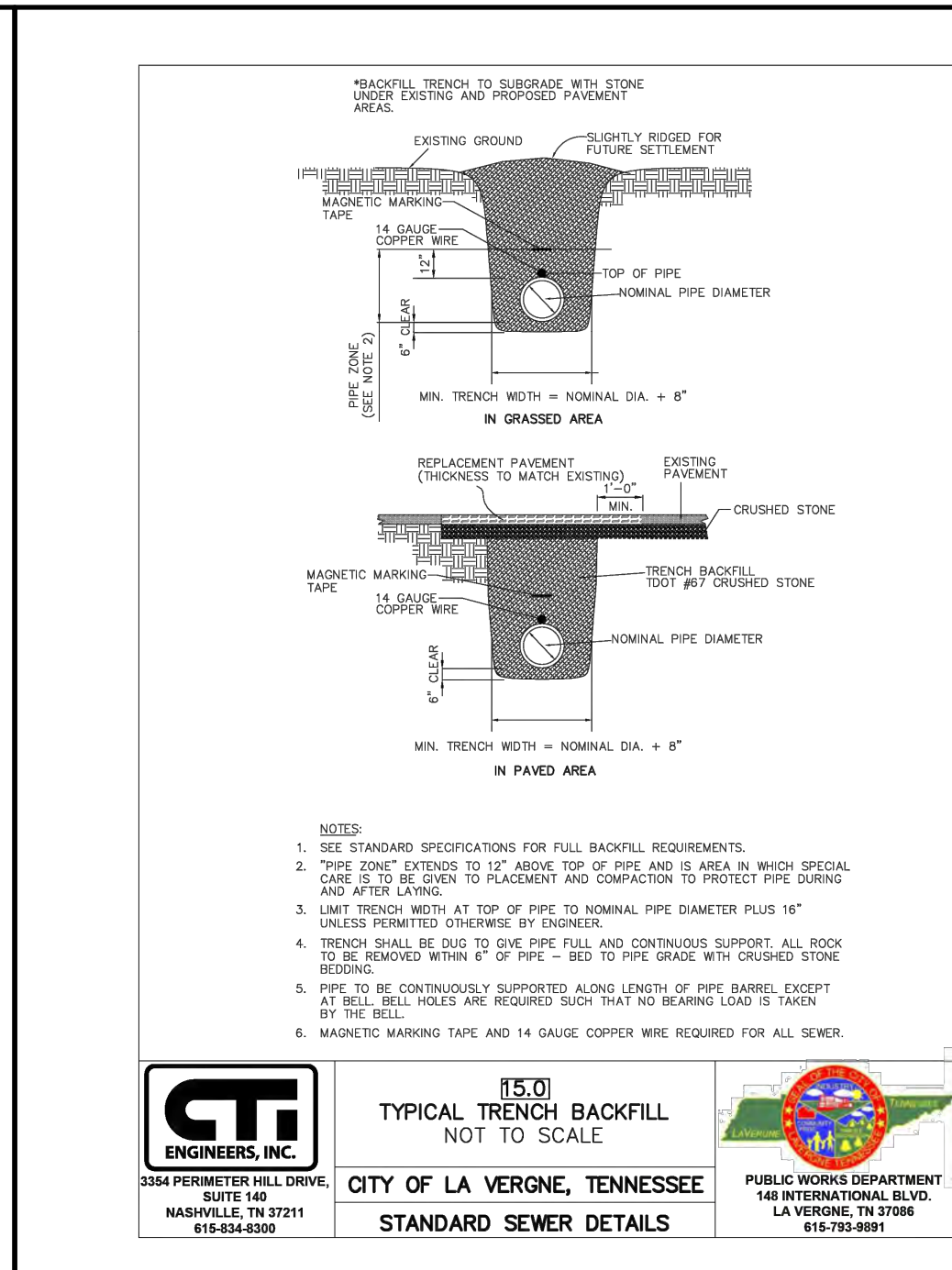
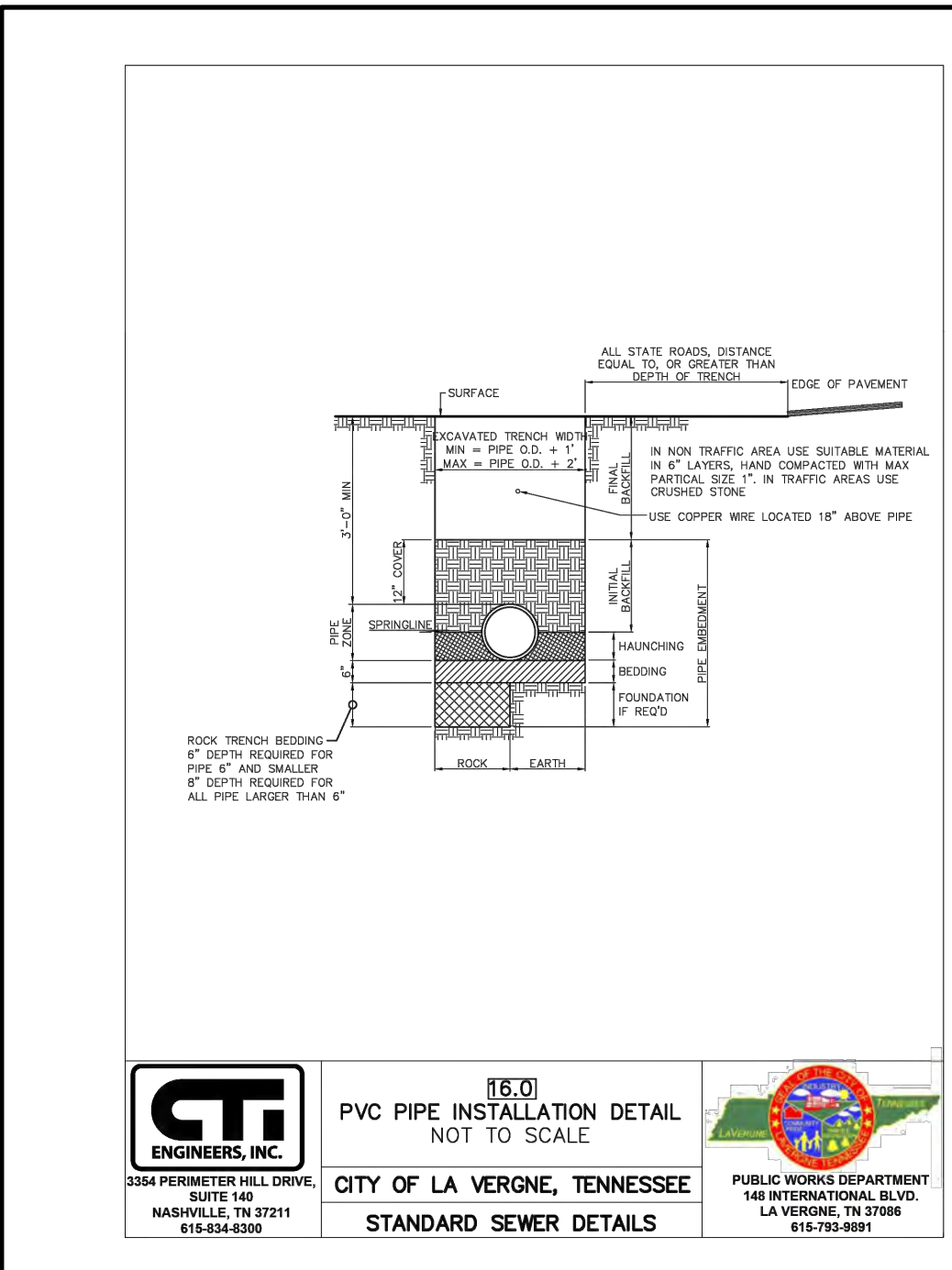


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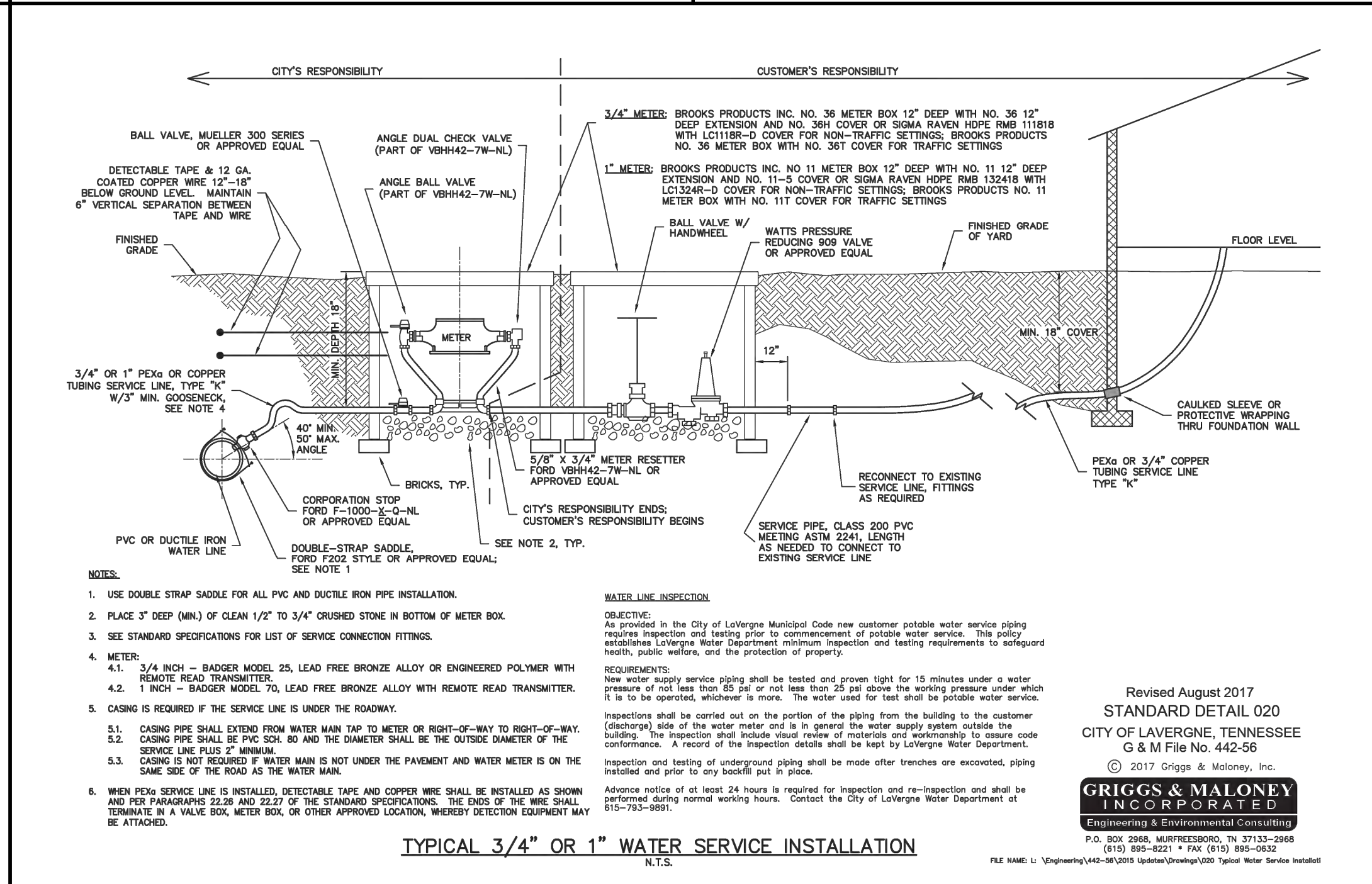
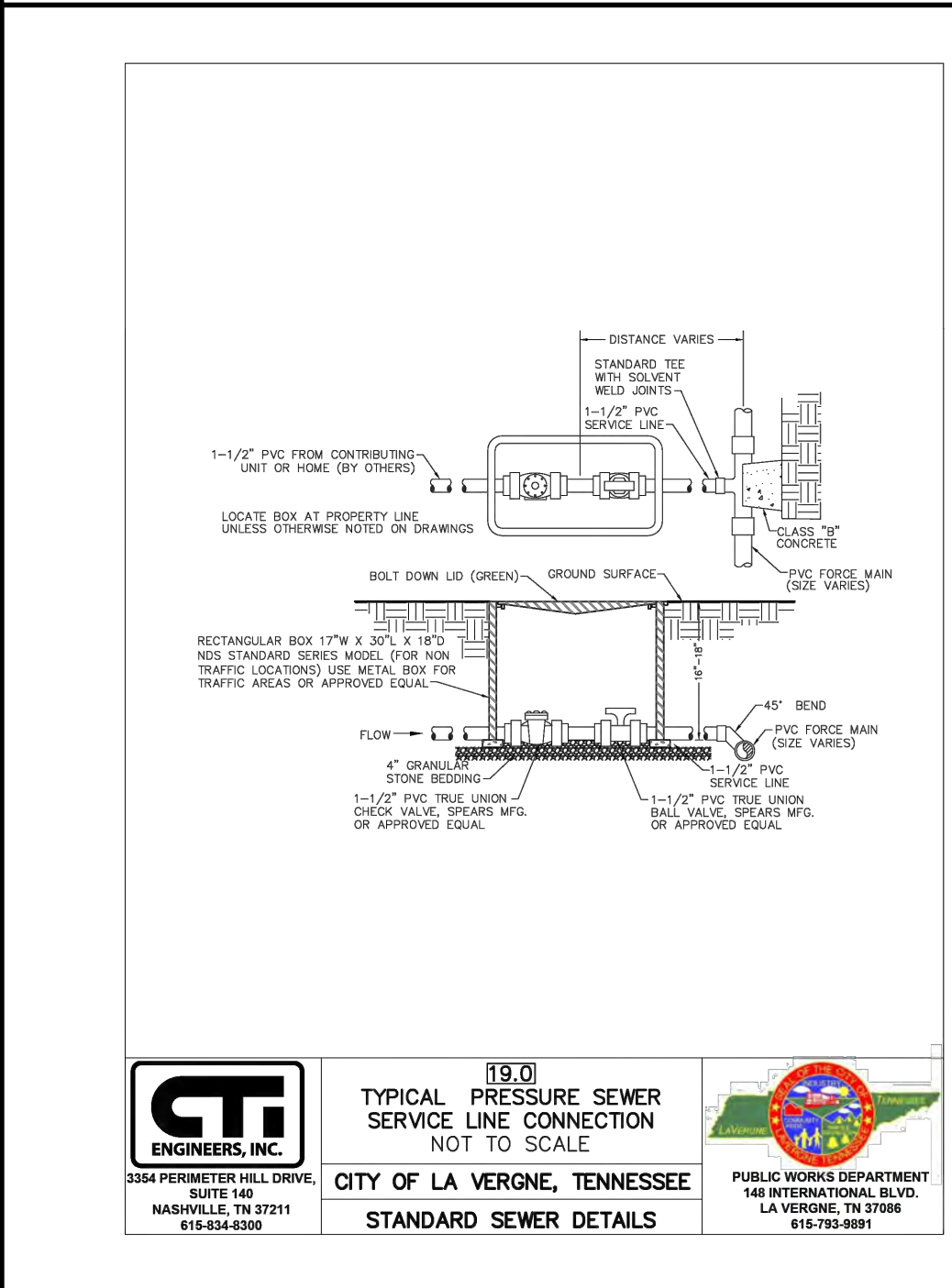
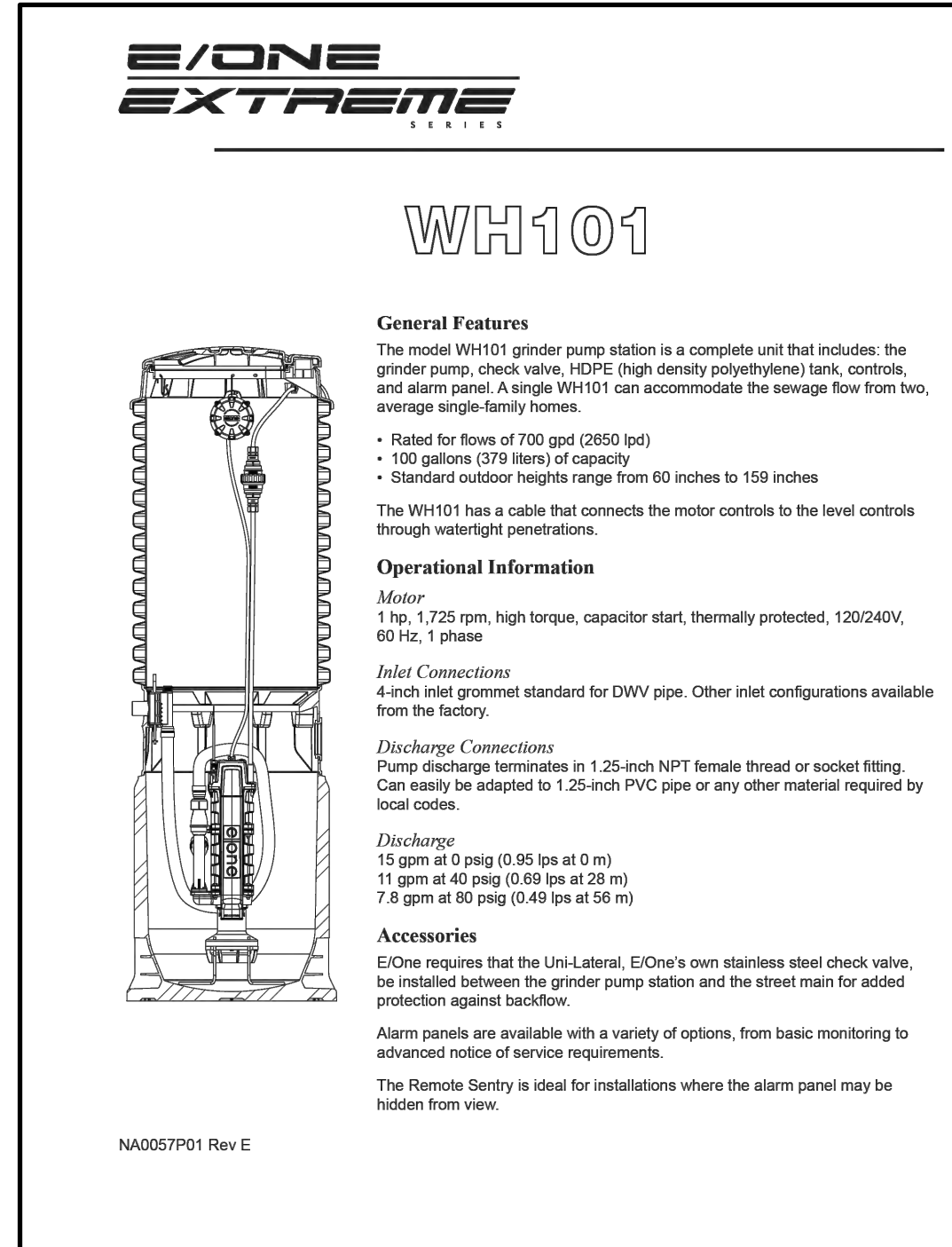
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Civil
 Utility Details

No.	By	Date

Revisions

Designed By:	AMC	Job Number:	13233.1.001-A
Drawn By:	KPR	Date:	09/29/2025
Filename:	13233 Civil Base		
Sheet Number:	C503		



Item #: 9. Recommendation to the Board of Mayor and Aldermen for Subdivision Acceptance – Uptown Subdivision, Lot 1 (see Final Plat of Lot 1 of the Richland South, LLC Property) Totaling 1 Lot. Requested by Woodhaven Development Group. Property located at 5309 Murfreesboro Road (Tax Map 14 Parcel 72.05). C-2 (Highway Service) Zoning District.

Reviewed By:
Gary Lide, City Engineer

Summary:
This is a request to accept a subdivision.

Staff Comments / Technical Items:

Planning (Bo Logan - blogan@lavergnen.gov; and Jake Blair - jblair@lavergnen.gov)
No comments.

Engineering (Gary Lide - glide@lavergnen.gov)
All inspections are complete and punch items addressed.

Utilities (Scott Tatalovich - statalovich@lavergnen.gov)
No comments.

Codes (Joe White - jwhite@lavergnen.gov)
No comments.

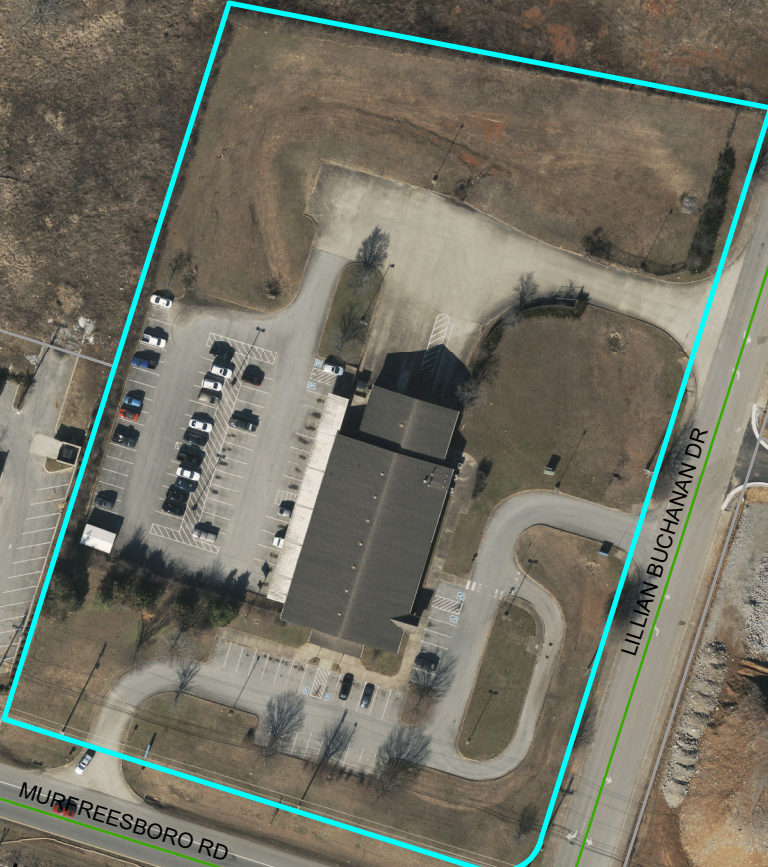
Fire (Curtis Brinkley - cbrinkley@lavergnen.gov)
No comments.

***Note:** The above technical items may not be the only corrections and/or issues needing to be resolved to get approval from the planning commission. New items can be brought up at the workshop and staff can add items at any time that might have been overlooked. It is the applicant's responsibility to make sure that all technical items are addressed and that no new issues exist before the planning commission meeting. Addressing all technical items does not constitute approval. It is the planning commission's decision whether an item passes or fails. Revised plans are due to staff by the following Monday at close of business unless other arrangements are made and documented.

5309 Murfreesboro Rd



5309 Murfreesboro Rd



R G BUCHANAN DR

GEORGE BUCHANAN DR

LILLIAN BUCHANAN DR

MURFREESBORO RD

MURFREESBORO RD



5309 Murfreesboro Rd

